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Principal Emeritus:
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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: FARRELL INDUSTRIAL PARK
PROJECT NO.: 20-16
PROJECT LOCATION: SECTION 1, BLOCK 1, LOT 92.42
REVIEW DATE: 11 DECEMBER 2020
MEETING DATE: 17 DECEMBER 2020
PROJECT REPRESENTATIVE: JMC ENGINEERING/JOSEPH P. MCDAFFERI

1. The project narrative identifies the need for a Zoning Variance for building height based on the applicants submission Building A is 45.8 feet and Building B is 48.8 feet where 40 feet maximum is permitted.
2. A Full Environmental Assessment Form Part I has been submitted. It is unclear if the Environmental Assessment Form was filled out utilizing the NYSDEC on line data base. The last couple of pages are missing which would indicate that it was not filled out on the DEC website. The applicant should utilize the DEC website to populate the fields for which NYSDEC has information.
3. The Project Narrative identifies existing structures on the site which must be removed. Notes should be added to the plans requiring a Demolition Permit from the Town of Newburgh Code Enforcement Dept. prior to any demolition activities.
4. A Stormwater Pollution Prevention Plan has been submitted for the project and is under review by this office. Project will require a 5 acre waiver for construction activities on the site based on the size of the proposed structures and required earth moving to provide finish floor elevations of the proposed structures.
5. The application requires a Zoning Board of Appeals referral. Planning Board may wish to allow the Zoning Board of Appeals to review the project prior to circulation for Lead Agency which would then require a coordinated review.
6. The EAF Item g ii contains computer symbols where building height should be identified, see page 4 of 13.

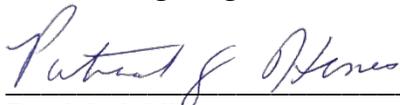
7. The EAF Item c contains computer symbols where water demand should be identified, see page 5 of 13.
8. The EAF identifies that the project site is located adjacent to or near an area designated as sensitive for archeological sites. The applicant should coordinate with the Office of Parks, Recreation and Historic Preservation regarding this. SHPO will be an involved agency upon circulation of the Notice of Intent for Lead Agency.
9. A tax lot consolidation is required as the project includes two deed parcels. Deed lines run through Building B.
10. Note 9 on sheet C-000 identifies the use of an energystar.gov "warehouse space use information". This office previously requested additional information regarding the use of this as a design tool to calculate occupancy and parking. Ken Wersted's comments regarding parking requirements for buildings of this size should be received.
11. Note 2 on sheet C-010 identifies a wetland delineation. The Wetland Delineation Report should be submitted for the Planning Board's files.
12. The Geotechnical Report identified on Note 3 sheet C-010 should be submitted for the Board's use.
13. The applicant should discuss whether the proposed plan will be phased for construction purposes. Currently the plan depicts both facilities being constructed as a single project.
14. Extensive retaining walls are proposed along the southern property line. Design of these retaining walls will required to be submitted for a Building Permit. The Planning Board should request information pertaining to the wall design during the ARB process.
15. The project site is proposed to be served by a subsurface sanitary sewer disposal system. Design of the disposal system has been based on 290 total employees per day. The subsurface sanitary sewer disposal system treating greater than 1,000 gallons per day requires an NYSDEC SPDES Permit and review and approval by the Orange county Health Department.
16. A Lighting Plan has been provided for the project. It is noted that the lighting heights are identified at 20 foot high for all site lighting.
17. The plans show Berry Lane extending through the project site. Additional information regarding this should be submitted regarding ownerships and/or any rights associated with this unapproved roadway.
18. Future submissions should provide a Water System Engineering Report identifying adequate flow and pressure for potable water and fire protection. Health Department approval for the water main extension serving the site will be required.
19. The discharge location of the 18 inch diameter HDPE pipe from the DOT right-of-way in a westerly direction from the site should be located on the plans.

20. The location of the water service connections to the structures should be shown. Valving must be provided to terminate potable water when fire flow protection to the building is interrupted.
21. Review of hydrant locations by Code Enforcement Office should be undertaken. It is noted no hydrants exist between the two buildings.
22. The Lighting Plan should be coordinated with the Parking Plan. In several location light poles are located in the passenger vehicle parking areas outside of curbed islands.
23. A fairly large survey "gore" is identified on the northeast portion of the project area. This should be discussed with the applicant's representatives.
24. Details of the emergency access drive from Berry Lane should be provided. Access gate should be further detailed. Comments from the Jurisdictional Emergency Services should be received.
25. The Town of Newburgh Buffer Regulations identify a 40 foot non-disturbed area, 100 foot vegetated buffer and additional separations for the buildings. The Planning Board should review the required buffers including supplemental plantings for adequacy.
26. Each of the structures proposed contains two story office buildings. The office occupancy should be figured into the parking calculation and employee count in excess of that which is identified for the warehouse use. Town of Newburgh Zoning identifies parking for office uses in the parking tables.
27.

The hydraulic loading to the subsurface sanitary sewer disposal systems which are based on the warehouse square footage/employees are office employees considered in the flow calculations.

Respectfully submitted,

McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.



Patrick J. Hines
Principal

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Farrell Industrial Park

2. Owner of Lands to be reviewed:

Name Chun S. McGlasson

Address 16 Anna Court

Carmel, NY 10512

Phone _____

3. Applicant Information (If different than owner):

Name Farrell Building Company

Address 2317 Montauk Highway

Bridgehampton, NY 11932

Representative Stephen Zagoren

Phone 631-766-0023

Fax _____

Email zags1413@gmail.com

4. Subdivision/Site Plan prepared by:

Name JMC Pllc., Attn. Joseph Modafferi, RLA

Address 120 Bedford Road

Armonk, NY 10504

Phone/Fax 914-273-5225

5. Location of lands to be reviewed:

NY Route 300, Town of Newburgh, NY

6. Zone IB

Fire District Cronomer Valley

Acreege ±35.21

School District Newburgh Central

7. Tax Map: Section 34 **Block** 2 **Lot** 45

8. Project Description and Purpose of Review:

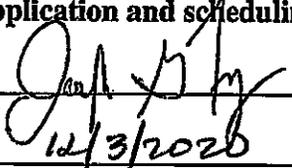
Number of existing lots 2 Number of proposed lots 1
Lot line change X
Site plan review X
Clearing and grading X
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) Berry Lane ROW (to be abandoned).

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title President

Date: 12/3/2020

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Farrell Industrial Park

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

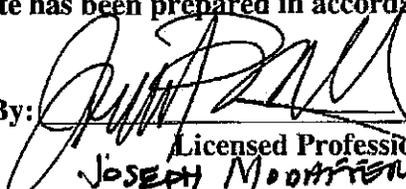
1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. X Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. Surveyor,s Certification
12. Surveyor's seal and signature
13. Name of adjoining owners
14. Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. Metes and bounds of all lots
18. Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. Show existing or proposed easements (note restrictions)
20. Right-of-way width and Rights of Access and Utility Placement
21. Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide) (Private Driveway)
22. Lot area (in sq. ft. for each lot less than 2 acres)
23. Number of lots including residual lot
24. Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. N/A Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. ±25 Number of acres to be cleared or timber harvested
33. 0 Estimated or known cubic yards of material to be excavated and removed from the site
34. 0 Estimated or known cubic yards of fill required
35. ±25 The amount of grading expected or known to be required to bring the site to readiness
36. 0 Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
-
37. 0 Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
-
-
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: _____


 Licensed Professional
 JOSEPH MORRISTON, JR., RLA
 Date: 12/03/2020

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

20-16



- | | |
|----------------------------|-----------------------|
| Site Planning | Environmental Studies |
| Civil Engineering | Entitlements |
| Landscape Architecture | Construction Services |
| Land Surveying | 3D Visualization |
| Transportation Engineering | Laser Scanning |

December 2, 2020

Chairman John P. Ewasutyn
Town Hall
308 Gardner Town Road
Newburgh, NY 12550

RE: JMC Project 18156
Farrell Industrial Park
Route 300
Town of Newburgh, NY

Project Narrative and Anticipated Fee Schedule

Dear Chairman Ewasutyn:

It was a pleasure speaking with you earlier today regarding the above referenced project that will require Site Plan Approval from the Planning Board. We (JMC), along with Stan Schutzman, Esq., will be representing the Applicant, Farrell Building Company, through the approval process. Farrell Building Company is the contract vendee for the subject property, which is currently owned by Chun S. McGlasson. In accordance with your request, we have prepared this letter to provide you with a Project Narrative, as well as an Anticipated Fee Schedule, which we offer as follows:

Project Narrative

The subject property is located on the east side of Route 300, just north east of the Route 300 and Little Brook Lane (private road) intersection, or opposite The Storage Stop self-storage facility. In addition to having frontage on NYS Route 300, the property can be accessed via an existing driveway from Berry Lane along the northerly property line. The property presently consists of an abandoned 2-story wood frame dwelling, remnants of a wood frame shed, and some pathways, but is otherwise undeveloped. To the best of our knowledge, the property does not have a street address, but is identified by the Town of Newburgh Tax Designation of Section 34, Block 2, Lot 45. It is within the IB Interchange Business Zoning District and abuts the R1 Single Family Residence Zoning District to the north.

Farrell Building Company is proposing to construct an Industrial Park development on the property which would consist of two warehouse buildings totaling 290,000 SF (Building A will be 185,000 SF and Building B will be 105,000 SF) and the associated site improvements. The site improvements will include but not be limited to a site access drive from Route 300, an emergency access drive from Berry Lane (gated at the property line and site access drive), 251 parking spaces, 72 loading spaces, 40 truck/trailer parking spaces, stormwater management systems, a private watermain

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC | JMC Site Development Consultants, LLC

extension, a septic system, landscaping, and lighting. Stie wetlands have been mapped and no wetland disturbance is proposed.

As noted above, the northerly boundary of the property abuts the R1 – Single Family Residence District. Therefore, a 100-foot landscape buffer is required and has been incorporated into the design. Abutting the residential district also increases that side yard setback to 228 feet, which the project complies with.

As you are aware, the Town Code defines building height as “the vertical distance measured from the average elevation of the finished grade along the side of the structure facing the street to the highest point of such structure.” Based upon this definition and when considering the proposed grades, the height of Buildings A and B are 45.8 and 48.8 feet respectively, where 40 feet is the maximum permitted. Accordingly, a variance is anticipated to be required. The actual height of both buildings from the finished floor to the top of the 3-foot parapet will be 45 feet. The 42-foot roof elevation is proposed in an effort to provide the preferred interior ceiling height of 38 feet, which is an industry standard. Building A will have some minor adjustments to the grade within the emergency access drive at both ends of the structure in order to meet grades at the truck parking area to the south and the site access drive to the north, which is the reason for the slight increase in the calculated building height (average grade is used). The increase in the height for Building B, based upon average grade along the façade facing the street, is due to the need for the grade outside the loading docks to be 4 feet below the finished floor. It is important to note the following regarding the building height:

- A. The finished floor of each building is the same elevation.
- B. Building A will completely screen loading docks of Building B from the street.
- C. Both buildings are several hundred feet from the roadway and are tucked behind other parcels that have frontage on the street.
- D. All loading docks are situated to be internal to the site and are not oriented out towards the property perimeter.

Based upon the above, both buildings will appear to be the same height when viewed from the property perimeter.

Anticipated Fees

Based upon our review of the Town of Newburgh Fee Schedule, the following is provided for our calculation of anticipated fees for the submission:

1. Commercial Site SPA Application Fee: \$1,500.00 plus \$250.00 per 1,000 square feet of floor area for the first 200,000 square feet, and \$100 per 1,000 square feet of floor area greater than 200,000. **Therefore, the fee is \$60,500.**
2. Long Environmental Assessment Form: **\$2,000.00.**
3. Initial Escrow Account Charge: \$1,000.00 plus \$200.00 per 1,000 square feet of floor area or part thereof. **Therefore, the Initial Escrow Fee is \$59,000.**

4. Public Hearing Fee: \$150.00 (Publication and transcription fees will be invoiced at a later date.)

We trust that the above provides you with sufficient information regarding the Project Narrative and Anticipated Fees, and we look forward to being provided a Town Project Number, so that we can submit the full application package when directed. In the interim, should you have any questions regarding the application please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC



Joseph P. Modafferi, Jr., RLA
Senior Project Manger

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**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Farrell Industrial Park		
Project Location (describe, and attach a general location map): NYS Route 300 (Plattekill Turnpike), Town of Newburgh, NY		
Brief Description of Proposed Action (include purpose or need): The Applicant proposes the construction of two warehouse buildings on the Site. One is proposed to be 185,000 square feet and the other 105,000 square feet, with a total of 290 employees. The site improvements include a single access driveway off of NY Route 300, as well as parking for cars and loading spaces for trucks. The height of the proposed buildings is 45 feet to the top of the parapet and 49 feet from the average finished grade, where a maximum of 40 feet is permitted. The project will therefore require a building height variance. See Project Narrative for further discussion.		
Name of Applicant/Sponsor: Farrell Building Company Attn. Stephen Zagoren		Telephone: 631-766-0023 E-Mail: zags1413@gmail.com
Address: 2317 Montauk Highway		
City/PO: Bridgehampton	State: NY	Zip Code: 11932
Project Contact (if not same as sponsor; give name and title/role): JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC Attn.: Joseph P. Modafferi, Jr., RLA		Telephone: 914-273-5225 E-Mail: jmodafferi@jmcpllc.com
Address: 120 Bedford Road		
City/PO: Armonk	State: NY	Zip Code: 10504
Property Owner (if not same as sponsor): Chun S. McGlasson		Telephone: E-Mail:
Address: 16 Anna Court		
City/PO: Carmel	State: NY	Zip Code: 10512

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan Approval	12/04/2020
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Height variance	TBD
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Health Dept. septic system approval; private watermain ext. Orange County §239-m General Municipal Law Referral	TBD
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC SPDES General Permit GP-0-20-001 NYS DOT Highway Work Permit	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
IB "Interchange Business"

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Newburgh Central School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?
Cronomer Valley Fire District; Town of Newburgh Emergency Medical Services

d. What parks serve the project site?
Chadwick Lake Park; Cronomer Hill Park; Algonquin Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial, residential

b. a. Total acreage of the site of the proposed action? ±35.21 acres
 b. Total acreage to be physically disturbed? ±26.81 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? ±35.21 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 12-18 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,
 i. Total number of structures 2
 ii. Dimensions (in feet) of largest proposed structure: _____ height; 26 width; and 740 length
 iii. Approximate extent of building space to be heated or cooled: 279,500 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,
 i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:
 i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____
 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 3,480 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Consolidated Water #1
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: 3,480 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):
 On-site subsurface septic fields: _____

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?
 ±686,063 Square feet or ±15.75 acres (impervious surface)
 ±1,533,664 Square feet or ±35.21 acres (parcel size)
- ii. Describe types of new point sources. New point sources of stormwater runoff include building gutters and driveway curbing.
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
Site runoff will be directed to on-site retention ponds that will control the rate of runoff to pre-developed conditions.
 - If to surface waters, identify receiving water bodies or wetlands: _____
 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- ii. In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: TBD

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): Grid/local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>8:00 AM--10:00 PM</u> • Saturday: <u>8:00 AM--10:00 PM</u> • Sunday: <u>8:00 AM--10:00 PM</u> • Holidays: <u>8:00 AM--10:00 PM</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>24/5</u> • Saturday: <u>As required</u> • Sunday: <u>As required</u> • Holidays: <u>As required</u>
--	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Construction equipment and tools at times permitted by Town Code.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Parking lot and security lighting as permitted by Town Code.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):
Landscape maintenance and pest control as required.

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: TBD tons per TBD (unit of time)
- Operation : 20-25 tons per month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Debris recycling will be in accordance with all applicable local requirements.
- Operation: Recycling will be in accordance with County requirements.

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Private carter.
- Operation: Private carter.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.04	15.75	+15.71
• Forested	25.96	1.50	-24.46
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	7.93	7.95	+0.02
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	1.50	+1.50
• Wetlands (freshwater or tidal)	1.28	1.28	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Landscaping</u>	0	7.23	+7.23

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): _____
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 1.2-2.5 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

MdB Mardin gravelly silt loam	35 %
ANC/AND Arnot-Lordstown complex	40 %
SXC Swartswood and Mardin soils	15 %

d. What is the average depth to the water table on the project site? Average: 1.5-6.5+ feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	55 % of site
<input checked="" type="checkbox"/> Moderately Well Drained:	40 % of site
<input checked="" type="checkbox"/> Poorly Drained	5 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	67.05 % of site
<input checked="" type="checkbox"/> 10-15%:	14.18 % of site
<input checked="" type="checkbox"/> 15% or greater:	18.77 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 862-231 Classification C
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Typical suburban species _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site: _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

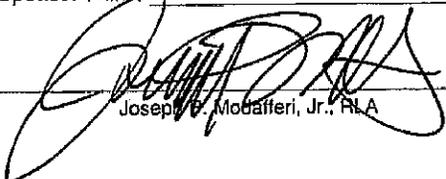
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

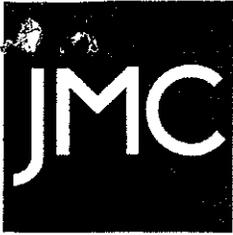
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC Date 12/03/2020

Signature  Title Senior Project Manager

Joseph P. Mobarferi, Jr., P.L.A.

PRINT FORM



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

Farrell Industrial Park
Route 300
Town of Newburgh, NY
JMC Project 18156
Town of Newburgh Project No. 2020-16

Project Narrative
December 3, 2020

The subject property is located on the east side of Route 300, just north east of the Route 300 and Little Brook Lane (private road) intersection, or opposite The Storage Stop self-storage facility. In addition to having frontage on NYS Route 300, the property can be accessed via an existing driveway from Berry Lane along the northerly property line. The property presently consists of an abandoned 2-story wood frame dwelling, remnants of a wood frame shed, and some pathways, but is otherwise undeveloped. To the best of our knowledge, the property does not have a street address, but is identified by the Town of Newburgh Tax Designation of Section 34, Block 2, Lot 45. It is within the IB Interchange Business Zoning District and abuts the R1 Single Family Residence Zoning District to the north.

Farrell Building Company is proposing to construct an Industrial Park development on the property which would consist of two warehouse buildings totaling 290,000 SF (Building A will be 185,000 SF and Building B will be 105,000 SF) and the associated site improvements. The site improvements will include but not be limited to a site access drive from Route 300, an emergency access drive from Berry Lane (gated at the property line and site access drive), 251 parking spaces, 72 loading spaces, 40 truck/trailer parking spaces, stormwater management systems, a private watermain extension, a septic system, landscaping, and lighting. Stie wetlands have been mapped and no wetland disturbance is proposed.

As noted above, the northerly boundary of the property abuts the R1 – Single Family Residence District. Therefore, a 100-foot landscape buffer is required and has been incorporated into the design. Abutting the residential district also increases that side yard setback to 228 feet, which the project complies with.

As you are aware, the Town Code defines building height as “the vertical distance measured from the average elevation of the finished grade along the side of the structure facing the street to the highest point of such structure.” Based upon this definition and when considering the proposed grades, the height of Buildings A and B are 45.8 and 48.8 feet respectively, where 40 feet is the maximum permitted. Accordingly, a variance is anticipated to be required. The actual height of both buildings from the finished floor to the top of the 3-foot parapet will be 45 feet. The 42-foot roof elevation is proposed in an effort to provide the preferred interior ceiling height of 38 feet, which is an industry standard. Building A will have some minor adjustments to the grade within the

emergency access drive at both ends of the structure in order to meet grades at the truck parking area to the south and the site access drive to the north, which is the reason for the slight increase in the calculated building height (average grade is used). The increase in the height for Building B, based upon average grade along the façade facing the street, is due to the need for the grade outside the loading docks to be 4 feet below the finished floor. It is important to note the following regarding the building height:

- A. The finished floor of each building is the same elevation.
- B. Building A will completely screen loading docks of Building B from the street.
- C. Both buildings are several hundred feet from the roadway and are tucked behind other parcels that have frontage on the street.
- D. All loading docks are situated to be internal to the site and are not oriented out towards the property perimeter.

Based upon the above, both buildings will appear to be the same height when viewed from the property perimeter.



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

December 3, 2020

Chairman John P. Ewasutyn and Members of the Planning Board
Town of Newburgh Building Department
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

RE: JMC Project 18156
Farrell Industrial Park
NY Route 300
Town of Newburgh, NY
Town of Newburgh Project No. 2020-16

Dear Chairman Ewasutyn and Members of the Planning Board:

We (JMC), along with Stan Schutzman, Esq., represent the Applicant for the above referenced project, Farrell Building Company. Farrell Building Company is the contract vendee for the subject property and is proposing to construct an Industrial Park development consisting of two warehouse building totaling 290,000 SF and the associated site improvements. The subject property is located on the east side of NY Route 300, just north of Little Brook Lane (private road) and opposite The Storage Stop Self Storage Facility. Since the property is undeveloped at this time, it is only identified by the Town of Newburgh Tax Designation of Section 34, Block 2, Lot 45. It is within the IB Interchange Business Zoning District, within which the warehouse use is permitted. The property abuts the R1 Single Family Residence Zoning District to the north and is there for subject to certain buffer and setback requirements, which the proposed design has considered.

At this time, we are pleased to make this submission for the purpose of initiating the approval process for the above referenced project with your Board. In accordance with the direction of Chairman Ewasutyn, we are pleased to submit thirteen copies of the documents listed below, except as otherwise noted, in support of our request for Site Plan Approval. In accordance with further direction of Chairman Ewasutyn, we are also providing copies of the documents directly to the Planning Board consultants via overnight delivery, as noted below the signature.

1. "Project Narrative", prepared by JMC and dated December 3, 2020.
2. "SEQRA Environmental Assessment Form (Long Form)", signed and dated December 3, 2020.
3. "Town of Newburgh Application for Subdivision/Site Plan Review", signed and dated December 3, 2020.

4. "Town of Newburgh Planning Board Checklist for Major/Minor Subdivision and/or Site Plan", signed and dated December 3, 2020.
5. "Town of Newburgh Proxy", signed and dated November 25, 2020.
6. "Town of Newburgh Planning Board Disclaimer Statement to Applicants", signed and dated December 3, 2020.
7. "Town of Newburgh Disclosure Addendum Statement to Application, Petition and Request", signed and dated December 3, 2020.
8. "Town of Newburgh Architectural Review Form", signed and dated December 3, 2020.
9. "Town of Newburgh Fee Acknowledgement", signed and dated December 3, 2020.

10. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Revision No. / Date</u>
C-000	"Cover Sheet"	12/03/2020
C-010	"Existing Conditions Map and Site Removals Plan"	12/03/2020
C-100	"Layout Plan"	12/03/2020
C-110	"Preliminary Lot Consolidation and Subdivision Plan"	12/03/2020
C-200	"Grading Plan"	12/03/2020
C-210	"Driveway Profile"	12/03/2020
C-300	"Utilities Plan"	12/03/2020
C-400	"Erosion and Sediment Control Plan"	12/03/2020
C-600	"Lighting Plan"	12/03/2020
C-700	"Truck Turning Plan"	12/03/2020
C-900	"Construction Details"	12/03/2020
C-901	"Construction Details"	12/03/2020
C-902	"Construction Details"	12/03/2020
C-903	"Construction Details"	12/03/2020
C-904	"Construction Details"	12/03/2020
C-905	"Construction Details (OWTS)"	12/03/2020
C-906	"Construction Details (Site Entrance)"	12/03/2020
C-907	"Construction Details (Site Entrance)"	12/03/2020
L-100	"Landscape Plan"	12/03/2020
L-900	"Landscape Details"	12/03/2020

11. Clariss Design Build Architectural Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Revision No. / Date</u>
A101	"Floor Plans Buildings A & B"	12/03/2020
A102	"Sign Details"	12/03/2020
A201	"Building A Elevations"	12/03/2020
A202	"Building B Elevations"	12/03/2020

12. "Stormwater Pollution Prevention Plan (SWPPP)", prepared by JMC and dated 12/03/2020 (2 copies).
13. "Traffic Study", prepared by JMC and dated December 3, 2020 (1 full report + 12 text only).
14. "Farrell Building Company Check No. 60242, made payable to "Town of Newburgh" and dated 11/23/2020, in the amount of \$60,500. (Commercial Site Plan Application Fee).
15. "Farrell Building Company Check No. 60243, made payable to "Town of Newburgh" and dated 11/23/2020, in the amount of \$2,000. (Long Environmental Assessment Form Fee).
16. "Farrell Building Company Check No. 60244, made payable to "Town of Newburgh" and dated 11/23/2020, in the amount of \$59,000. (Initial Escrow Account).
17. "Farrell Building Company Check No. 60364, made payable to "Town of Newburgh" and dated 12/03/2020, in the amount of \$150. (Public Hearing Fee).
18. CD-Rom containing PDF Copies of Full Submission.

We trust that the above, along with the enclosed documents, are sufficient for your review and prior to the December 17, 2020 Planning Board meeting, at which time we intend to give an initial presentation of the project and initiate discussions. Please note, the List of Adjacent Property Owners will be provided under separate cover.

We look forward to seeing the Planning Board on December 17th. In the interim, should you have any questions regarding the application please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC



Joseph P. Modafferi, Jr., RLA
Senior Project Manger

- cc: Dominic Cordisco, Esq., w/Narrative, EAF, Applications/Forms, Drawings, Traffic Study Text, and Checks (1 copy via overnight mail from JMC)
Mr. Patrick J. Hines, PE, w/Narrative, EAF, Applications/Forms, Drawings, SWPPP, and Checks (1 copy via overnight mail from JMC)
Mr. Ken Wersted, PE, w/Narrative, EAF, Applications/Forms, Drawings, Traffic Study Text, and Checks (1 copy via overnight mail from JMC)
Ms. Karen Arent, RLA, w/Narrative, EAF, Applications/Forms, Drawings, and Checks (1 copy via overnight mail from JMC)
Stanley A. Schutzman Esq., w/enc.
Mr. Stephen Zagoren, w/enc.
Mr. Butch Payne, w/enc.

PROXY

(OWNER) Chun S. McGlasson, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 16 Anna Court, Carmel 10512

IN THE COUNTY OF Putnam

AND STATE OF NY

AND THAT HE/SHE IS THE OWNER IN FEE OF NY Route 300,

Newburgh, NY

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND JMC Plc. IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: _____

11/25/20

George McGlasson

OWNERS SIGNATURE

Stanley A. Schutzman, P.C.

GEORGE MCGLASSON

OWNERS NAME (printed)

Richard McGlasson

WITNESS' SIGNATURE

NAMES OF ADDITIONAL
REPRESENTATIVES

RICHARD MCGLASSON

WITNESS' NAME (printed)

NEW YORK STATE DEPARTMENT OF HEALTH CERTIFICATE OF DEATH

131-2020-00076388 STATE FILE NUMBER

Main form containing sections: DECEASED, DISPOSITION, CERTIFIER, and CAUSE OF DEATH. Includes fields for name, date of death, birth, residence, and medical history.



2020-08-18

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

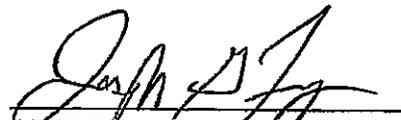
An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

12/3/2020

DATED

Joseph G. Farrell, Jr.
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 12/03/2020

NAME OF PROJECT: Farrell Building Company

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Concrete

COLOR OF THE EXTERIOR OF BUILDING:

Shades of Gray with Blue accents

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

Structure will have a 3'-0" +/- High Parapet

ROOF:

Type (gabled, flat, etc.): Flat

Material (shingles, metal, tar & sand, etc.): EPDM

Color: White

WINDOWS/SHUTTERS:

Color (also trim if different): Anodized Aluminum

Type: Insulated Glass

DOORS:

Color: Match adjacent walls

Type (if different than standard door entrée): _____

SIGN:

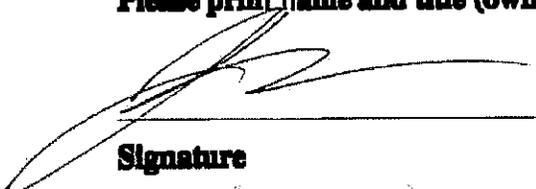
Color: Gray, Blue and White

Material: Metal / Plastic

Square footage of signage of site: Building A-476 s.f., Building B-476 s.f.
Monument Sign -125 s.f. per side

John Kowalaki Senior Architect, Claris Construction, Inc.

Please print name and title (owner, agent, builder, superintendent of job, etc.)



Signature

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Joseph G. Farrell, Jr.
APPLICANT'S NAME (printed)


APPLICANTS SIGNATURE

12/3/2020
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER AND ORIGINAL DOCUMENT SECURITY SCREEN ON BACK WITH PADLOCK SECURITY ICON.

60242

FARRELL
BUILDING COMPANY

Farrell Building Company
Operating Account
P.O. Box 14
Bridgehampton, NY 11932

GOLD COAST BANK

50-1445/214

11/23/2020

PAY TO THE ORDER OF Town of Newburgh

\$ **60,500.00

Sixty Thousand Five Hundred and 00/100*****

DOLLARS

Town of Newburgh
308 Gardnertown Rd.
Newburgh, NY 12550

MEMO

Commercial Site SPA Application Fee - Industrial Ne



[Handwritten Signature]
AUTHORIZED SIGNATURE

MP

⑈060242⑈ ⑈021414455⑈ ⑈201002944⑈

Farrell Building Company

60242

Town of Newburgh

Date Type Reference
11/23/2020 Bill SPA App Fee

Original Amt.
60,500.00

Balance Due
60,500.00

11/23/2020

Discount

Check Amount

Payment
60,500.00
60,500.00

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER AND ORIGINAL DOCUMENT SECURITY SCREEN ON BACK WITH PADLOCK SECURITY ICON.

FARRELL
BUILDING COMPANY

Farrell Building Company
Operating Account
P.O. Box 14
Bridgehampton, NY 11932

GOLD COAST BANK

50-1445/214

60243

11/23/2020

PAY TO THE ORDER OF Town of Newburgh

\$ **2,000.00

Two Thousand and 00/100***** DOLLARS

Town of Newburgh
308 Gardnertown Rd.
Newburgh, NY 12550

MEMO Long Environmental Assessment Form - Industrial N



[Signature]
AUTHORIZED SIGNATURE

MP

⑈060243⑈ ⑆021414455⑆ 1201002944⑈

Security features included. Details on back.

Farrell Building Company

60243

Date	Type	Reference	Original Amt.	Balance Due	11/23/2020 Discount	Payment
11/23/2020	Bill	Environ. Assess.	2,000.00	2,000.00		2,000.00
					Check Amount	2,000.00

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER AND ORIGINAL DOCUMENT SECURITY SCREEN ON BACK WITH PADLOCK SECURITY ICON.

60244

FARRELL
BUILDING COMPANY

Farrell Building Company
Operating Account
P.O. Box 14
Bridgehampton, NY 11932

GOLD COAST BANK

50-1445/214

11/23/2020

PAY TO THE ORDER OF Town of Newburgh

\$ **59,000.00

Fifty-Nine Thousand and 00/100***** DOLLARS

Town of Newburgh
308 Gardnertown Rd.
Newburgh, NY 12550



[Handwritten Signature]
AUTHORIZED SIGNATURE

MEMO Initial Escrow Account Charge - Industrial Newburgh

⑈060244⑈ ⑆021414455⑆ 1201002944⑈

Farrell Building Company

60244

Date	Type	Reference	Original Amt.	Balance Due	11/23/2020 Discount	Payment
11/23/2020	Bill	Escrow Acct	59,000.00	59,000.00		59,000.00
					Check Amount	59,000.00

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER AND ORIGINAL DOCUMENT SECURITY SCREEN ON BACK WITH PADLOCK SECURITY ICON.

60364

FARRELL
BUILDING COMPANY

Farrell Building Company
Operating Account
P.O. Box 14
Bridgehampton, NY 11932

GOLD COAST BANK

50-1445/214

12/2/2020

PAY TO THE ORDER OF Town of Newburgh

\$ **150.00

One Hundred Fifty and 00/100 ***** DOLLARS

Town of Newburgh
308 Gardnertown Rd.
Newburgh, NY 12550



[Handwritten Signature]
AUTHORIZED SIGNATURE **MC**

MEMO

⑈060364⑈ ⑆021414455⑆ 1201002944⑈

Farrell Building Company

60364

Town of Newburgh
Division 14 -Permits, Tests, Fees

Rte 300 Industrial - public hearing fee

12/2/2020

150.00

SITE PLAN APPROVAL DRAWINGS

FARRELL INDUSTRIAL PARK

TAX MAP SECTION 34 | BLOCK 2 | LOT 45
ROUTE 300
TOWN OF NEWBURGH, NY
TOWN OF NEWBURGH PROJECT NO. 2020-16

Applicant:
FARRELL BUILDING COMPANY
 2317 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11932
 631-766-0023

Owner:
CHUN S. MCGLASSON
 16 ANNA COURT
 CARMEL, NY 10512

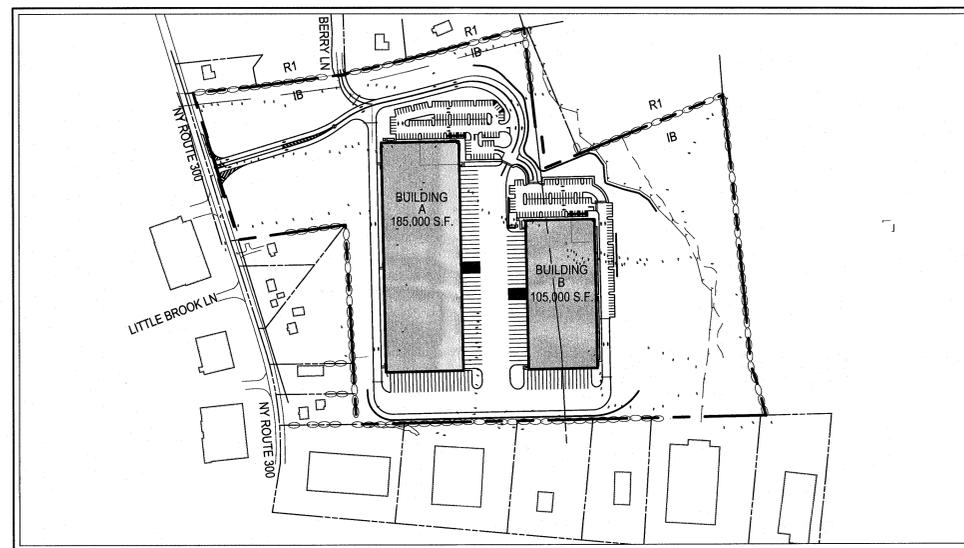
Attorney:
STANLEY A. SCHUTZMAN, P.C.
 ROCKLAND COUNTY OFFICE: DUTCHESS COUNTY OFFICE:
 61 S. MAIN STREET P.O. BOX 969
 NEW CITY, N.Y. 10956 POUGHKEEPSIE, N.Y. 12602
 PHONE: (845) 600-8LAW (8529)

JMC Site Planner, Civil & Traffic Engineer, Surveyor
 and Landscape Architect:
JMC PLANNING ENGINEERING LANDSCAPE
ARCHITECTURE & LAND SURVEYING PLLC:
 120 BEDFORD ROAD
 ARMONK, NY 10504
 914-273-5225

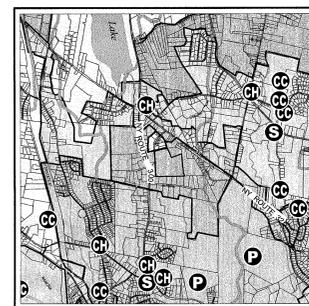
CLARIS Architect:
CLARIS DESIGN BUILD
 53 CHURCH HILL RD
 NEWTOWN, CT 06470
 203-364-9460

Geotechnical Engineer:
CARLIN-SIMPSON & ASSOCIATES
 61 MAIN STREET
 SAYREVILLE, NJ 08872
 732-432-5757

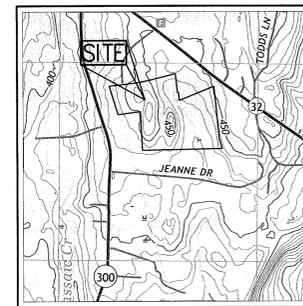
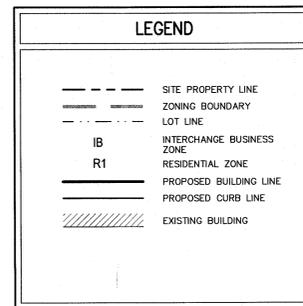
Natural Resources Consultant:
ECOLOGICAL SOLUTIONS, LLC
 1248 SOUTHWOLD ROAD
 SOUTHURBY, CT 06488
 203-910-4716



AREA MAP
 SCALE: N.T.S.



ZONING MAP
 SCALE: 1" = 2,000'
 SOURCE: TOWN OF NEWBURGH



VICINITY MAP
 SCALE: 1" = 1,000'
 SOURCE: USGS TOPOGRAPHY

JMC Drawing List:

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN
- C-100 LAYOUT PLAN
- C-110 PRELIMINARY LOT CONSOLIDATION & SUBDIVISION PLAN
- C-200 GRADING PLAN
- C-210 DRIVEWAY PROFILE
- C-300 UTILITIES PLAN
- C-310 ON SITE WASTEWATER TREATMENT SYSTEM PLAN
- C-400 EROSION AND SEDIMENT CONTROL PLAN
- C-600 LIGHTING PLAN
- C-700 TRUCK TURNING PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
- C-902 CONSTRUCTION DETAILS
- C-903 CONSTRUCTION DETAILS
- C-904 CONSTRUCTION DETAILS
- C-905 CONSTRUCTION DETAILS (OWTS)
- C-906 CONSTRUCTION DETAILS (SITE ENTRANCE)
- C-907 CONSTRUCTION DETAILS (SITE ENTRANCE)
- L-100 LANDSCAPE PLAN
- L-900 LANDSCAPE DETAILS

Claris Design Build Drawing List:

- A101 FLOOR PLANS BUILDINGS A & B
- A102 SIGN DETAILS
- A201 BUILDING A ELEVATIONS
- A202 BUILDING B ELEVATIONS
- A203 RENDERINGS

TABLE OF LAND USE			
SECTION 34, BLOCK 2, LOT 45 ⁽¹⁾			
ZONE "IB" - "INTERCHANGE BUSINESS"			
PROPOSED USE: WAREHOUSE (D9)			
PROPOSED ACCESSORY USES: OFF STREET PARKING (A4), TRUCK LOADING FACILITIES (A5)			
FIRE DISTRICT: CRONOMER VALLEY			
WATER DISTRICT: NEWBURGH			
SCHOOL DISTRICT: NEWBURGH			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQUARE FEET)	44,000	±1,545,969 ⁽²⁾	NO CHANGE ⁽³⁾
LOT WIDTH (FEET)	150	±965	NO CHANGE
LOT DEPTH (FEET)	150	±1,311	NO CHANGE
LOT BUILDING COVERAGE (PERCENT)	40	N/A ⁽⁴⁾	18.76 ⁽⁵⁾
BUILDING HEIGHT (FEET)	40	N/A ⁽⁶⁾	48 ⁽⁷⁾
LOT SURFACE COVERAGE (PERCENT)	80	N/A ⁽⁸⁾	45.48 ⁽⁹⁾
YARDS			
FRONT BUILDING SETBACK (FEET)	60 ⁽¹⁰⁾	N/A ⁽¹¹⁾	±329
REAR BUILDING SETBACK (FEET)	60	N/A ⁽¹¹⁾	±454
SIDE BUILDING SETBACK (FEET)	30/80/228 ⁽¹²⁾	N/A ⁽¹¹⁾	±105/346/241 ⁽¹³⁾
SIDE YARD BUFFER ⁽¹⁴⁾ (FEET)	100	N/A ⁽¹¹⁾	±100
PARKING SUMMARY			
	BLDG A	BLDG B	TOTAL
TOTAL SPACES (SPACES)	124 ⁽¹⁵⁾	70 ⁽¹⁶⁾	194 ⁽¹⁷⁾
STANDARD SPACES (SPACES)	119	67	186
HANDICAP SPACES (SPACES)	5 ⁽¹⁸⁾	3 ⁽¹⁹⁾	8 ⁽²⁰⁾
LOADING SPACES (SPACES)	0 ⁽²¹⁾	4 ⁽²²⁾	4 ⁽²³⁾
TRUCK/TRAILER SPACE (SPACES)	N/A ⁽²⁴⁾	N/A ⁽²⁴⁾	N/A ⁽²⁴⁾

(1) THE SITE IS ONE TAX LOT THAT INCLUDES TWO PARCELS. THE TWO EXISTING PARCELS WILL BE MERGED THROUGH THE OFFICE OF THE TAX ASSESSOR AT THE APPROPRIATE TIME.
 (2) NOT APPLICABLE.
 (3) NOT APPLICABLE.
 (4) THE LOT BUILDING COVERAGE WAS CALCULATED AS FOLLOWS:
 TOTAL BUILDING AREA = 185,000 S.F. (BUILDING A) + 105,000 S.F. (BUILDING B) = 290,000 S.F.
 BUILDING COVERAGE = TOTAL BUILDING AREA/LOT AREA = 290,000 S.F./1,545,969 S.F. = 18.76%
 (5) THE BUILDING HEIGHT SHOWN ACCOUNTS FOR THE GRADING REQUIRED TO ACCOMMODATE LOADING AREAS FOR THE WAREHOUSE. THE ACTUAL HEIGHT OF THE BUILDING, WITHOUT CONSIDERATION OF THE AVERAGE GRADE (4.61 FEET AT 15' HIGH ROOF AND 1.27' HIGH FINISH ARCHITECTURAL FINISHES) THE AVERAGE GRADE AT EACH BUILDING HAS BEEN CALCULATED BY MEASURING THE FINISHED GRADE ALONG THE FACADE FACING THE STREET AT 50 FOOT INTERVALS AND FINDING THE AVERAGE ELEVATION AS FOLLOWS:
 BUILDING A = (452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452) / 20 = 452.4
 BUILDING B = (452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452 + 452) / 20 = 452.4
 THE BUILDING HEIGHT FOR EACH BUILDING WAS THEN CALCULATED BY DETERMINING THE AVERAGE GRADE AND THE FINISHED FLOOR ELEVATION, THEN ADDING THE DIFFERENCE TO THE ACTUAL BUILDING HEIGHT AS FOLLOWS:
 BUILDING A = (452 - 452.4) + 48 = 48
 BUILDING B = (452 - 452.4) + 48 = 48
 ACCORDINGLY, FOR THE PURPOSE OF THIS APPLICATION THE BUILDING HEIGHTS FOR BUILDINGS A AND B ARE 48 AND 48 RESPECTIVELY. A VARIANCE IS REQUIRED AND WILL BE SUBMITTED WITH THE SITE PLAN.
 (6) THE LOT SURFACE COVERAGE WAS CALCULATED AS FOLLOWS:
 TOTAL COVERAGE AREA = 185,000 S.F. (BUILDING A) + 105,000 S.F. (BUILDING B) + 41,000 (PAVEMENT & SIDEWALKS) = 231,000 S.F.
 SURFACE COVERAGE = TOTAL COVERAGE AREA/LOT AREA = 231,000 S.F./504,569 S.F. = 45.8%
 (7) PURSUANT TO SECTION 185-21.2 (B) OF THE TOWN CODE, FRONT YARDS ABUTTING A STATE HIGHWAY SHALL BE AT LEAST 60 FEET.
 (8) PURSUANT TO THE TABLE OF USE AND BULK REQUIREMENTS FOR THE IB DISTRICT, THE MINIMUM SIDE YARD DIMENSION SHALL BE 30 FEET AND THE MINIMUM DIMENSION FOR BOTH SIDE YARDS SHALL BE 30 FEET. PURSUANT TO SECTION 185-10.0.5 OF THE TOWN CODE, SIDE YARDS OF A LOT IN THE IB DISTRICT ABUTTING A RESIDENTIAL DISTRICT WITH A TOTAL BUILDING FLOOR AREA BETWEEN 50,000 S.F. AND 500,000 S.F. SHALL HAVE A MINIMUM OF 20 FEET, PLUS AN ADDITIONAL 2 FEET FOR EACH FOOT OF BUILDING HEIGHT OVER 20 FEET. THE MINIMUM SIDE YARD DIMENSION SHALL BE 30 FEET.
 (9) PURSUANT TO SECTION 185-21.2 (B) OF THE TOWN CODE, SITES IN THE IB ZONE THAT ARE ADJACENT TO A RESIDENTIAL ZONE SHALL HAVE A BUFFER STRIP OF 5 FEET. PURSUANT TO SECTION 185-21.2 (B), THE BUFFER SHALL BE INCREASED TO 100 FEET PURSUANT TO SECTION 185-21.2 (A). THE 40 FEET CLOSEST TO THE PROPERTY LINE SHALL BEAR UNDISTURBED BY ITS EXISTING RESISTIVE STATE AND THE REMAINING FEET SHALL BE DITCHES.
 (10) SINCE THE ENCLOSED OF THE PROPOSED WAREHOUSE IS UNKNOWN AT THIS TIME, THE ANTICIPATED NUMBER OF EMPLOYEES HAS BEEN CALCULATED BASED UPON THE "EMPLOYMENT/WAREHOUSE SPACE USE INFORMATION" AND "WAREHOUSE DATA TRENDS" WHICH INDICATES AN AVERAGE OCCUPANT DENSITY FOR THE TOTAL NUMBER OF EMPLOYEES OF 0.23 EMPLOYEES PER 1,000 S.F. AND A MINIMUM PROPORTION OF 1.5 EMPLOYEES PER 1,000 S.F. FOR THE PURPOSE OF THIS APPROVAL, IT HAS BEEN CONSERVATIVELY ASSUMED THAT THE FACILITY WILL OPERATE WITH 1 EMPLOYEE PER 1,000 S.F. BASED UPON THIS BUILDING A WILL HAVE 185 EMPLOYEES AND BUILDING B WILL HAVE 105 EMPLOYEES FOR A TOTAL OF 290 EMPLOYEES.
 (11) THE TOWN PARKING REQUIREMENT IS 2 SPACES PER 3 EMPLOYEES. THEREFORE, BUILDING A REQUIRES 124 PARKING SPACES (185/3 = 61.66 (61.66 X 2 = 123.32) BUILDING B REQUIRES 70 PARKING SPACES (105/3 = 35 (35 X 2 = 70)). FOR A TOTAL REQUIRED PARKING SPACES OF 194.
 (12) IN ACCORDANCE WITH ADA REQUIREMENTS, BUILDING A WHICH REQUIRES 123.32 PARKING SPACES NEEDS 3 HANDICAP PARKING SPACES. BUILDING B, WHICH REQUIRES 70 PARKING SPACES NEEDS 3 HANDICAP PARKING SPACES, RESULTING IN A TOTAL REQUIRED HANDICAP PARKING SPACES OF 6.
 (13) THE TOWN LOADING REQUIREMENT IS 2 SPACES FOR THE FIRST 40,000 S.F. AND ONE ADDITIONAL FOR EACH ADDITIONAL 40,000 S.F. THEREFORE, BUILDING A (185,000 S.F.) REQUIRES 4 LOADING SPACES (185,000 / 40,000 = 4.625 = 4.625 (4.625 X 2 = 9.25) = 9.25) BUILDING B (105,000 S.F.) REQUIRES 4 LOADING SPACES (105,000 / 40,000 = 2.625 = 2.625 (2.625 X 2 = 5.25) = 5.25) FOR A TOTAL REQUIRED LOADING SPACES OF 10.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERFERENCE OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-45 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPARISON OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

811 Know what's below. Call before you dig.

No.	Revision	Date	By

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914-273-5225 fax 914-273-2102
 www.jmcplic.com

Drawn: JMC
 Scale: NOT TO SCALE
 Date: 12/03/2020
 Project No: 18156
 185-010 COVER
 C-000

NOT FOR CONSTRUCTION

Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	10.00%	1028253.21	
2	10.00%	15.00%	217534.38	
3	15.00%	20.00%	130180.05	
4	20.00%	Vertical	157637.78	

TEST LOCATION LABELS LEGEND	
B-X	BORING LOCATION/DESIGNATION
TP-X	TEST PIT LOCATION/DESIGNATION
SW-X	STORMWATER TEST LOCATION/DESIGNATION
TP-CX	CIVIL ENGINEER TEST PIT/INFILTRATION TEST LOCATION/DESIGNATION

LEGEND	
---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING WETLAND LINE AND DELINEATION
---	EXISTING BUILDING EDGE
---	EXISTING CURB LINE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	EXISTING STONE WALL
---	EXISTING FENCE
---	EXISTING TREE LINE
---	EXISTING STORM DRAIN LINE AND SIZE
---	EXISTING DOUBLE YELLOW PAINTED LINE
---	EXISTING WHITE PAINTED LINE
---	EXISTING FEATURE TO BE REMOVED
---	EXISTING WATER LINE
---	EXISTING OVERHEAD WRES
---	EXISTING TELEPHONE LINES
---	EXISTING DRAIN INLET
---	EXISTING MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING GAS VALVE
---	EXISTING WATER VALVE
---	EXISTING UTILITY POLE
---	EXISTING SIGN
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SAWTOOTH LINE

- NOTES:**
- EXISTING CONDITIONS DEPICTED HEREON HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY" PREPARED BY JMC ENGINEERS, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC, LAST REVISED 10/29/2020. CONTRACTOR SHALL VERIFY HIM/HERSELF AS TO THE ACCURACY OF THE EXISTING INFORMATION SHOWN HEREON AND IDENTIFY ANY DISCREPANCIES PRIOR TO THE ISSUANCE OF A BID.
 - EXISTING WETLANDS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC IN ACCORDANCE WITH THE MANY CORPS OF ENGINEERS (MACE) WETLANDS DELINEATION MANUAL (JANUARY 1987), ROUTE DETERMINATION METHOD AND NOTIFICATION METHOD SUPPLEMENT. THE WETLANDS WERE DELINEATED ON MARCH 26, 2019 AS DESCRIBED IN THE REPORT ENTITLED "WETLAND DELINEATION", SEPTEMBER 21, 2020.
 - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION", DATED 10/14/2020, PREPARED BY CARLIN-SIMPSON AND ASSOCIATES, SUPPLEMENTED BY JMC EMPLOYEES AND LOCATED USING GPS COORDINATES.
 - CONTRACTOR SHALL REFER TO GENERAL CONSTRUCTION NOTES ON DRAWING C-000 FOR ADDITIONAL DETAIL RELATED TO THE PROJECT SCOPE AND REQUIREMENTS FOR CONSTRUCTION.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND AEC PRIOR TO THE START OF CONSTRUCTION.
 - PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF NEWBURGH AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE TOWN OF NEWBURGH.
 - ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE REMOVED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND AEC PRIOR TO THE START OF CONSTRUCTION.
 - ALL DEMOLITION AND/OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, INCLUDING EXISTING AND EXISTING UTILITIES TO BE PROTECTED, SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS IMPOSED BY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) AND THE TOWN OF NEWBURGH AS APPLICABLE.
 - ALL CONSTRUCTION/DEMOLITION WORK NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND EQUALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
 - EXISTING CONCRETE MAY BE STORED ON SITE AND RECYCLED FOR USE AS COMPACTED FILL. ALL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
 - PRIOR TO THE START OF SITE DEMOLITION EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND OPERATIONS FOR EROSION AND SEDIMENT CONTROL, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF NEWBURGH OR JMC.
 - EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
 - ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, SHALL BE REPLACED.
 - ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
 - THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE. INFORMATION AND COORDINATION: ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
 - THE OWNER SHALL RETAIN A LICENSED AND QUALIFIED PROFESSIONAL, CERTIFIED BY THE STATE OF NEW YORK, TO INSPECT FOR THE PRESENCE OF ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS WITHIN BRICKWORK AREAS PRIOR TO THE COMMENCEMENT OF DEMOLITION. IF REMEDIATION IS REQUIRED, THE OWNER SHALL DO SO IN ACCORDANCE WITH THE NEW YORK STATE ASBESTOS RULES AND REGULATIONS AND/OR ANY AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DOCUMENTATION TO THE TOWN OF NEWBURGH PRIOR TO BEGINNING A DEMOLITION POINT.
 - THE CONTRACTOR SHALL EXTERMINATE RODENTS AS REQUIRED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH AND MENTAL HYGIENE. A LETTER FROM THE HEALTH DEPARTMENT CERTIFYING THAT A LICENSED EXTERMINATOR HAS TREATED THE EXISTING BUILDING SHALL BE PROVIDED TO THE TOWN OF NEWBURGH DEPARTMENT OF BUILDINGS.
 - PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE TOWN OF NEWBURGH DEPARTMENT OF BUILDINGS.
 - THE CONTRACTOR SHALL PROVIDE VERIFICATION TO THE TOWN OF NEWBURGH DEPARTMENT OF BUILDINGS THAT FIVE (5) DAYS' PRIOR NOTIFICATION WAS GIVEN TO ALL ADJACENT OWNERS AND THAT NOTIFICATION WAS GIVEN TO THE APPROPRIATE COMMUNITY BOARD PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 - STONES FROM FREESTANDING WALLS SHOWN HEREON TO BE REMOVED, SHALL BE STOCKPILED AS DIRECTED BY OWNER FOR FUTURE USE.

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EXISTING CONDITIONS MAP AND SITE REMOVALS PLAN
FARRELL INDUSTRIAL PARK
TOWN OF NEWBURGH, NY

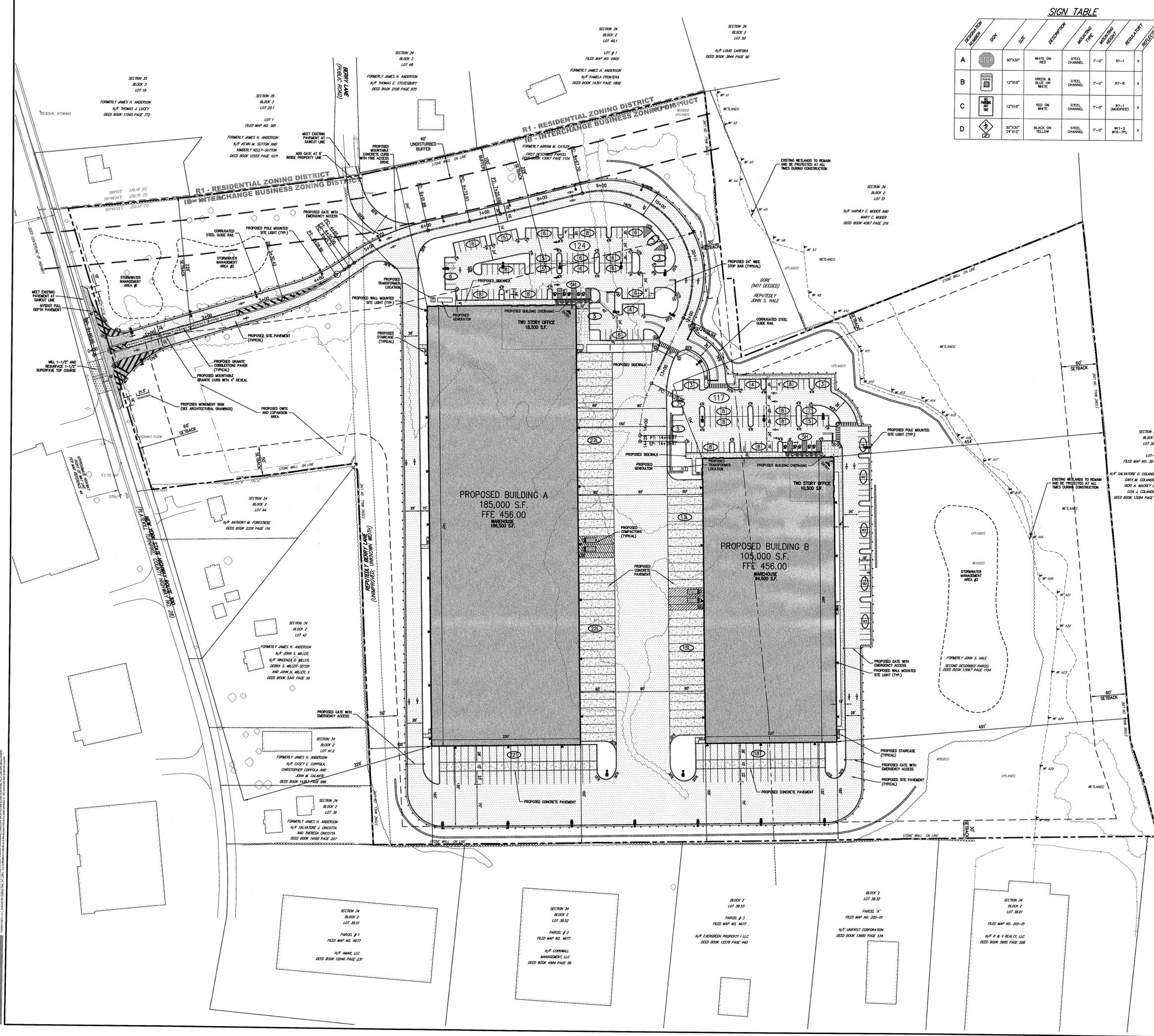
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: DK
Scale: 1" = 50'
Date: 12/03/2020
Project No: 18156
Title: EXIST
Drawn by: C-010



NOT FOR CONSTRUCTION

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DESCRIPTION	SYMBOL	SIZE	DESCRIPTION	MARKING TYPE	MARKING HEIGHT	REGULATORY	RECOMMENDED
A	STOP SIGN	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B	NO TURN ON RED SIGN	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-B	X
C	NO TURN ON RED SIGN	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	(R7-1) (MODIFIED)	X
D	NO TURN ON RED SIGN	30"x30" 24"x12"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W11-2 W16-7PL	X

SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING SETBACK LINE
---	EXISTING WETLAND LINE AND DELINEATION
---	EXISTING BUILDING LINE
---	EXISTING PAVEMENT EDGE
---	EXISTING CURB LINE
---	EXISTING STONE WALL
---	EXISTING GRADE RAIL
---	EXISTING FENCE
---	EXISTING UTILITY POLE
---	EXISTING SIGN
---	PROPOSED BUILDING LINE
---	PROPOSED CONCRETE CURB
---	PROPOSED PARKING SPACES WITH DIMENSIONS OF SPACES INDICATED (REFER TO STRIPING DETAILS)
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED SITE PAVEMENT
---	HYDROT FULL DEPTH PAVEMENT
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED 2'-4" WIDE YELLOW LINES 8" O.C.
---	PROPOSED 24" WIDE WHITE STOP LINE
---	PROPOSED ARROW MARKING ON PAVEMENT
---	PROPOSED DIRECTIONAL FLOW ARROWS (NOT PAVEMENT MARKINGS)
---	TRAFFIC SIGN LOCATION & DESIGNATION

NOTES:

- EXISTING CONDITIONS DEPICTED HEREON HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY" PREPARED BY JMC ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC, LAST REVISED 10/29/2020. CONTRACTOR SHALL SATISFY HIM/HERSELF AS TO THE ACCURACY OF THE EXISTING INFORMATION SHOWN HEREON AND IDENTIFY ANY DISCREPANCIES PRIOR TO THE ISSUANCE OF A BID.
- EXISTING WETLANDS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) WETLANDS DELINEATION MANUAL (JANUARY 1987), ROUTINE DETECTION METHOD AND WETLANDS DELINEATION MANUAL (NORTHWEST SUPPLEMENT) THE WETLANDS WERE DELINEATED ON MARCH 28, 2019 AS DESCRIBED IN THE REPORT ENTITLED "WETLAND DELINEATION", SEPTEMBER 21, 2020.

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LAYOUT PLAN
FARRELL INDUSTRIAL PARK
ROUTE 300
TOWN OF NEBORCH, NY

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Scale: 1" = 50'
Date: 12/03/2020
Project No: 18156
Drawing No: LAYOUT

C-100



LEGEND

---	EXISTING PROPERTY LINE
- - - -	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING METLAND LINE AND DELINEATION
---	EXISTING BUILDING LINE
---	EXISTING PAVEMENT EDGE
---	EXISTING CURB LINE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	EXISTING STONE WALL
---	EXISTING FENCE
---	EXISTING DRAIN INLET
---	EXISTING MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING UTILITY POLE
---	EXISTING SIGN
---	PROPOSED BUILDING LINE
---	PROPOSED CONCRETE CURB
---	PROPOSED FINISHED GRADE
---	PROPOSED SPOT GRADE
---	PROPOSED TYPE C DRAIN INLET
---	PROPOSED TYPE D DRAIN INLET
---	PROPOSED RETAINING WALL WITH 4" SAFETY FENCE OR OTHER APPROVED
---	PROPOSED TEST LOCATIONS

- NOTES:**
- EXISTING CONDITIONS DEPICTED HEREON HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY" PREPARED BY JMC ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, P.L.L.C., LAST REVISED 10/29/2020. CONTRACTOR SHALL VERIFY HIM/HERSELF AS TO THE ACCURACY OF THE EXISTING INFORMATION SHOWN HEREON AND IDENTIFY ANY DISCREPANCIES PRIOR TO THE ISSUANCE OF A BID.
 - EXISTING METLANDS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS (USACE) METLANDS DELINEATION MANUAL (JANUARY 1987), ROUTINE DELINEATION METHOD AND HORIZONTAL/VERTICAL SUPPLEMENT, THE METLANDS WERE DELINEATED ON MARCH 26, 2016 AS DESCRIBED IN THE REPORT ENTITLED "METLAND DELINEATION", SEPTEMBER 21, 2020.
 - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION", DATED 10/14/2020, PREPARED BY CARL M. SIMPSON AND ASSOCIATES, SUPPLEMENTED BY LOCATIONS OBSERVED BY JMC EMPLOYEES AND LOCATED USING GPS COORDINATES.

TEST LOCATION LABELS LEGEND

---	BORING LOCATION/DESIGNATION
---	TEST PIT LOCATION/DESIGNATION
---	STORMWATER TEST LOCATION/DESIGNATION
---	SOIL ENGINEER TEST PIT/PENETRATION TEST LOCATION/DESIGNATION

TEST LOCATION LEGEND NOTES:

A. BORINGS, TEST PITS AND STORMWATER TESTS WERE PERFORMED BY CARL M. SIMPSON AND ASSOCIATES, THE CIVIL ENGINEER TEST PIT/PENETRATION TESTS WERE PERFORMED BY JMC, P.L.L.C. TO ACQUIRE INFORMATION FOR THE DESIGN OF THE PROPOSED ON SITE WASTEWATER TREATMENT SYSTEM.

RETAINING WALL SPOT GRADE LEGEND

---	(PROPOSED GRADE)
---	(PROPOSED GRADE)

FARRELL BUILDING COMPANY
 120 HARTFORD AVENUE
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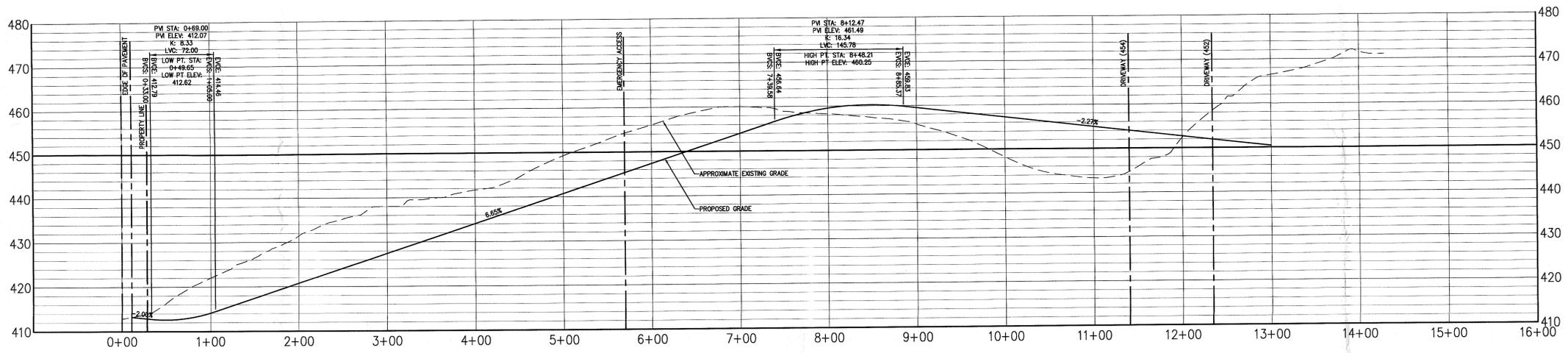
JMC
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, P.L.L.C.
 JMC Site Development Consultants, LLC
 John Mayer Consulting, Inc.
 128 BEFORD ROAD - ARTHUR, NY 15604
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GRADING PLAN
FARRELL INDUSTRIAL PARK
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: DK Approved: DL/JS
 Scale: 1" = 50'
 Date: 12/03/2020
 Project No: 10156
 SHEET NO: 040 040 of 040
C-200

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DRIVEWAY PROFILE

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No.	Revision	Drawn	By

APPLICANT:
FARRELL BUILDING COMPANY
 2317 MONTAUK HIGHWAY
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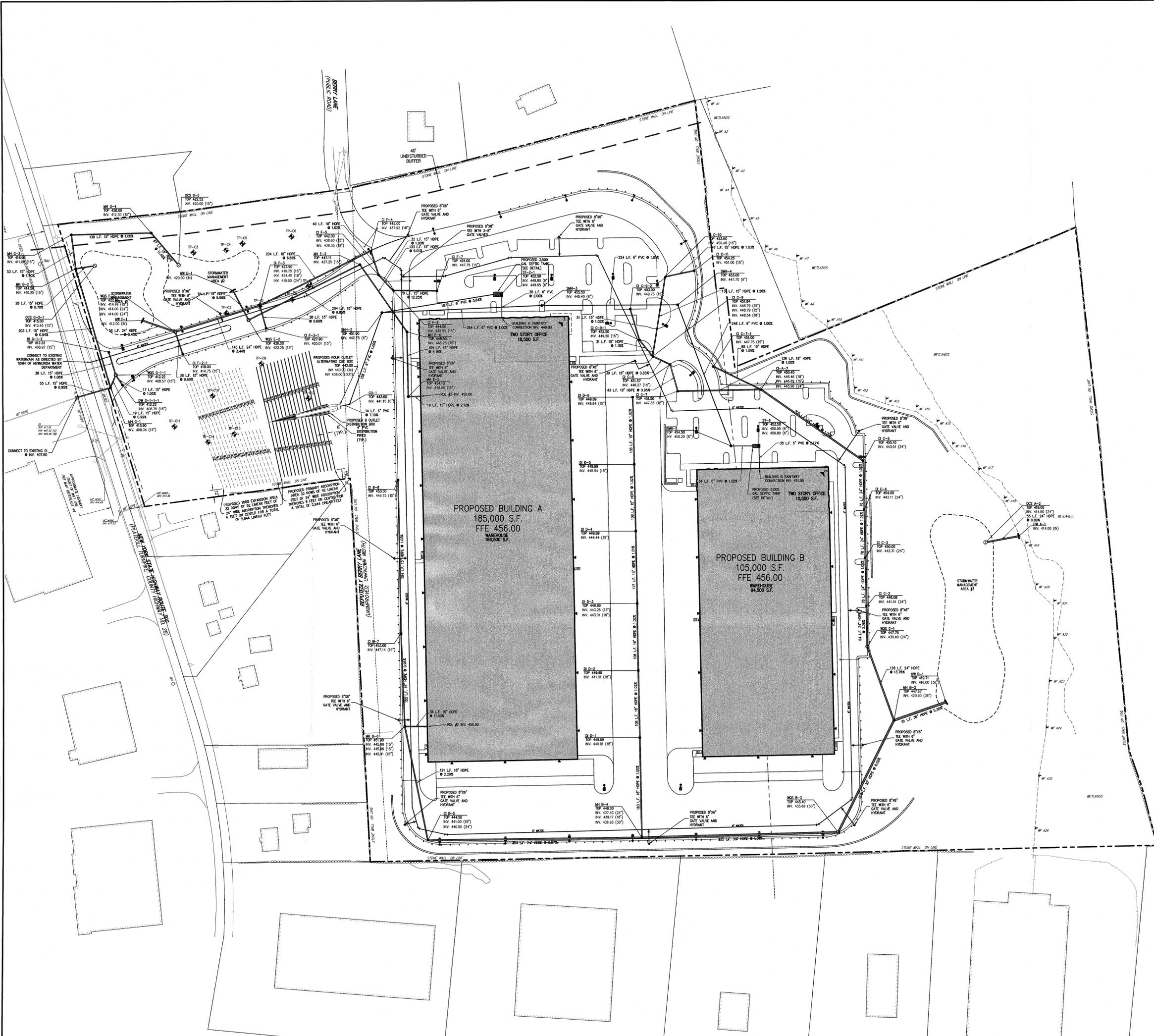
DRIVEWAY PROFILE
FARRELL INDUSTRIAL PARK
 TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn:	TC	Approved:	DL/JS
Scale:	1/4" = 50'/1" = 10'		
Date:	12/03/2020		
Project No:	18156		
Checked by:	PROFILE	DATE:	08/08/20

C-210

NOT FOR CONSTRUCTION



LEGEND

---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING WETLAND LINE AND DELINEATION
---	EXISTING BUILDING LINE
---	EXISTING PAVEMENT EDGE
---	EXISTING CURB LINE
---	EXISTING STONE WALL
---	EXISTING RETAINING WALL
---	EXISTING GUIDE RAIL
---	EXISTING FENCE
---	EXISTING STORM DRAIN LINE AND SIZE
---	EXISTING SANITARY LINE AND SIZE
---	EXISTING DRAIN INLET
---	EXISTING MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING GAS VALVE
---	EXISTING WATER VALVE
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	PROPOSED BUILDING LINE
---	PROPOSED CONCRETE CURB
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED TYPE C DRAIN INLET
---	PROPOSED TYPE D DRAIN INLET
---	PROPOSED HEADWALL
---	PROPOSED WATER QUALITY STRUCTURE
---	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
---	PROPOSED OUTLET CONTROL STRUCTURE
---	PROPOSED CLEANSIT
---	PROPOSED HYDRANT
---	PROPOSED STORM DRAIN LINE & SIZE
---	PROPOSED SANITARY SEWER LINE & SIZE
---	PROPOSED WATER LINE & SIZE
---	PROPOSED RETAINING WALL (OTHER BY OTHERS)

- NOTES:**
- EXISTING CONDITIONS DEPICTED HEREON HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JMC ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, P.L.L.C. LAST REVISED 10/29/2020. CONTRACTOR SHALL VERIFY DIMENSIONS AS TO THE ACCURACY OF THE EXISTING INFORMATION SHOWN HEREON AND IDENTIFY ANY DISCREPANCIES PRIOR TO THE ISSUANCE OF A B.O.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER, DURING CONSTRUCTION OF THE PRACTICE, THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORROSION RESISTANCE IN ACCORDANCE WITH ASTM D-3548. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYPROPYLENE CHAIN PIPE (PPCP), SDR-35, WITH PUSH-IN JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE COATED DUCTILE IRON PIPE (DCI) CLASS 50, WITH MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

FARRELL BUILDING COMPANY
 2371 HOWLAND HIGHWAY
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APPLICANT:

By:	
Date:	
Revised:	
Iss:	

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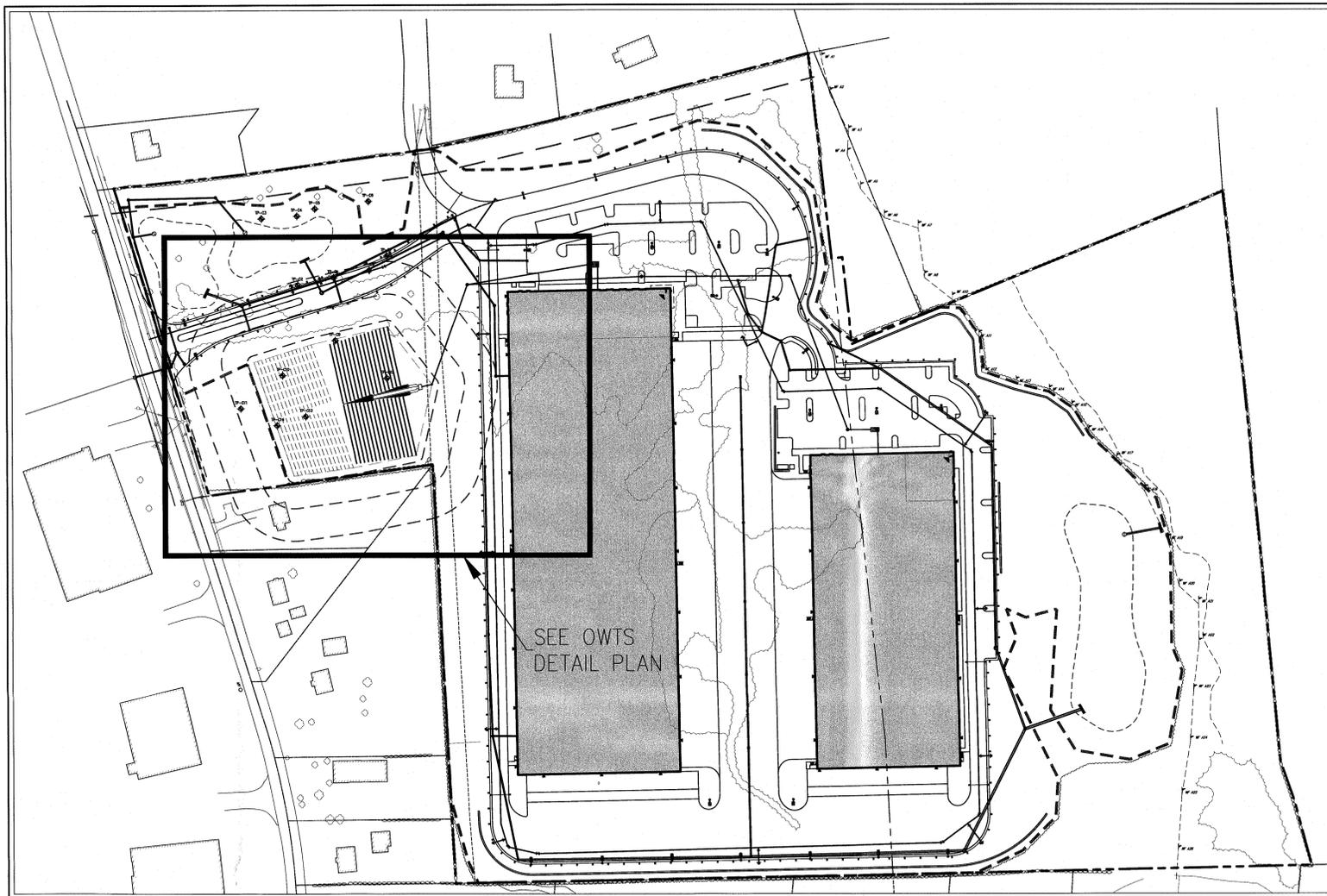


UTILITIES PLAN
FARRELL INDUSTRIAL PARK
 TOWN OF NEUBURGH, NY

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Scale:	1" = 50'
Date:	12/03/2020
Project No:	18156
Sheet No.:	UTIL-02
Drawing No.:	C-300

SITE PLAN
1" = 80'



PERCOLATION TESTING DATA TABLE

TEST PIT NO.	DATE TESTED	TEST PIT DESCRIPTION	PERCOLATION DATE (MIN)	GROUNDWATER PRESENT (Y/N)	DEPTH FROM GRADE (FT)	PERCOLATION (Y/N)	DIAMETER OF PIPE (IN)
TP-C1	10/20/2020	LIGHT BROWN SANDY SILT	25.00	NO	24"	NO	6"
TP-C2	10/20/2020	LIGHT BROWN SANDY SILT	18.33	NO	24"	NO	6"
TP-C3	10/20/2020	LIGHT BROWN SANDY SILT	23.33	NO	24"	NO	6"
TP-C4	10/20/2020	LIGHT BROWN SANDY SILT	30.00	NO	24"	NO	6"
TP-C5	10/20/2020	LIGHT BROWN SANDY SILT	7.50	NO	24"	NO	6"
TP-C6	10/20/2020	LIGHT BROWN SANDY SILT	7.36	NO	24"	NO	6"
TP-C7	10/20/2020	LIGHT BROWN SANDY SILT	33.33	NO	24"	NO	6"
TP-C8	10/20/2020	LIGHT BROWN SANDY SILT	50.00	NO	24"	NO	6"
TP-C9	10/26/2020	LIGHT BROWN SANDY SILT	6.16	NO	24"	NO	6"
TP-C10	10/26/2020	LIGHT BROWN SANDY SILT	8.33	NO	24"	NO	6"
TP-C11	10/26/2020	LIGHT BROWN SANDY SILT	6.50	NO	24"	NO	6"
TP-C12	10/26/2020	LIGHT BROWN SANDY SILT	6.00	NO	24"	NO	6"
TP-C13	10/26/2020	LIGHT BROWN SANDY SILT	11.67	NO	24"	NO	6"
TP-C14	10/26/2020	LIGHT BROWN SANDY SILT	18.33	NO	24"	NO	6"

DEEP HOLE TESTING DATA TABLE

TEST PIT NO.	DATE TESTED	TEST PIT DESCRIPTION	DEPTH ACHIEVED (FT)	GROUNDWATER PRESENT (Y/N)	DEPTH TO ROCK (FT)	MOTTILING (Y/N)
TP-C1	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N
TP-C2	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N
TP-C3	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N
TP-C4	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N
TP-C5	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N
TP-C6	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N
TP-C7	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N
TP-C8	10/20/2020	0'-8" TOPSOIL 8"-8" LIGHT BROWN SANDY SILT	96"	NO	N/A	N

MINIMAL HORIZONTAL SEPARATION DISTANCES (IN FEET)

EXISTING FEATURE	WATER TIGHT	SEWER ABSORPTION
DRILLED WELL-PUBLIC WATER SYSTEM	100	50
WATER LINE (PRESSURE)	10	10
STORMWATER INFILTRATION MANAGEMENT PRACTICE	25	25
CATCH BASIN	25	N/A
FOUNDATION	10	N/A
PROPERTY LINE	10	10
SMALL	N/A	N/A

TEST LOCATION LABELS LEGEND

- B-X BORING LOCATION/DESIGNATION
- TP-X TEST PIT LOCATION/DESIGNATION
- SW-X STORMWATER TEST LOCATION/DESIGNATION
- CP-X CIVIL ENGINEER TEST PIT/ANALYSIS TEST LOCATION/DESIGNATION

TEST LOCATION LEGEND NOTES:

A. BORINGS, TEST PITS AND STORMWATER TESTS WERE PERFORMED BY CARLSON-SIMPSON AND ASSOCIATES, THE CIVIL ENGINEER TEST PIT/ANALYSIS TESTS WERE PERFORMED BY JAC. PLOTT TO ACQUIRE INFORMATION FOR THE DESIGN OF THE PROPOSED ON-SITE WASTEWATER TREATMENT SYSTEM.

LEGEND

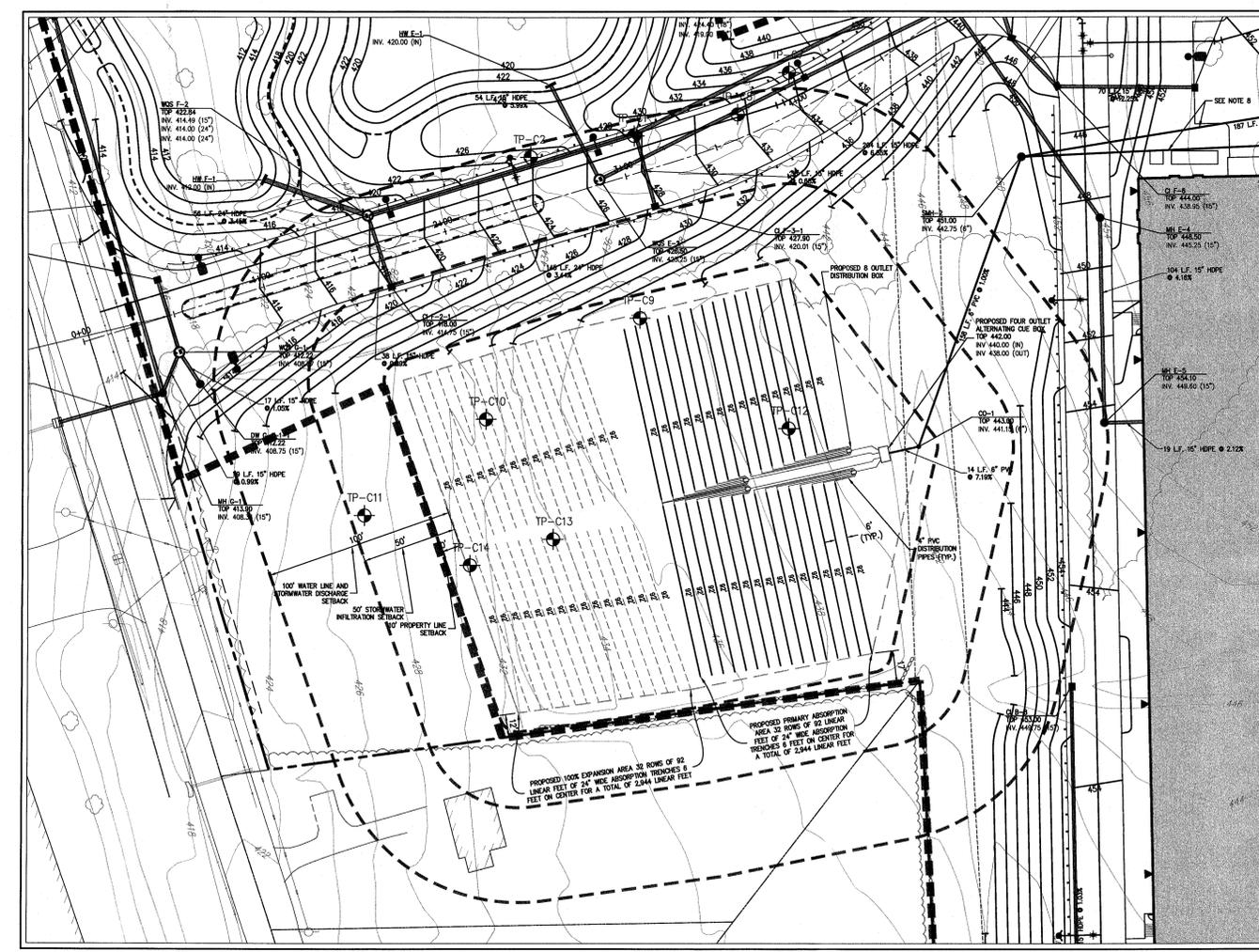
- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING CURB LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE C1 DRAIN INLET
- PROPOSED TYPE C1 DRAIN INLET
- PROPOSED HEADWALL
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
- PROPOSED OUTLET CONTROL STRUCTURE
- PROPOSED CLEANOUT
- PROPOSED HYDRANT
- PROPOSED STORM DRAIN LINE & SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED WATER VALVE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)

- NOTES:**
- EXISTING CONDITIONS DEPICTED HEREON HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JAC ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC, LAST REVISION 10/20/2020. CONTRACTOR SHALL SATISFY HIM/HERSELF AS TO THE ACCURACY OF THE EXISTING INFORMATION SHOWN HEREON AND IDENTIFY ANY DISCREPANCIES PRIOR TO THE ISSUANCE OF A BID.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER, DURING CONSTRUCTION OF THE PRACTICES THE CONTRACTOR SHALL MAINTAIN AND AVOID ANY IMPROVEMENTS TO THE MAINLINE EXISTING PRACTICES. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "REPORT FOR SUBSURFACE SOIL AND FOUNDATION INVESTIGATION," DATED 10/14/2020, PREPARED BY CARLSON-SIMPSON AND ASSOCIATES. SUPPLEMENTED TEST LOCATIONS OBSERVED BY JAC EMPLOYEES AND LOCATED USING GPS COORDINATES.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORROSION IN ACCORDANCE WITH ASTM F-2942. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRANTY LINES SHALL BE POLYETHYLENE GLASS REINFORCED (PFRP) PIPE, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE WALL POLYETHYLENE EXCITEL RIBBON PIPE (DPE), CLASS 52, WITH MECHANICAL JOINTS IN ACCORDANCE WITH ANMA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONJUNCTION WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - REFER TO JAC DRAWING C-300 "UTILITIES PLAN" FOR THE CONTINUATION OF THE SANITARY SEWER.

ORANGE COUNTY DEPARTMENT OF HEALTH NOTES:

- APPLICANT: **FARRELL BUILDING COMPANY**
PROPERTY OWNER: **ORANGE COUNTY DEPARTMENT OF HEALTH**
SITE LOCATION: **ROUTE 300, TOWN OF NEWBURGH, NY 12550**
TAX MAP NUMBER OF PARCELS: **SECTION 34 BLOCK 02 LOT 46**
- ELEVATION OF THE ON-SITE WASTEWATER TREATMENT SYSTEM HAVE BEEN ESTABLISHED BASED ON THE SEWER INVERT AT THE EXISTING LINE AND GROUND ELEVATIONS WITHIN THE ABSORPTION AREA. SHOULD THE SEWER INVERT BE CHANGED, ADJUSTMENTS OF ELEVATIONS AND REMAINING PORTIONS OF THE SYSTEM MAY BE REQUIRED. ALL CHANGES SHALL BE INDICATED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- THE DESIGN OF THE ON-SITE WASTEWATER TREATMENT AREAS ARE BASED ON A SOIL PERCOLATION RATE OF 21-30 MIN/INCH AND THE CONSTRUCTION OF TWO WAREHOUSES TOTALING 290,000 SQUARE FEET, BASED UPON ONE EMPLOYEE PER 1,000 SQUARE FEET AND 12 EMPLOYEES PER 1,000 SQUARE FEET. A MAXIMUM FLOW RATE OF 4.80 GPD/INCH² OF TREATMENT AREA IS PROVIDED.
- THE ON-SITE WASTEWATER TREATMENT SYSTEM FOR THE BUILDING SHALL INCLUDE THE FOLLOWING IMPROVEMENTS:
- 2,844' LINEAR FEET, 24 INCH WIDE ABSORPTION TRENCH (PRIMARY)
- 2,844' LINEAR FEET, 24 INCH WIDE ABSORPTION TRENCH (EXPANSION)
- 1-3,000 GALLON PRECAST CONCRETE SEPTIC TANK
- 1-2,000 GALLON PRECAST CONCRETE SEPTIC TANK
- 4' EACH PRECAST CONCRETE 6' OUTLET DISTRIBUTION BOX
ADDITIONAL IMPROVEMENTS 6' OUTLET ALTERNATING CHE BOX DOING CHAMBER
- THE DESIGN 5000 TREATMENT CAPACITY IS 3,400 GALLONS PER DAY HANDLED WITH 24" WIDE ABSORPTION TRENCHES. IT IS BASED UPON NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS, TABLE A, EXPECTED LOADING RATES FOR A WAREHOUSE OF 15 GAL/DAY PER EMPLOYEE, AT 200 EMPLOYEES. THE 5000 REQUIRED AREA IS 6,000 SQUARE FEET BASED UPON AN APPLICATION RATE OF 0.80 GAL/DAY/IN², 6,000 SQUARE FEET OF TREATMENT AREA IS PROVIDED.
- BASE INFORMATION WAS TAKEN FROM THE "TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY JAC, LAST REVISION 10/20/2020.
- ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE BOX.
- PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-955-7962.
- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
"NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS"
"RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (EN STATED)"
"NEW YORK STATE DEPARTMENT OF HEALTH AND ORANGE COUNTY DEPARTMENT OF HEALTH POLICIES, PROCEDURES AND STANDARDS."
- THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR THE MANAGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY ACTUALLY.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED.
- NO WELLS DEEPER THAN 300 FT OF THIS PROJECT SHOULD BE DRILLED.
- TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDE AND BOTTOM OF TRENCHES MUST BE RAKES. THE ENDS OF LATERALS MUST BE CAPPED.
- THERE IS NO REGRADING EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNDERGRAVING OF CONSTRUCTION EQUIPMENT IN THE ACTUAL ABSORPTION FIELDS BEFORE, DURING OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNLAWFUL COMPACTING THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL OR WHICH THE DESIGN WAS BASED.
- NO DRIVING PAVEMENT, DRIVEWAYS OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
- THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARAGE GRINDERS, JACOZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER DISPENSERS AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND APPROVED BY THE ORANGE COUNTY HEALTH DEPARTMENT.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOING CHAMBER) TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- THE OWNER MUST PROVIDE WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
- THE SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- DISTRIBUTION BOX SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- INDIVIDUAL SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN ONE YEAR OF AVAILABILITY.
- ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. THE EXTENSION FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH AND BASED UPON REVIEW AND EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.

OWTS DETAIL PLAN
1" = 30'



NOT FOR CONSTRUCTION

FARRELL BUILDING COMPANY
2377 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

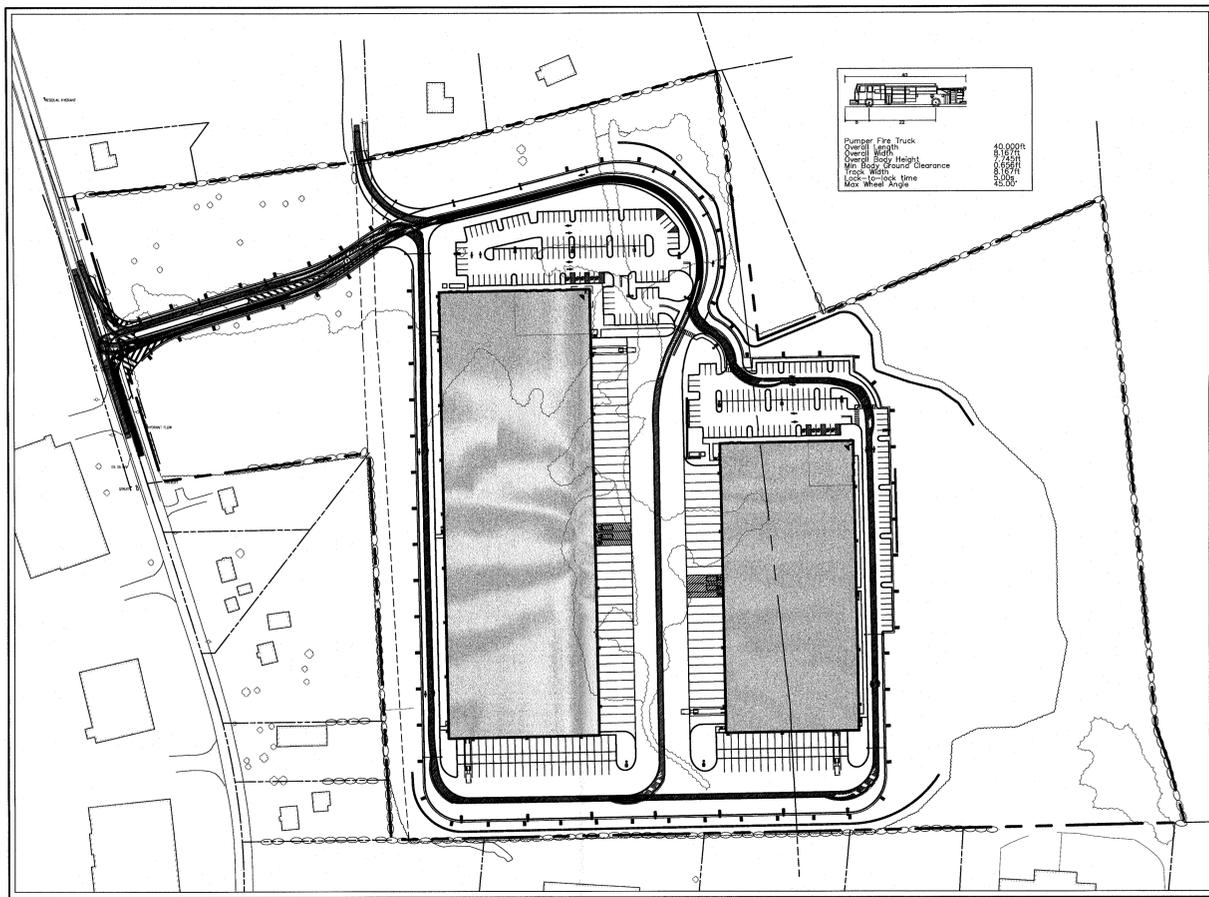
JMC
JMC Structural, Engineering, Landscape Architecture & Land Surveying, PLLC
John Meyer Consulting, Inc.
120 BEAUBIEN ROAD - ARBONIK, NY 10504
PHONE 914 271 5725 - FAX 914 271 5102
WWW.JMCCORP.COM

ON-SITE WASTEWATER TREATMENT SYSTEM PLAN
FARRELL INDUSTRIAL PARK
TOWN OF NEWBURGH, NY

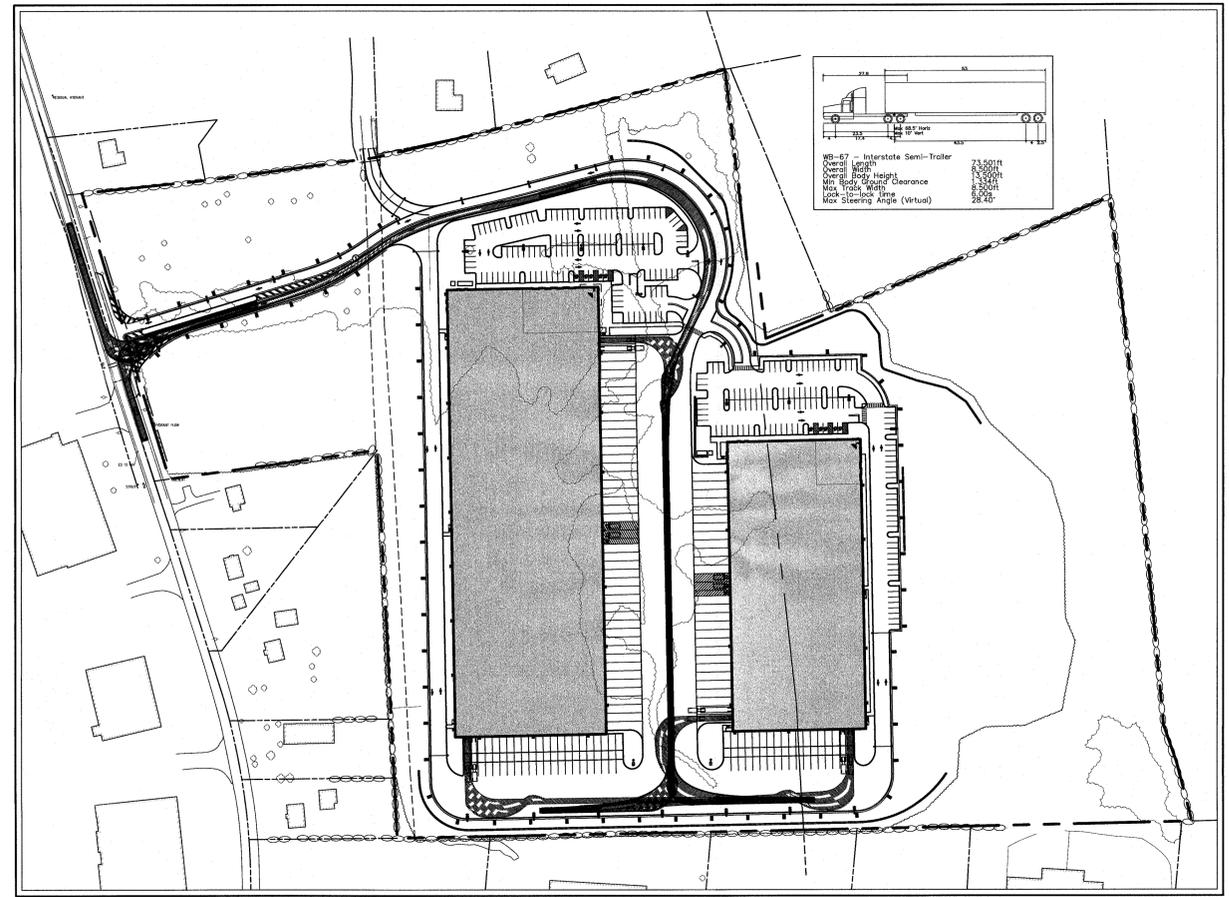
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn TO: []
Checked BY: []
Scale: SEE PLAN
Date: 12/03/2020
Project No: 18155
1808-070C OWTS GRANVILLE

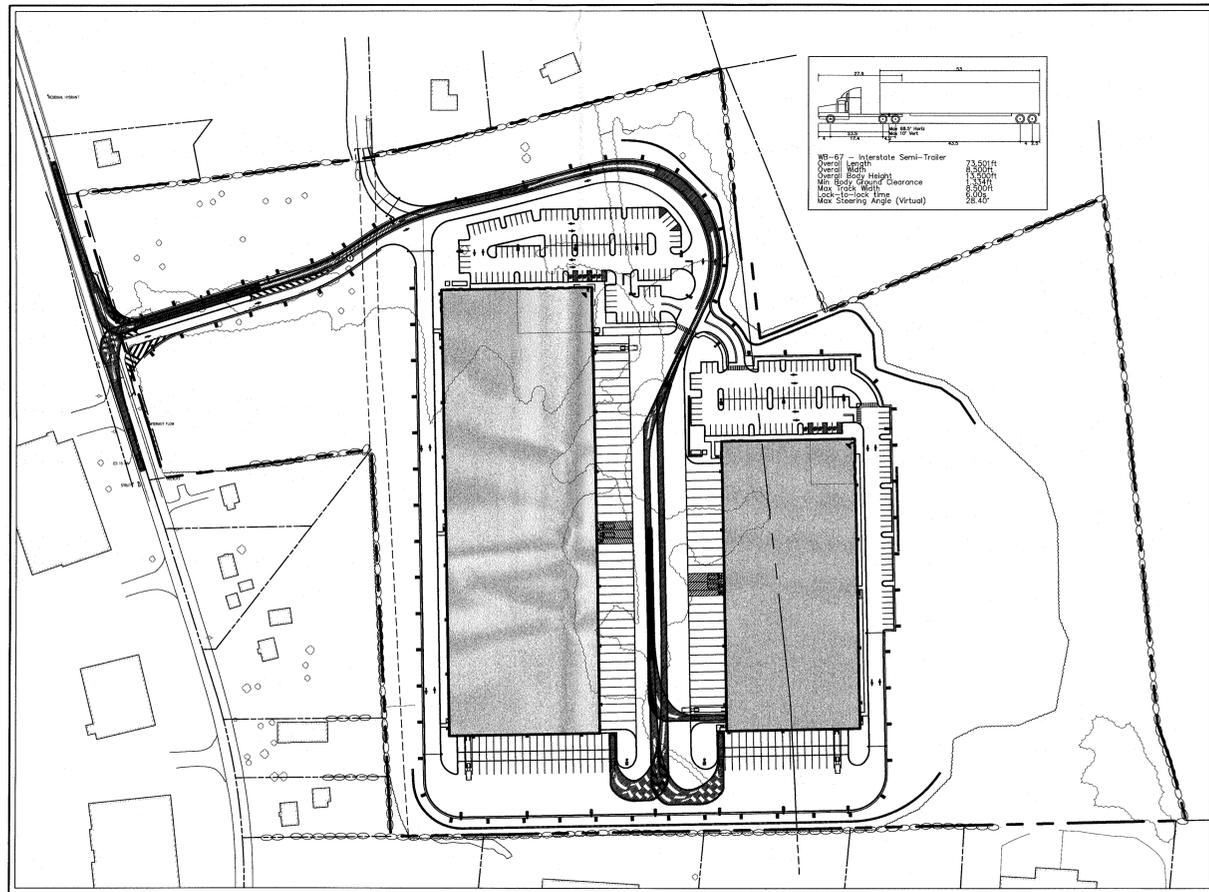
C-310



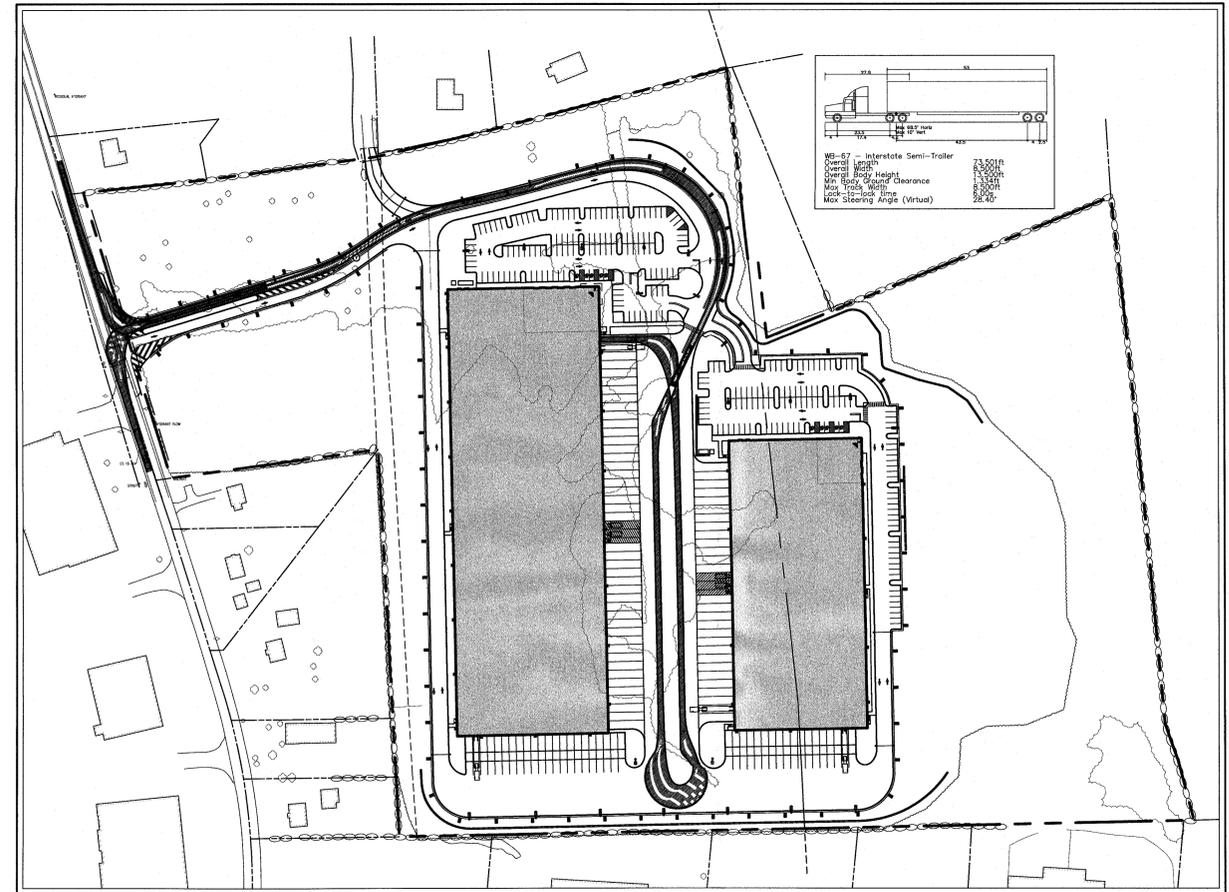
FIRE TRUCK
-ENTERING AND EXITING-



DELIVERY TRUCK
-ENTERING-



DELIVERY TRUCK
-EXITING-



DELIVERY TRUCK
-EXITING ALT-

NOT FOR CONSTRUCTION

Revised	Date	By

APPLICANT:
FARRELL BUILDING COMPANY
2377 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

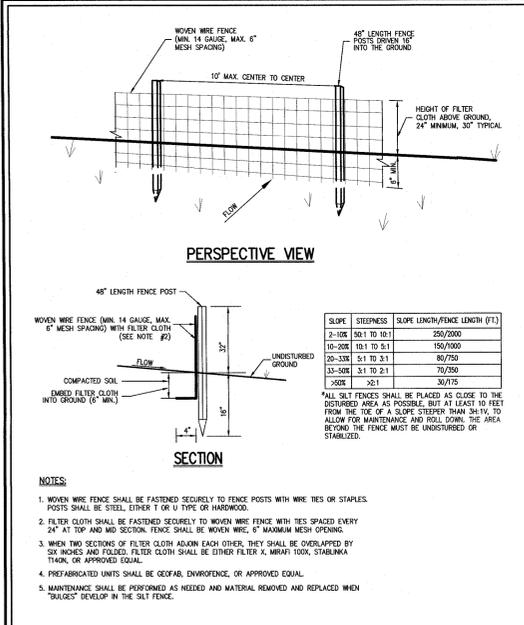
JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Weyand Consulting, Inc.
120 BEAUFORT ROAD - ARMONK, NY 10504
PH: 914.272.5225 • FAX: 914.272.2102
WWW.JMCPINC.COM



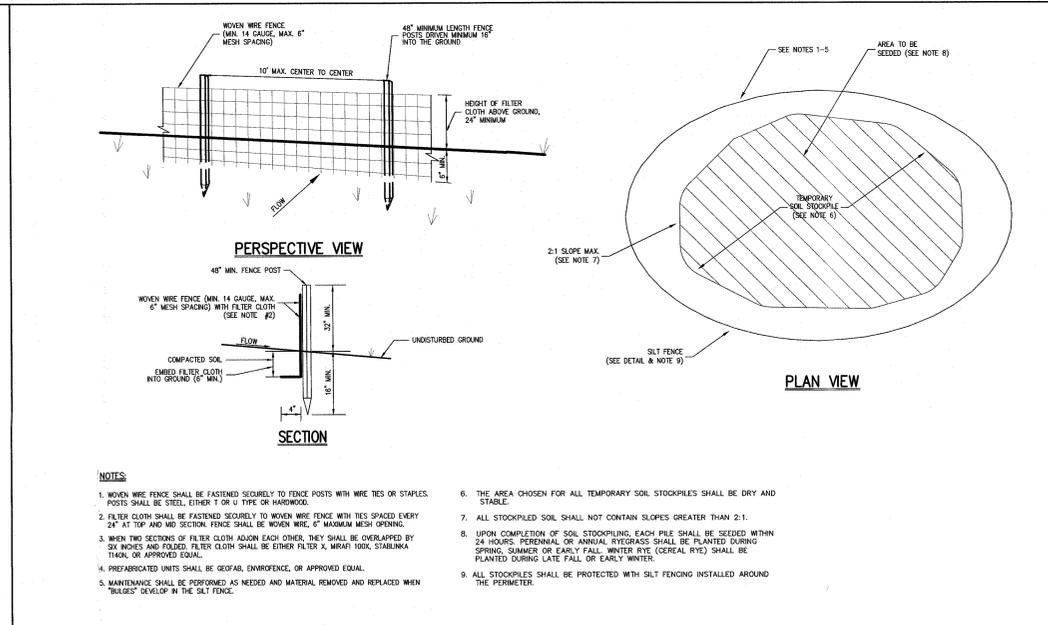
TRUCK TURNING PLAN
FARRELL INDUSTRIAL PARK
ROUTE 300
TOWN OF NEWBURGH, NY

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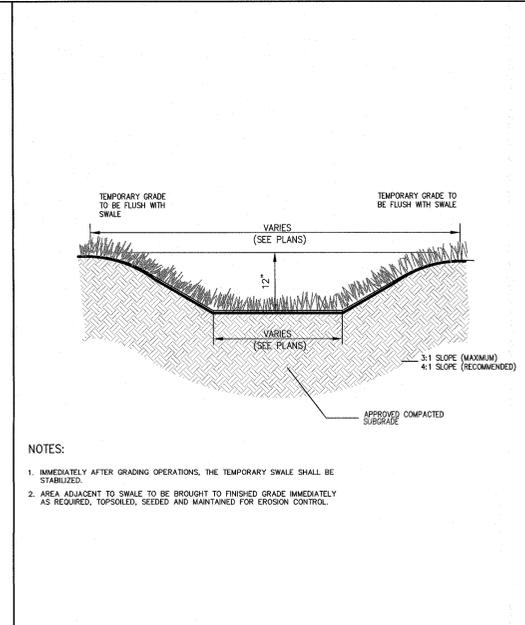
Drawn	YC	Approved	DL/JS
Scale	1" = 100'		
Date	12/03/2020		
Project No.	18156		
Sheet Label	TRUCK	TRUCK	TRUCK
Drawn By	C-700		



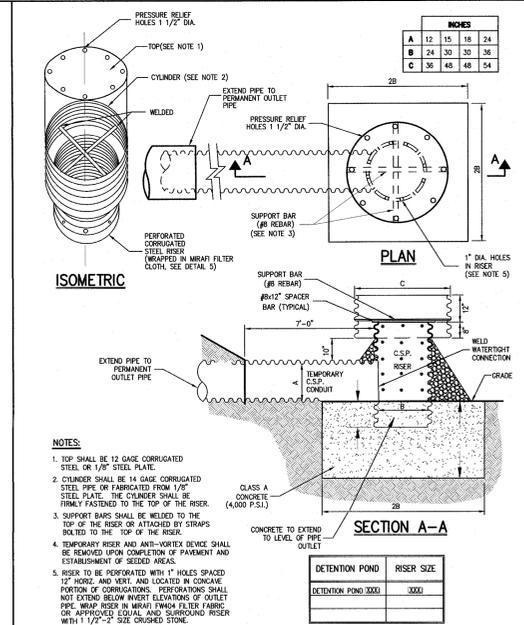
SILT FENCE 1



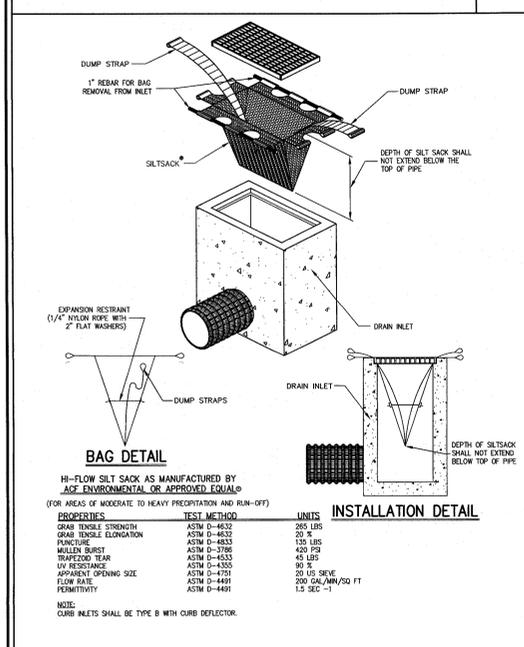
TEMPORARY SOIL STOCKPILE WITH SILT FENCE 2



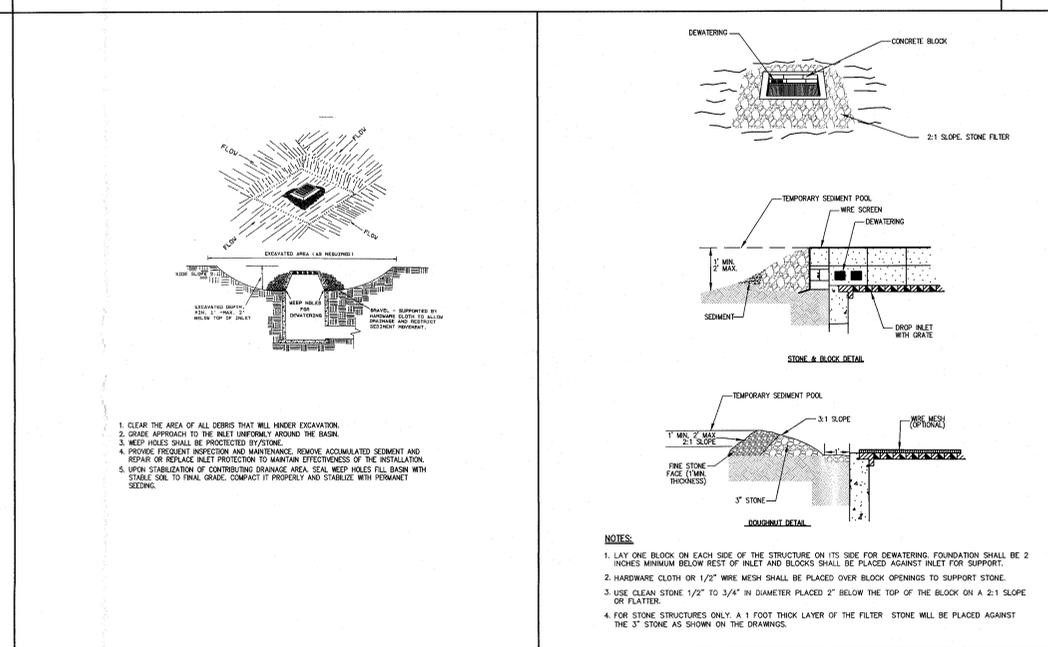
TEMPORARY DIVERSION SWALE 3



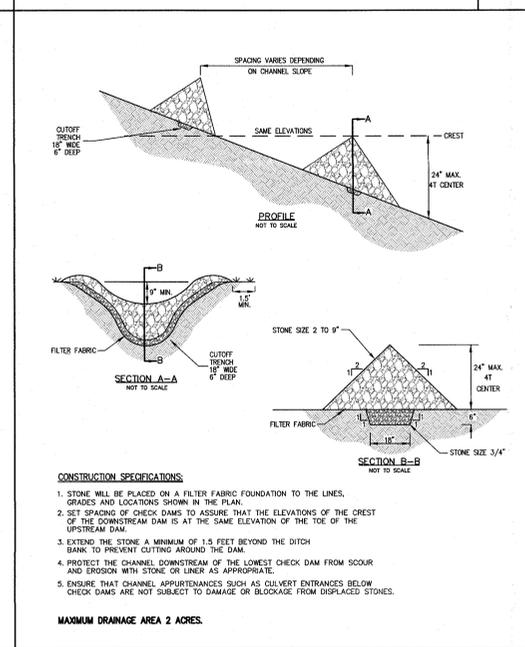
TEMPORARY RISER & ANTI-VORTEX DEVICE 4



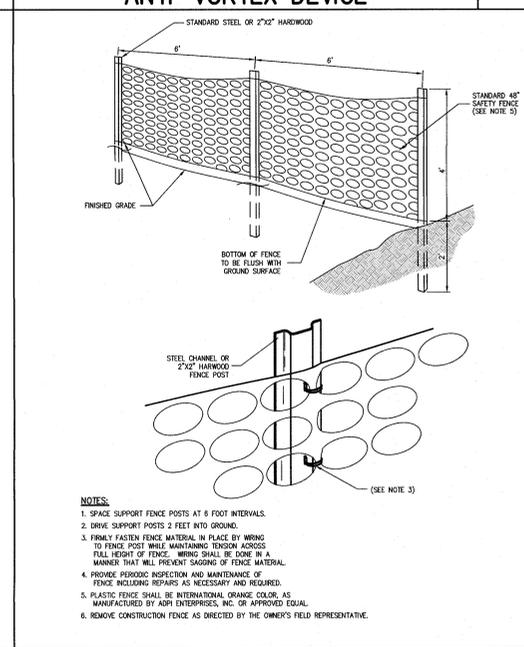
MANUFACTURED INSERT INLET PROTECTION 5



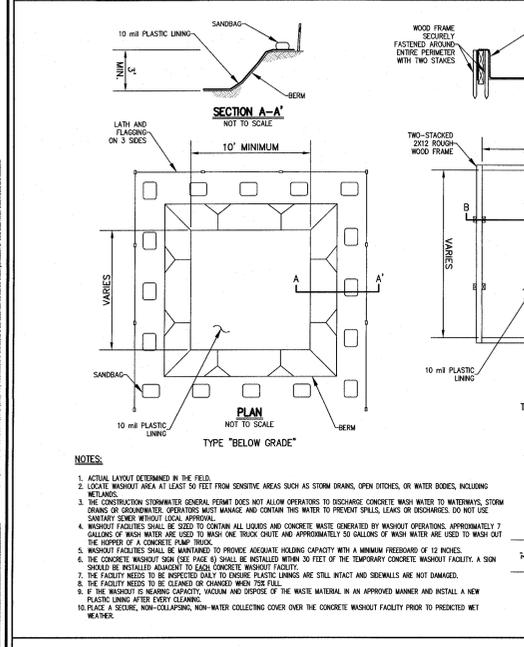
EXCAVATED DROP INLET PROTECTION 6



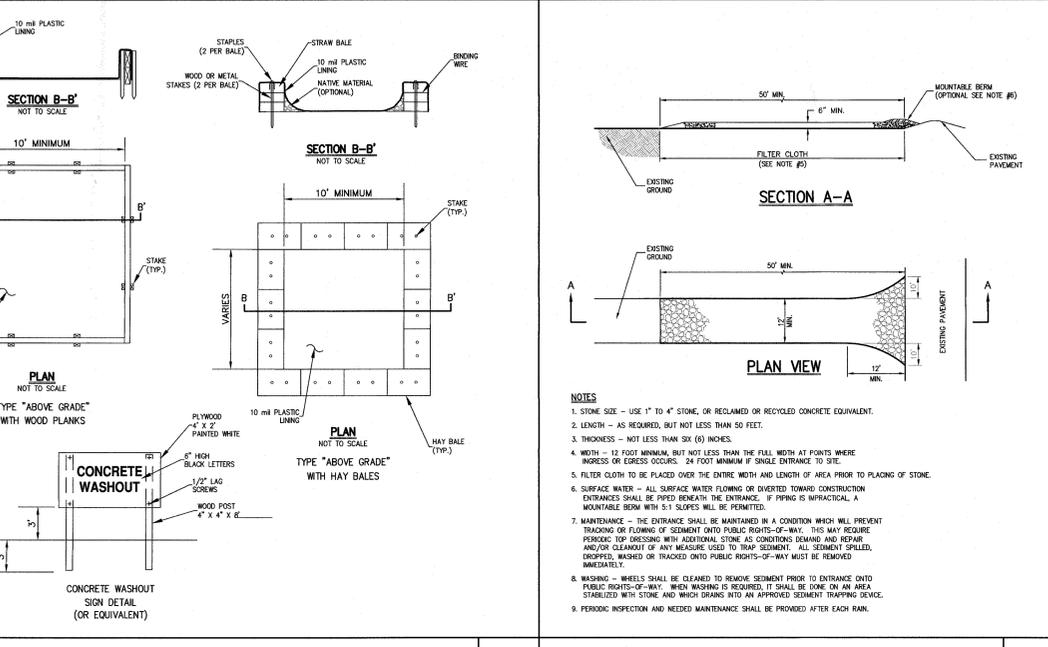
STONE & BLOCK DROP INLET PROTECTION 7



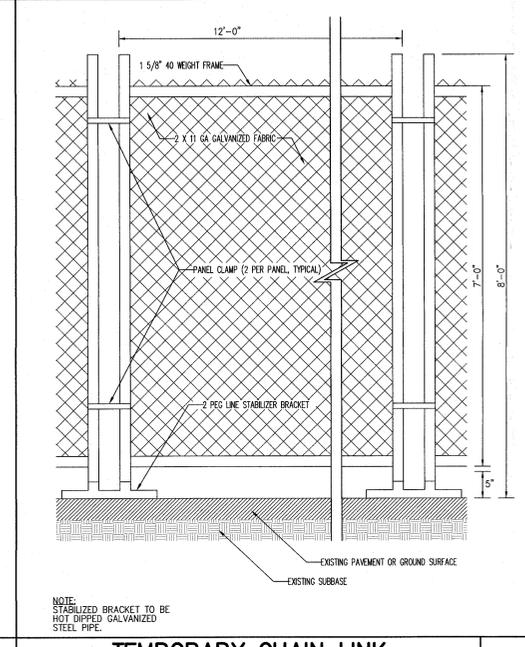
STONE CHECK DAM 8



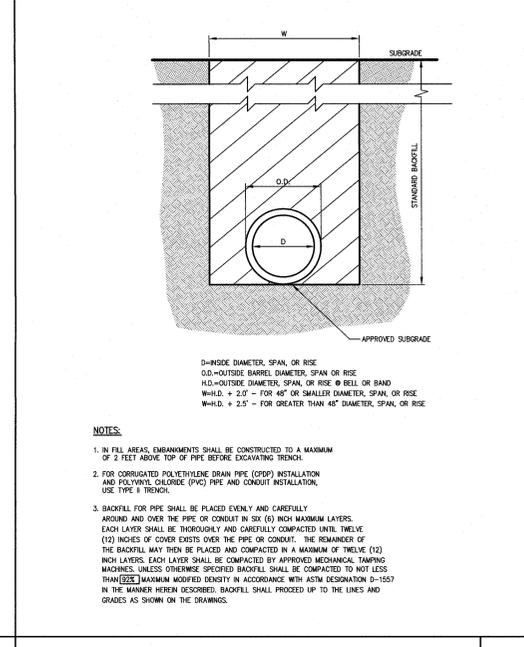
CONCRETE WASHOUT 10



STABILIZED CONSTRUCTION ACCESS 11



TEMPORARY CHAIN LINK CONSTRUCTION FENCE 12



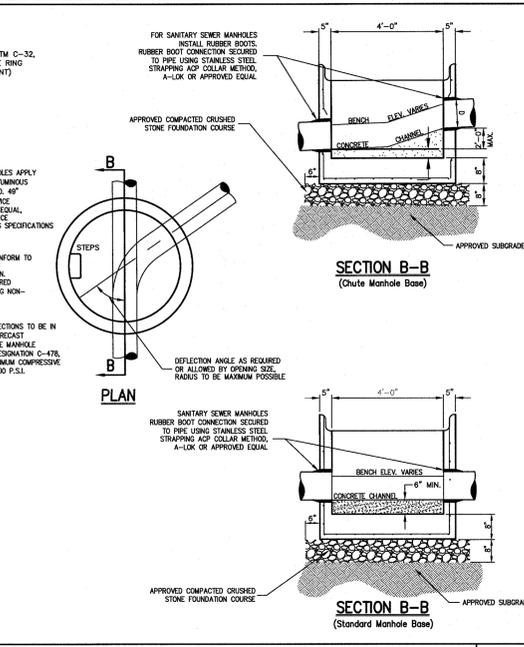
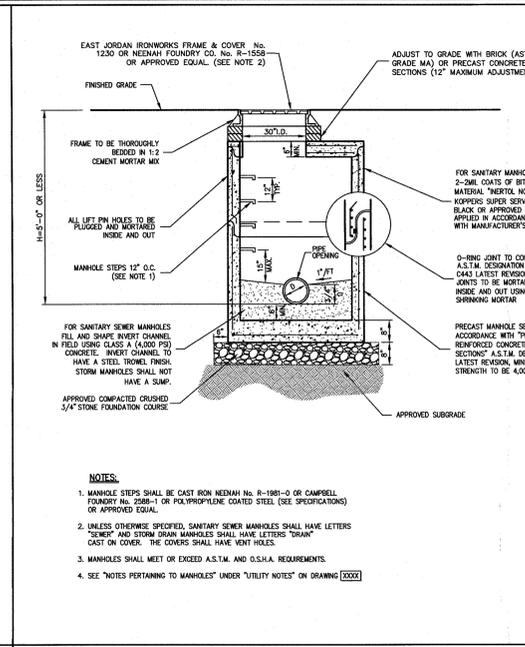
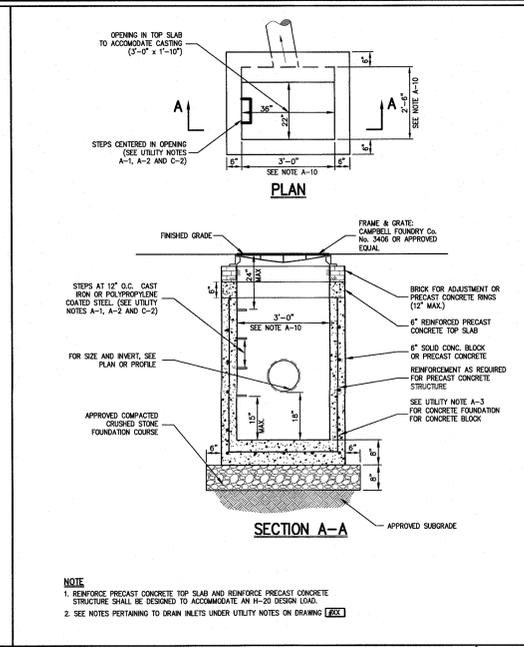
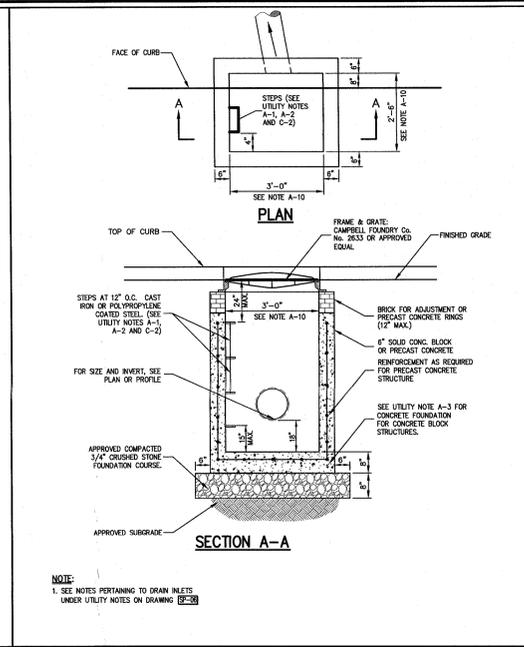
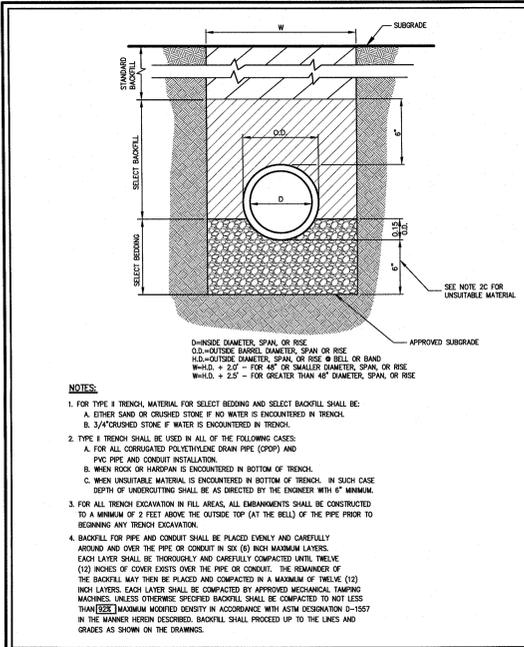
TYPE I TRENCH (FLAT BOTTOM) 13

FARRELL BUILDING COMPANY
 ARCHITECTURE & LAND SURVEYING, P.L.L.C.
 2317 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11932

CONSTRUCTION DETAILS
 FARRELL INDUSTRIAL PARK
 ROUTE 300
 TOWN OF NEWBURGH, NY

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DATE: 12/03/2020
 PROJECT NO: 18156
 DRAWING NO: C-900



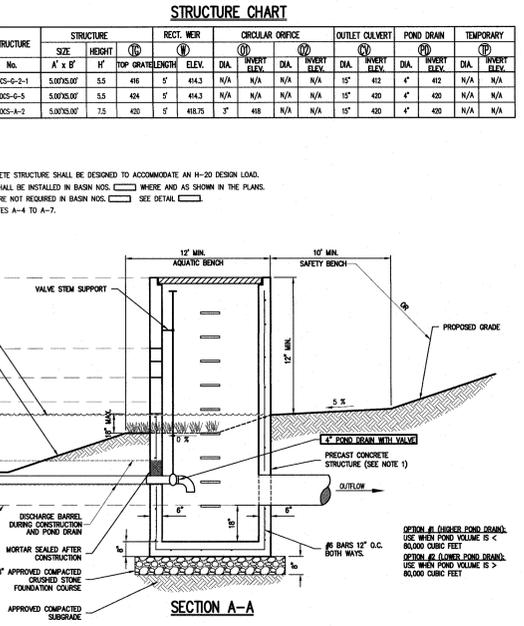
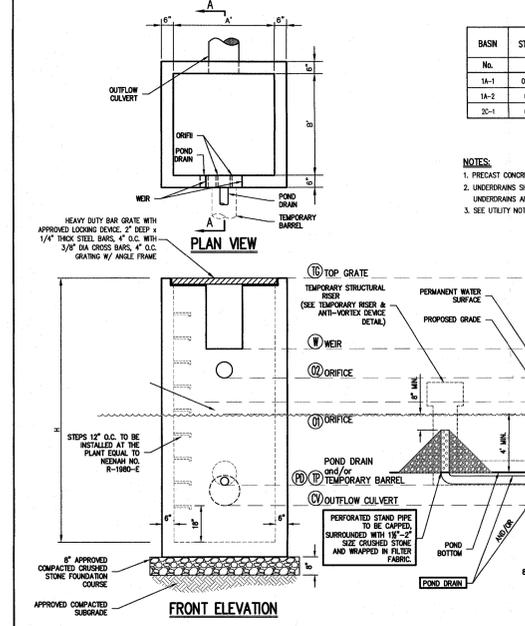
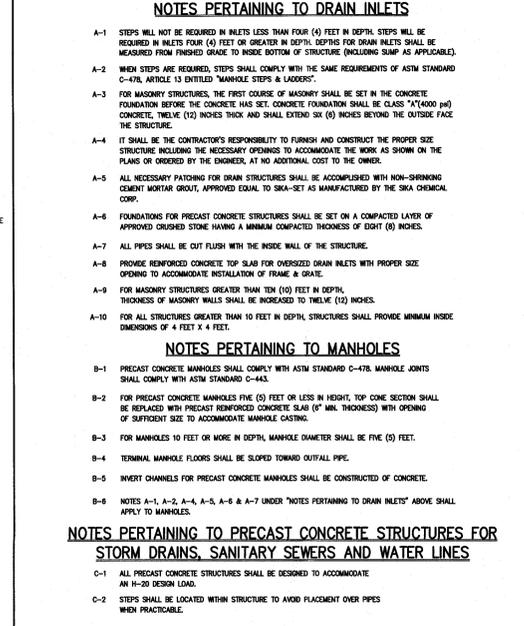
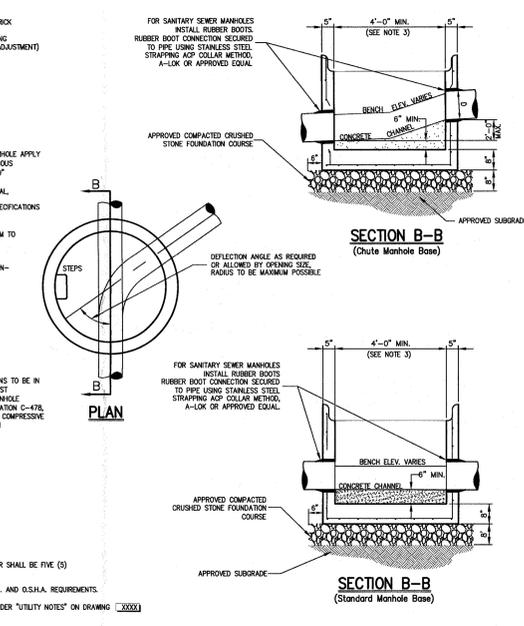
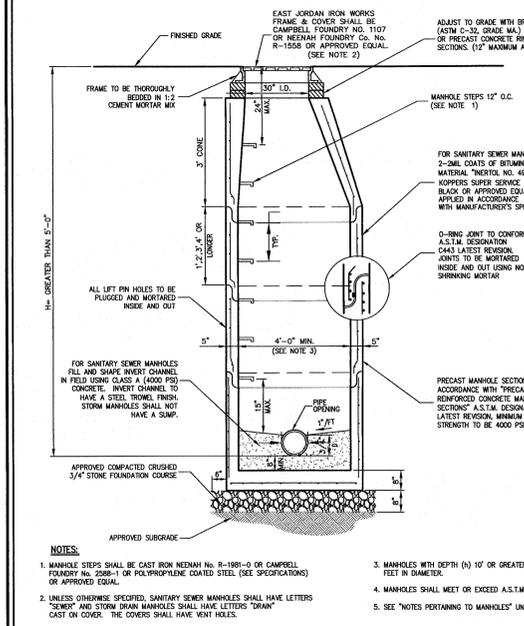
TYPE II TRENCH
14

DRAIN INLET (TYPE CI)
(WITH SUMP-W/O FINGER UNDERDRAINS)
15

DRAIN INLET (TYPE DI)
(WITH SUMP-W/O FINGER UNDERDRAINS)
16

MANHOLE (TYPE A)
(H < 5'-0")
17

MANHOLE (TYPE B)
(H > 5'-0" < 10'-0")
18



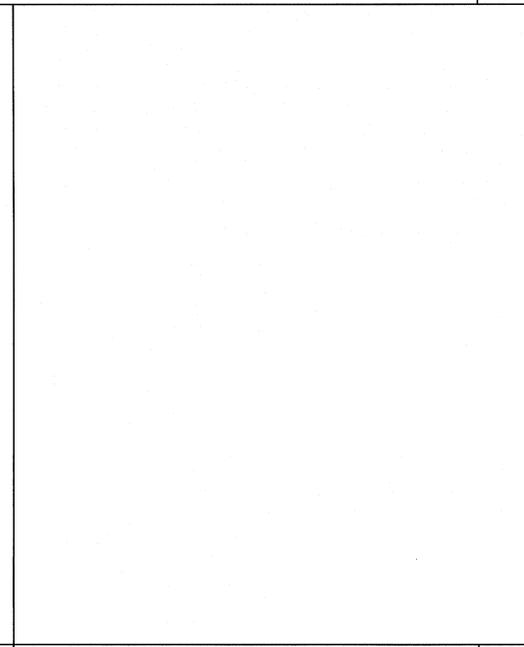
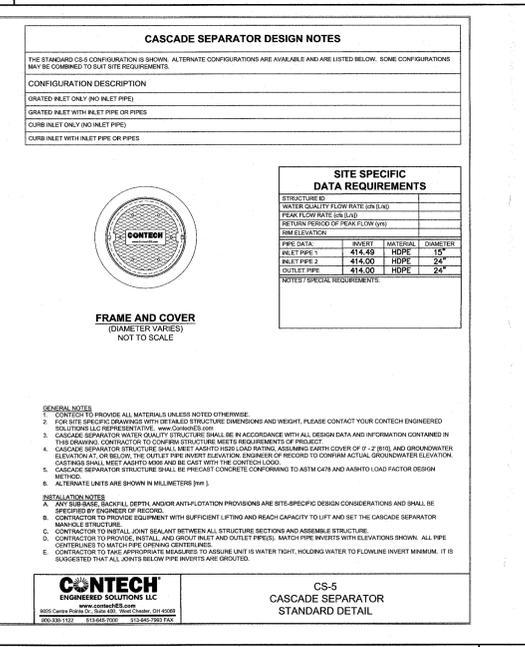
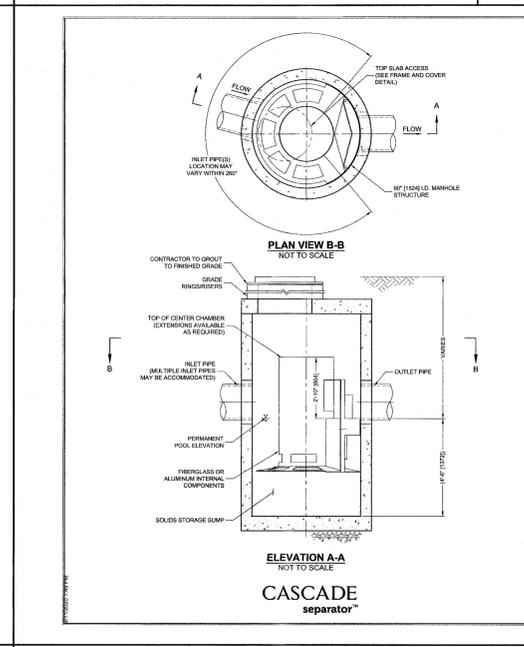
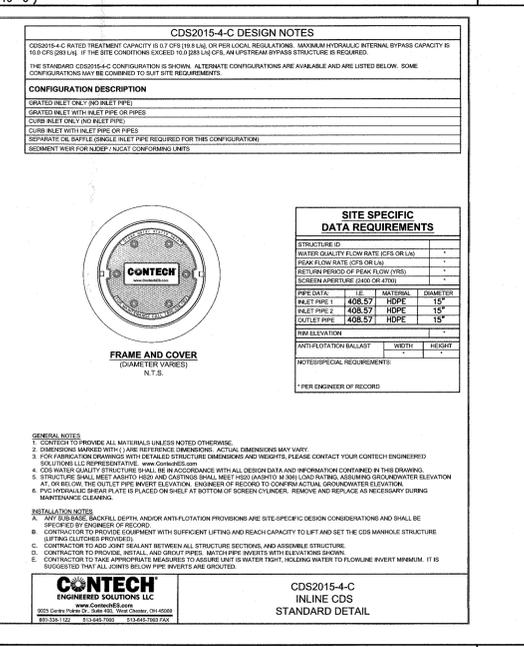
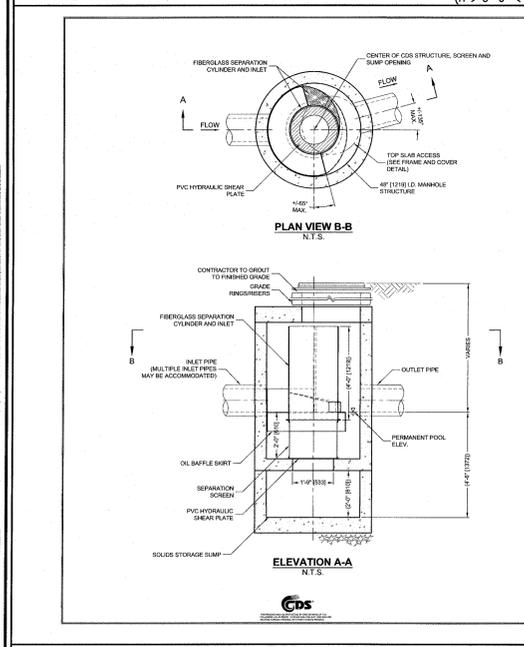
MANHOLE (TYPE B)
(H > 5'-0" < 10'-0")
18

UTILITY NOTES
19

UTILITY NOTES
19

OUTLET CONTROL STRUCTURE
20

OUTLET CONTROL STRUCTURE
20



WQS G-1-1 - CONTECH CDS2015-4-C - WATER QUALITY STRUCTURE
21

WQS G-1-1 - CONTECH CDS2015-4-C - WATER QUALITY STRUCTURE
21

WQS F-2 - CONTECH CS-5 - WATER QUALITY STRUCTURE
22

WQS F-2 - CONTECH CS-5 - WATER QUALITY STRUCTURE
22

WQS F-2 - CONTECH CS-5 - WATER QUALITY STRUCTURE
22

CONSTRUCTION DETAILS

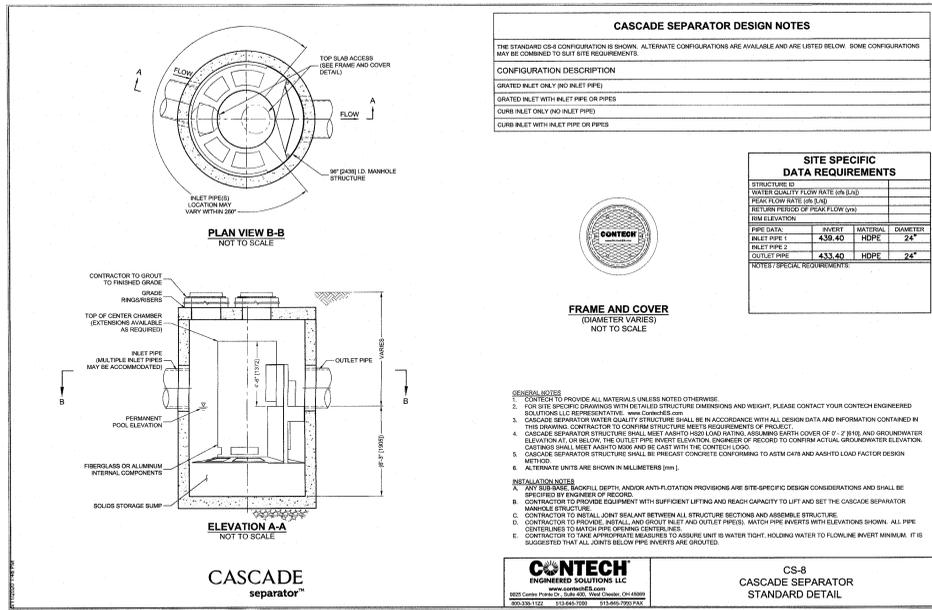
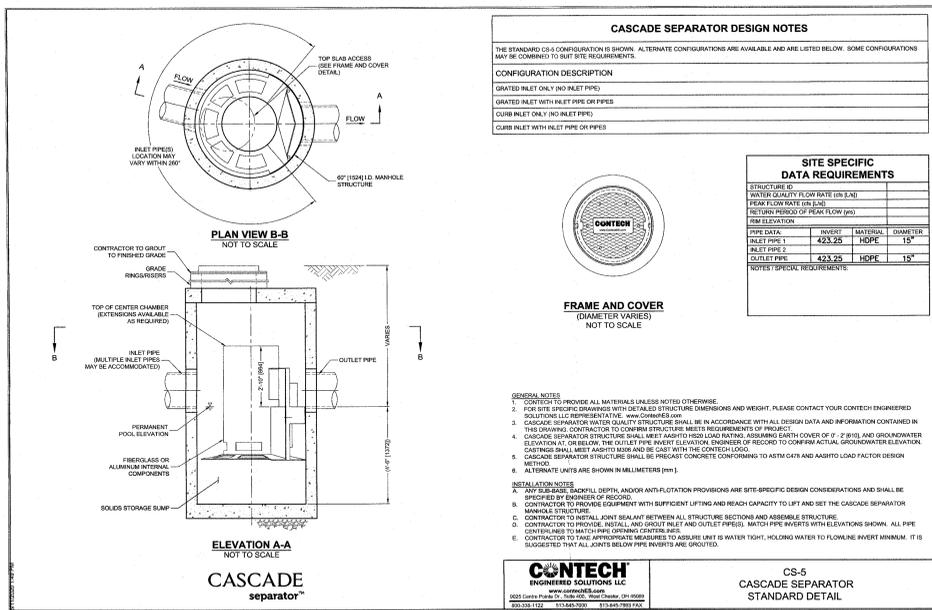
FARRELL INDUSTRIAL PARK
TOWN OF NEWBURGH, NY

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Drawn: TC Approved: DL/JS
Scale: NOT TO SCALE
Date: 12/03/2020
Project No: 18156
Sheet No: C-901

FARRELL BUILDING COMPANY
2525 MOUNTAINTOP HIGHWAY
BRIDGEHAMPTON, NY 11762

JMS Architects, Engineering, Landscape Architecture & Land Surveying, PLLC
John J. Murphy Consulting, Inc.
128 Bedford Road - Ardenwood, NY 10594
Tel: 914.271.3225 • Fax: 914.273.1029
www.jms-llc.com



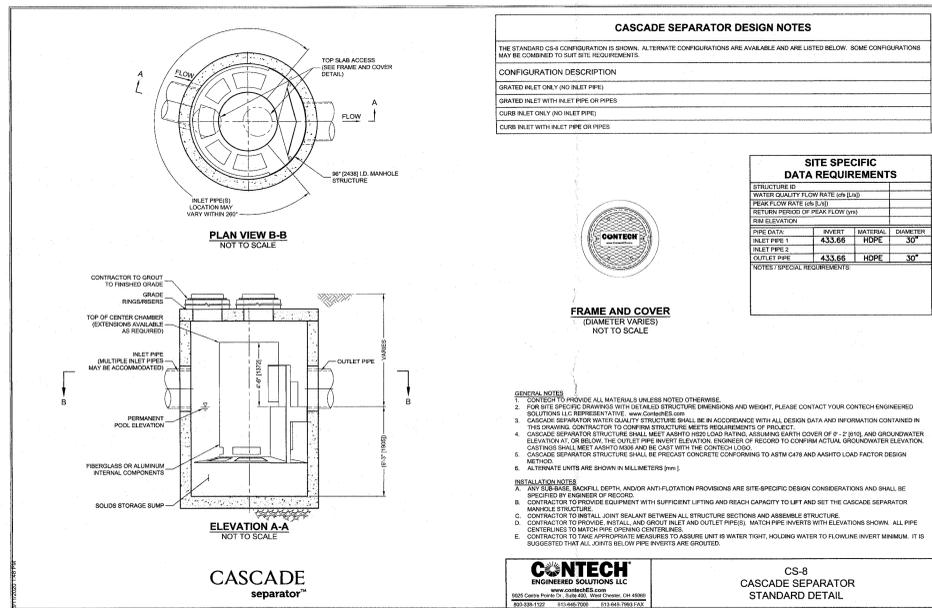
WQS E-2 - CONTECH CS-5 - WATER QUALITY STRUCTURE

23

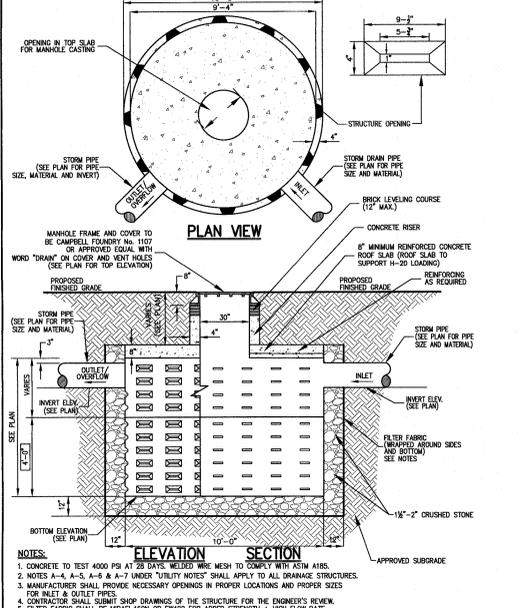
WQS C-1 - CONTECH CDS4045-8-C - WATER QUALITY STRUCTURE

24

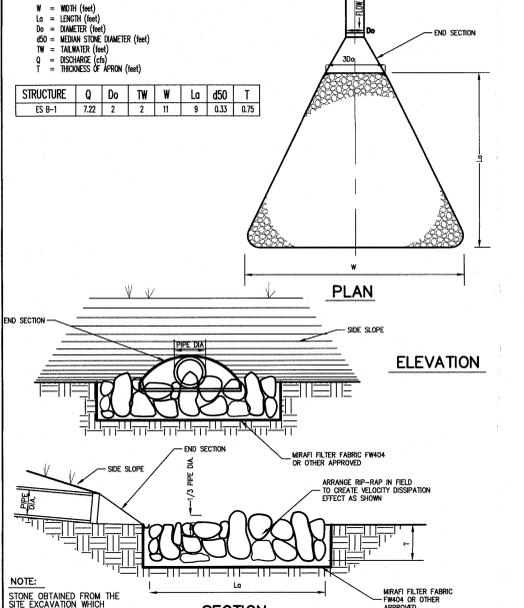
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23



26



27

WQS B-3 - CONTECH CDS5653-10-C - WATER QUALITY STRUCTURE

25

10 FOOT DIAMETER DRY WELL

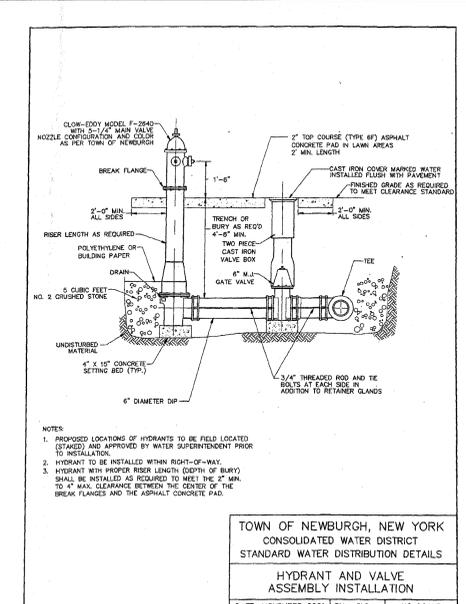
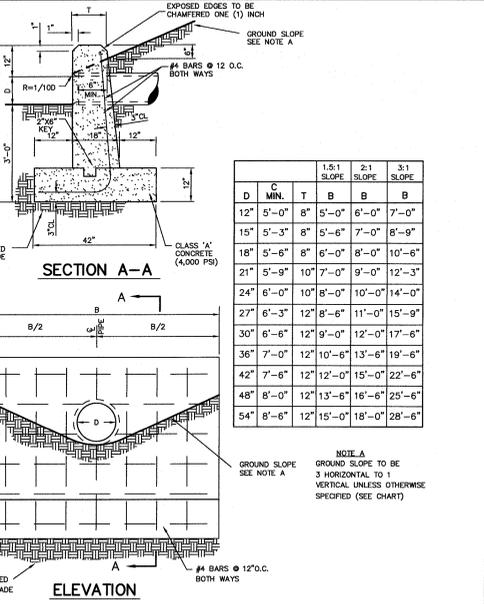
26

RIP-RAP APRON/ENERGY DISSIPATOR

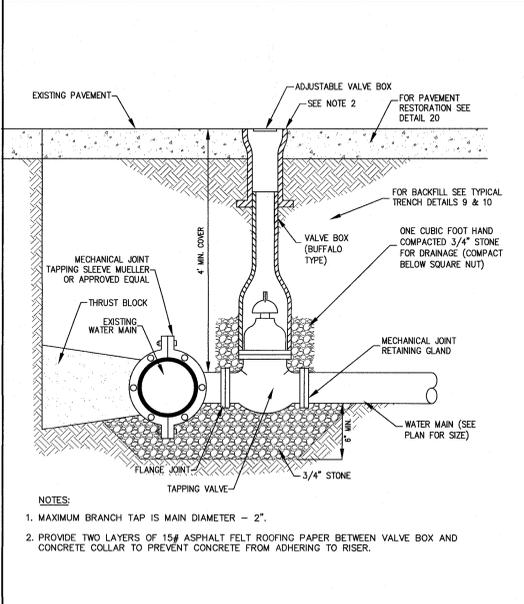
27

GRASS SWALE

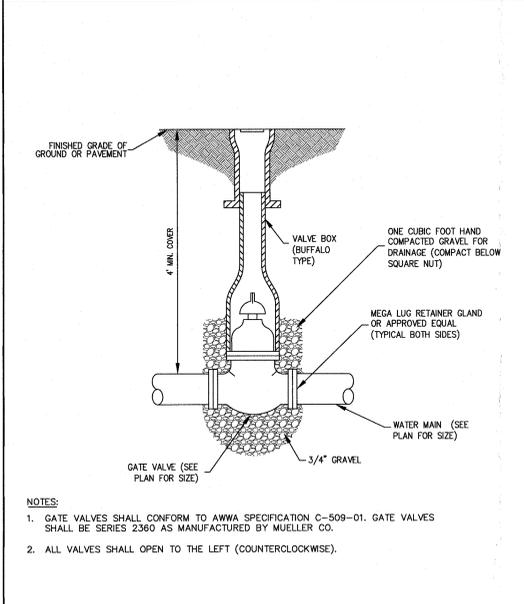
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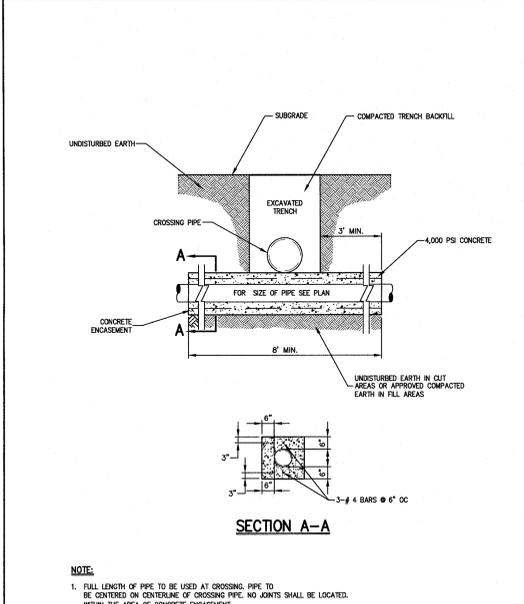
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28

STRAIGHT CONCRETE HEADWALL

29

NEWBURGH HYDRANT AND VALVE ASSEMBLY INSTALLATION

30

WET TAP MAIN CONNECTION

31

GATE VALVE

32

CONCRETE ENCASUREMENT

33

FARRELL BUILDING COMPANY
 2317 MONTAUK HIGHWAY
 BROOKHAVEN, NY 11782

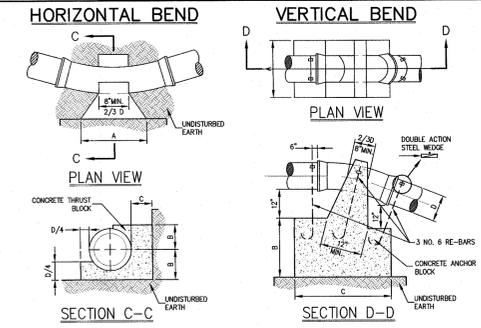
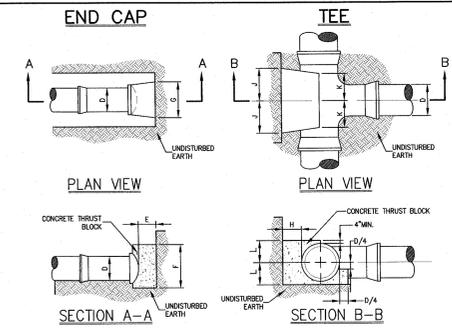
JMC Planning, Engineering, Landscape Architecture & Land Services, PLLC
 John Mayer Consulting, Inc.
 120 Bedford Road • Henrieville, NY 10564
 Phone 518-273-5262 • Fax 518-273-2102
 www.jmcp-llc.com

CONSTRUCTION DETAILS
 FARRELL INDUSTRIAL PARK
 ROUTE 300
 TOWN OF NEWBURGH, NY

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Drawn: JMC
 Scale: NOT TO SCALE
 Date: 12/03/2020
 Project No: 18156
 Revision: C-902
 Drawing No: C-902

NOT FOR CONSTRUCTION



END CAP CHART

D	4"	6"	8"	10"	12"
E	6"	8"	10"	12"	14"
F	12"	12"	1'-4"	1'-6"	2'-0"
G	1'-5"	1'-5"	2'-0"	2'-5"	3'-0"

TEE CHART

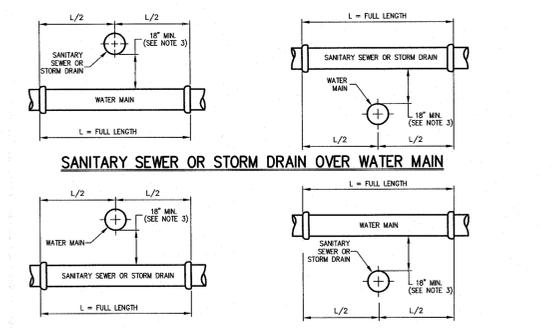
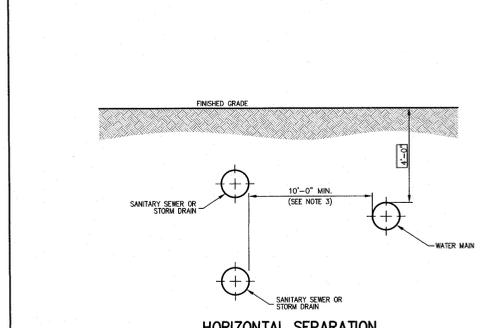
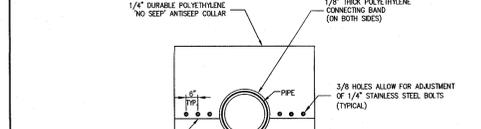
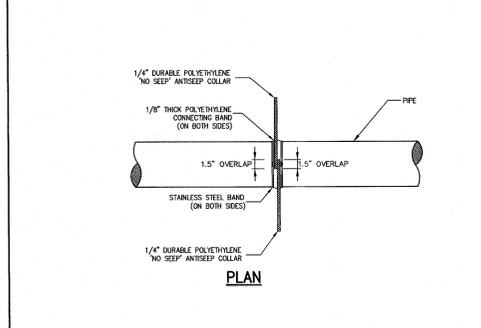
D	4"	6"	8"	10"	12"
H	4"	7"	8"	9"	12"
J	1"	7"	8"	10"	12"
L	7"	7"	9"	9"	12"
K	6"	6"	8"	8"	10"

HORIZONTAL BEND CHART

BEND (DEGREES)	45	60	90	105	120
D	4"	6"	8"	10"	12"
A	8"	8"	8"	8"	8"
B	1'-3"	1'-3"	1'-3"	1'-3"	2'-0"
C	2'-0"	2'-0"	2'-0"	2'-0"	3'-0"
E	8"	8"	8"	10"	11"
F	1'-3"	1'-3"	1'-5"	1'-5"	2'-4"
G	2'-0"	2'-0"	2'-4"	2'-4"	4'-4"

VERTICAL BEND CHART

BEND (DEGREES)	45	60	90	105	120
D	4"	6"	8"	10"	12"
A	1'-6"	1'-6"	2'-0"	2'-0"	3'-0"
B	1'-3"	1'-3"	1'-6"	1'-3"	2'-0"
C	2'-0"	2'-0"	2'-4"	3'-0"	3'-0"
E	4"	4"	4"	4"	4"
F	1'-9"	1'-9"	2'-3"	2'-6"	2'-6"
G	2'-0"	2'-0"	2'-4"	4'-0"	4'-0"
H	4"	4"	4"	4"	4"
I	2'-0"	2'-0"	2'-4"	3'-0"	3'-0"
J	4"	4"	4"	4"	4"



NOTES:

- NORMAL CONDITIONS:
- WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE LOWER PIPE TO THE TOP OF THE UPPER PIPE.
- FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
- ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
- FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JOHN MAYER CONSULTING OF THE SPECIFIC CONDITIONS. THE INDICATED APPROVAL OF ALTERNATIVE SEPARATION METHODS SHALL BE OBTAINED FROM THE AGENCIES PRIOR TO INSTALLATION.

NOTES:

- ALL CONCRETE TO BE CLASS A (4000 PSI).
- ALL DIMENSIONS ARE MINIMUMS. ALL ANCHOR AND THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
- IN ALL CASES SHOWN, MEASUREMENT "D" REFERS TO THE INSIDE PIPE DIAMETER.
- ANCHOR AND THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM FOR 100 P.S.I. WATER PRESSURE AND 20% RESISTANCE OF FITTINGS TO PREVENT CONCRETE FROM ANCHERING TO SURFACES.
- FOR BEARING AREA SHALL BE PARALLEL TO THE EDGE OF THE FITTING AT THE FITTING MIDPOINT.
- FOR BEARING AREA SHALL BE PERPENDICULAR TO THE BRANCH (SINGLE LEG) AXIS.
- FOR REDUCING BEARING AREA SHALL BE PERPENDICULAR TO THE FITTING AXIS. THE MINIMUM THICKNESS ALONG THE FITTING AXIS SHALL BE 1" OR 10% OF THE LENGTH BETWEEN THE BELLS, WHICHEVER IS SMALLER.
- THRUST RESTRAINTS FOR SIZES OR FITTINGS NOT SHOWN ON THESE SHEETS SHALL BE DESIGNED ON A CASE BY CASE BASIS, AND WILL BE SHOWN IN THE CONTRACT DOCUMENTS.
- CONCRETE FOR THRUST BLOCKS SHALL NOT BE ALLOWED TO COVER OR INTERFERE WITH JOINTS OR RESTRAINT HARDWARE. PLASTIC SHEETING OR BUILDING FELT MAY BE PLACED OVER PIPE OR FITTINGS TO PREVENT CONCRETE FROM ANCHERING TO SURFACES.
- FOR REDUCING BEARING AREA SHALL BE PERPENDICULAR TO THE BRANCH (SINGLE LEG) AXIS.
- FOR REDUCING BEARING AREA SHALL BE PERPENDICULAR TO THE FITTING AXIS. THE MINIMUM THICKNESS ALONG THE FITTING AXIS SHALL BE 1" OR 10% OF THE LENGTH BETWEEN THE BELLS, WHICHEVER IS SMALLER.
- THRUST RESTRAINTS FOR SIZES OR FITTINGS NOT SHOWN ON THESE SHEETS SHALL BE DESIGNED ON A CASE BY CASE BASIS, AND WILL BE SHOWN IN THE CONTRACT DOCUMENTS.

NOTES:

- INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
- UNLESS DIRECTED OTHERWISE, EXPANSION JOINTS SHALL ALSO BE INSTALLED AT THE PIC AND PIT OF ALL RADIUS CURBS.
- EACH EXPANSION JOINT SHALL BE LEFT EXPOSED AND NOT COVERED WITH A SKIN COAT OF CONCRETE.
- INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
- LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARYED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
- WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

NOTES:

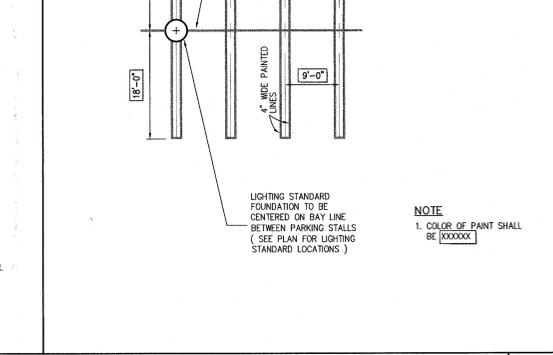
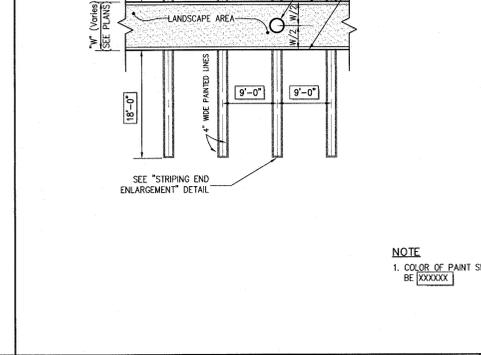
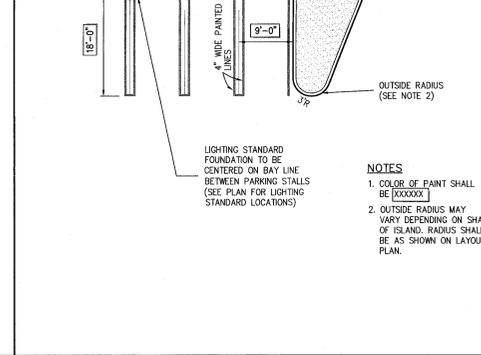
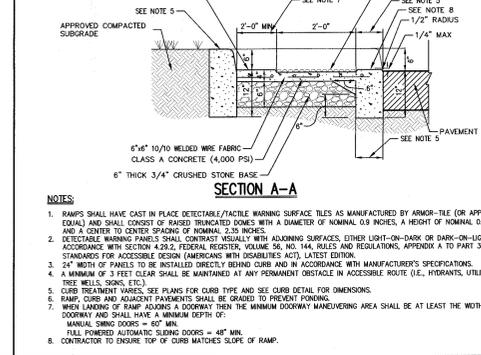
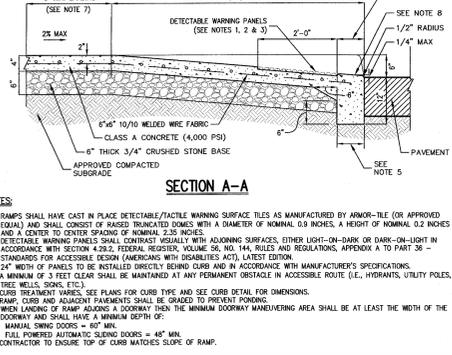
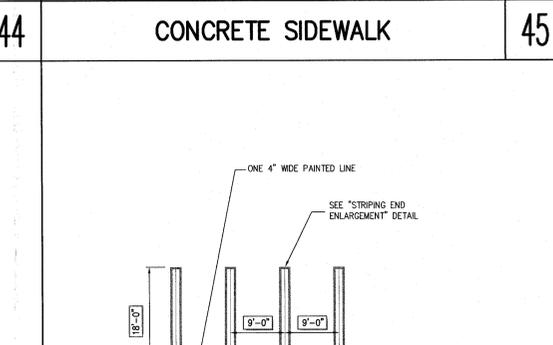
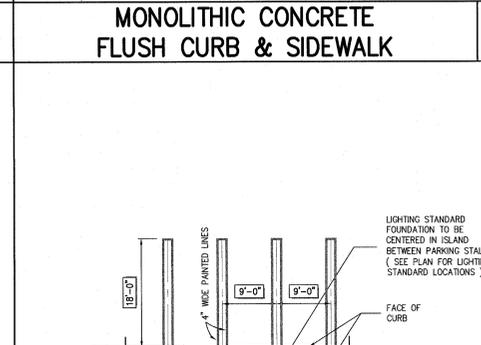
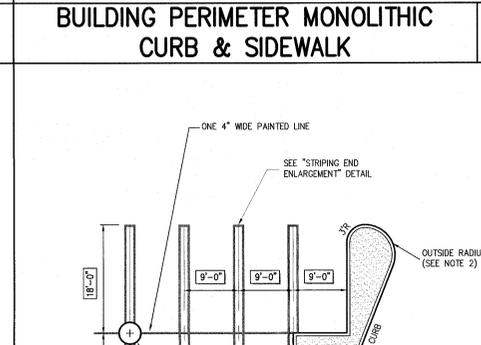
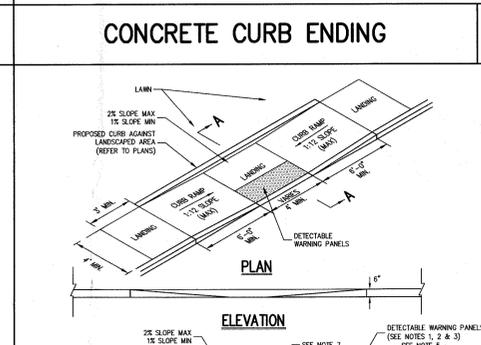
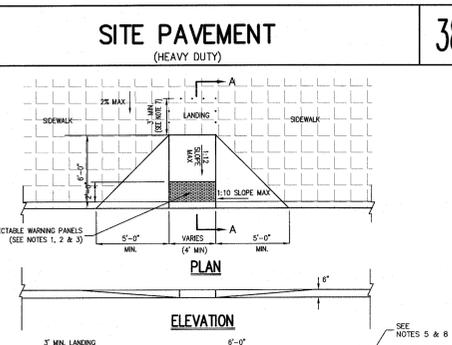
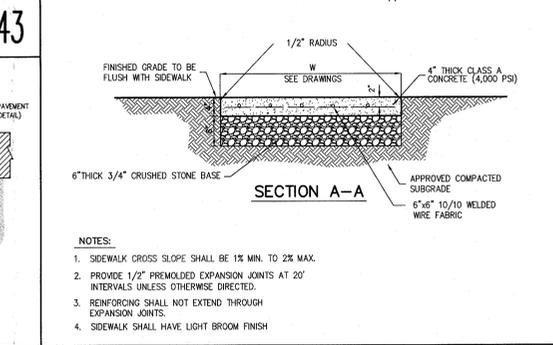
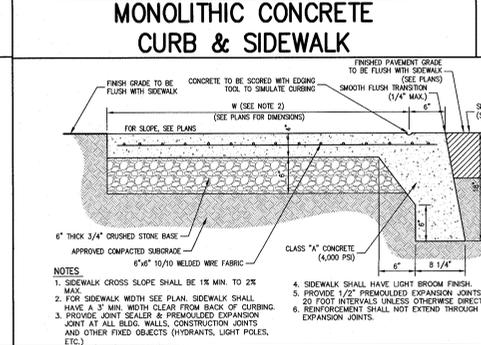
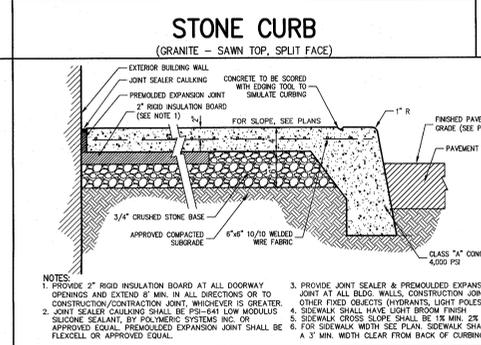
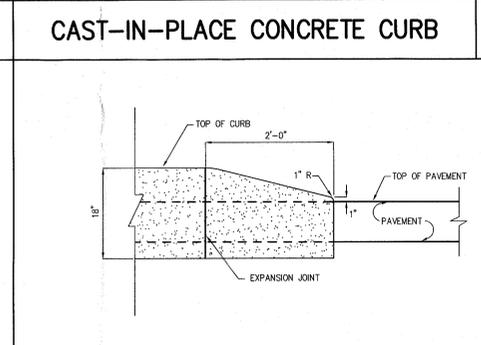
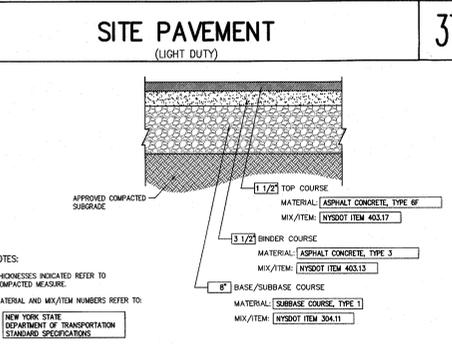
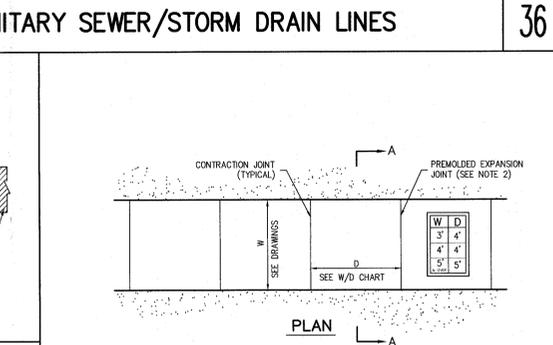
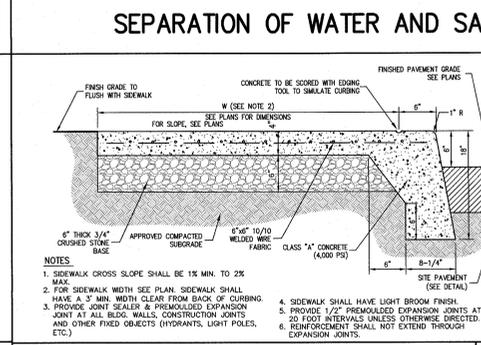
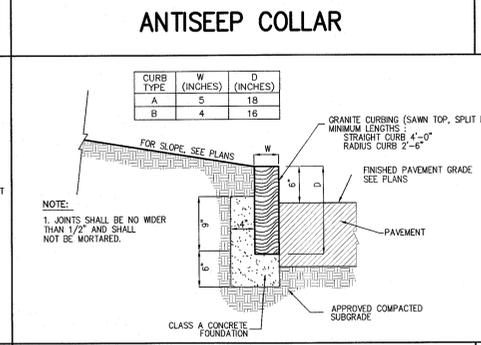
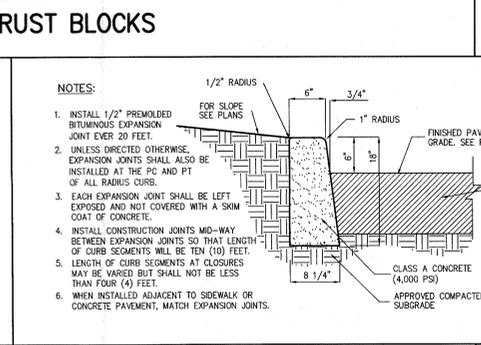
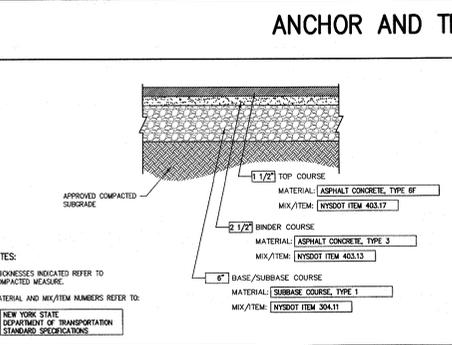
- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
- MATERIAL AND MIX/ITEM NUMBERS REFER TO: NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NOTES:

- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
- FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.
- PROVIDE JOINT SEALER & PREMOLDED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
- SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
- PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20 FOOT INTERVALS UNLESS OTHERWISE DIRECTED.
- REINFORCEMENT SHALL NOT EXTEND THROUGH EXPANSION JOINTS.

NOTES:

- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
- PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
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- SIDEWALK SHALL HAVE LIGHT BROOM FINISH.



NOTES:

- RAMPS SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ANBOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRIANGULAR DOMES WITH A DIAMETER OF NOMINAL 0.2 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
- DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 409.2 FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPROX. A TO PART 35 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
- 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- A MINIMUM OF 5 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, ETC.).
- CURB TREATMENT VARIES. SEE PLAN FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
- RAMP CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT POINTEING.
- WHEN LANDING OF RAMP ADJOINS A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF 4'-0".
- MANUAL CURB DOORS - 40" MIN.
- FULL POWERED AUTOMATIC SLIDING DOORS - 48" MIN.
- CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

NOTES:

- RAMPS SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ANBOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRIANGULAR DOMES WITH A DIAMETER OF NOMINAL 0.2 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
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- FULL POWERED AUTOMATIC SLIDING DOORS - 48" MIN.
- CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

NOTES:

- COLOR OF PAINT SHALL BE [XXXXXX].
- OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.

NOTE:

- COLOR OF PAINT SHALL BE [XXXXXX].

NOTE:

- COLOR OF PAINT SHALL BE [XXXXXX].

NOT FOR CONSTRUCTION

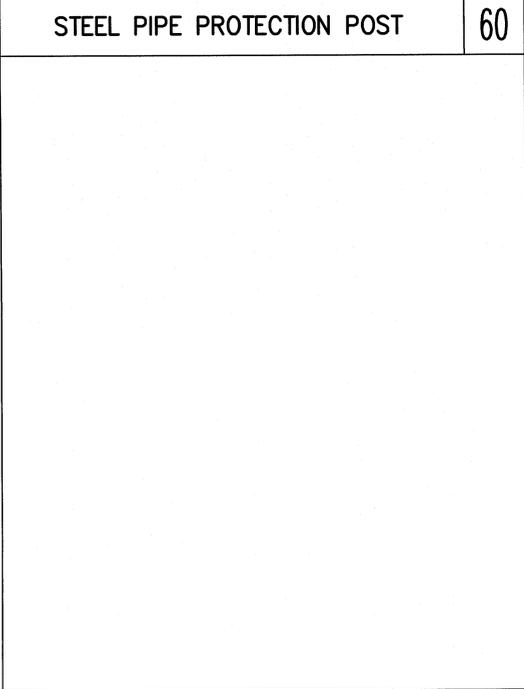
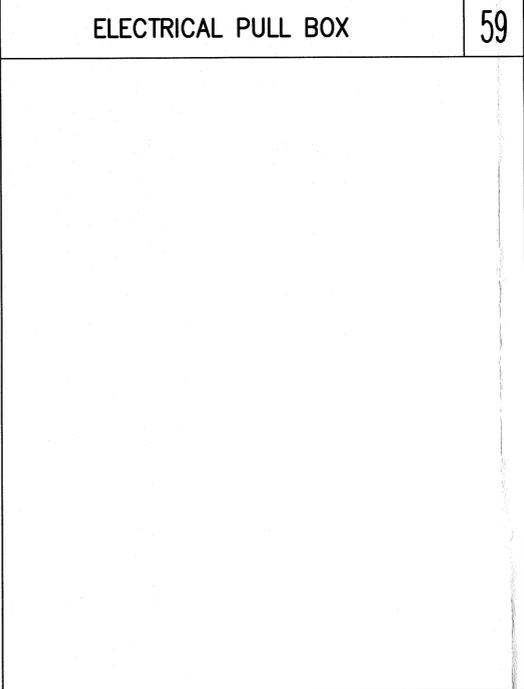
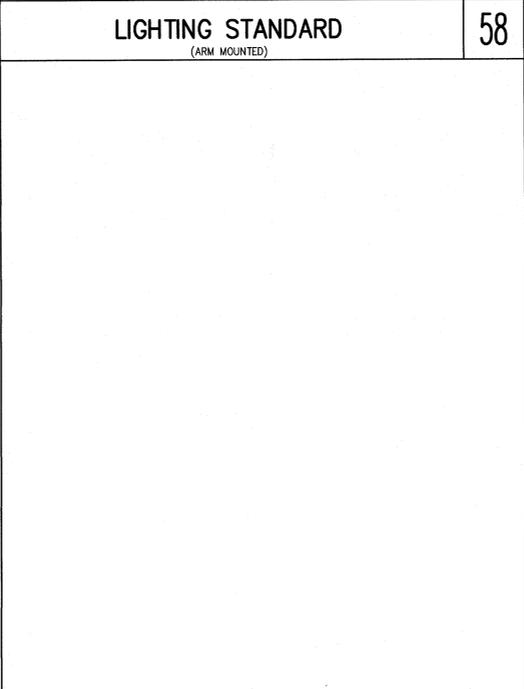
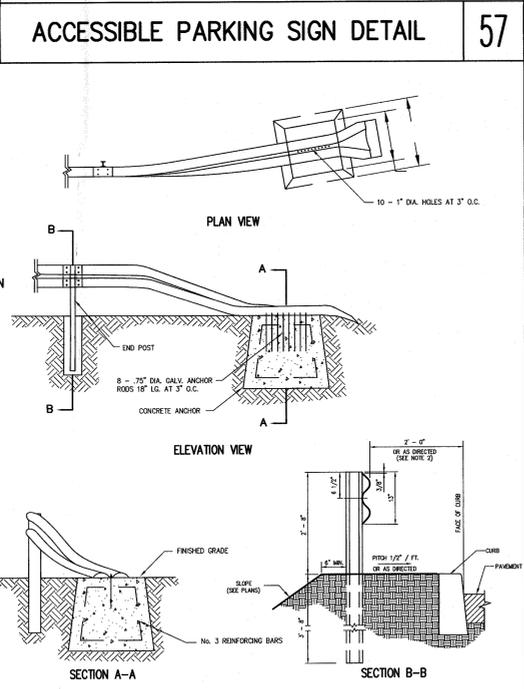
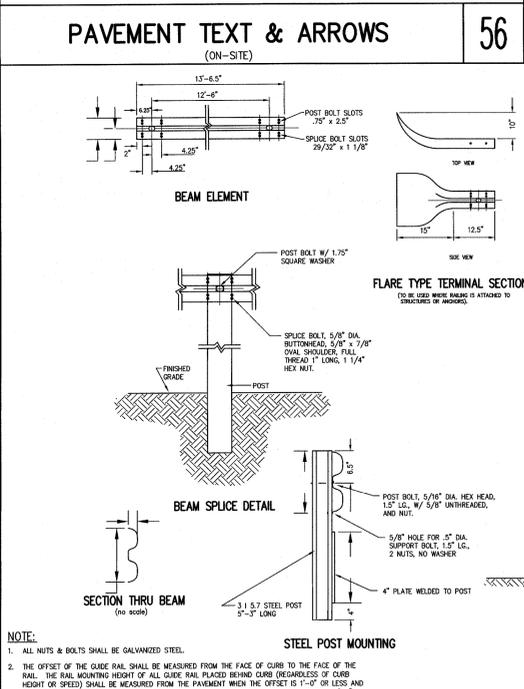
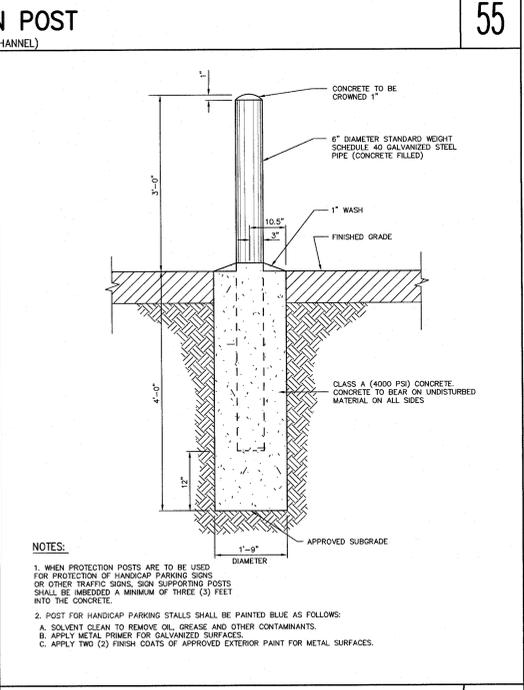
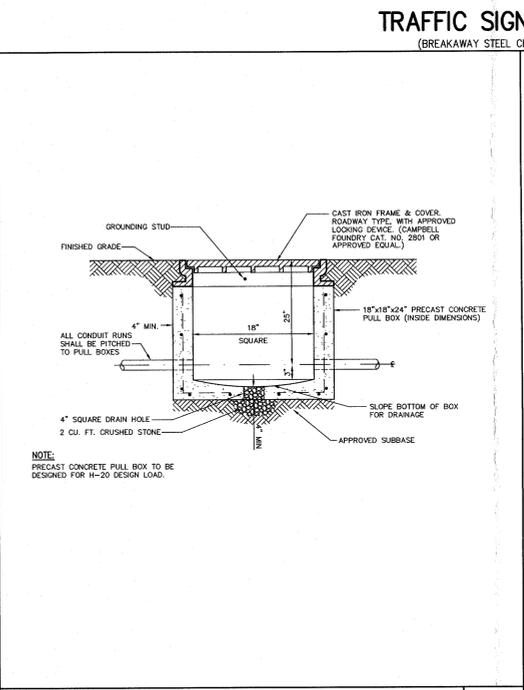
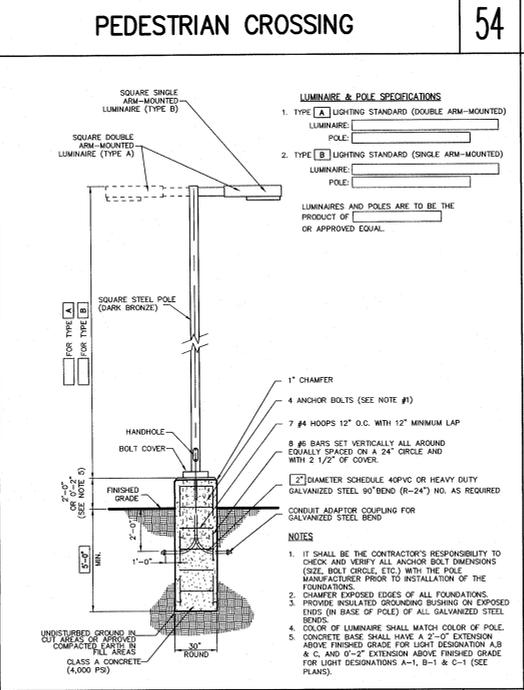
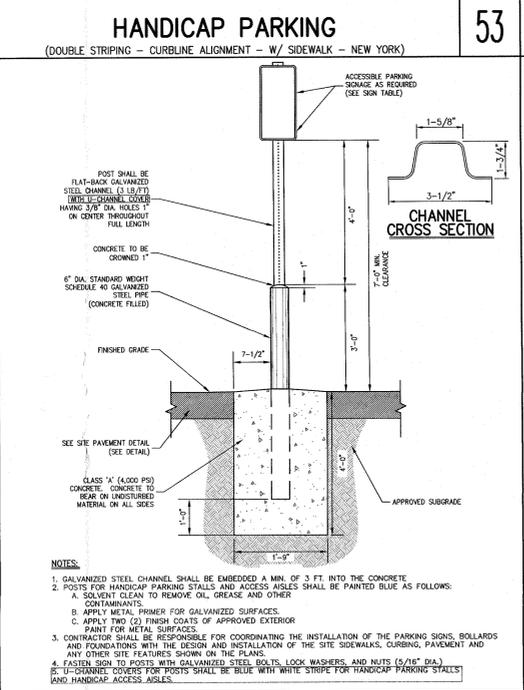
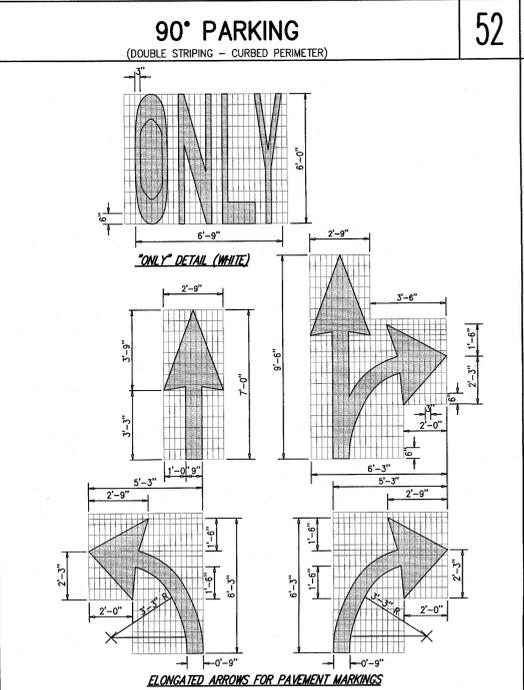
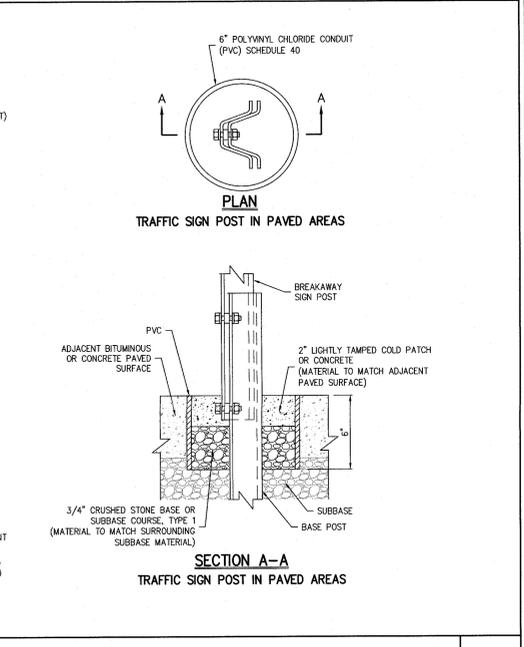
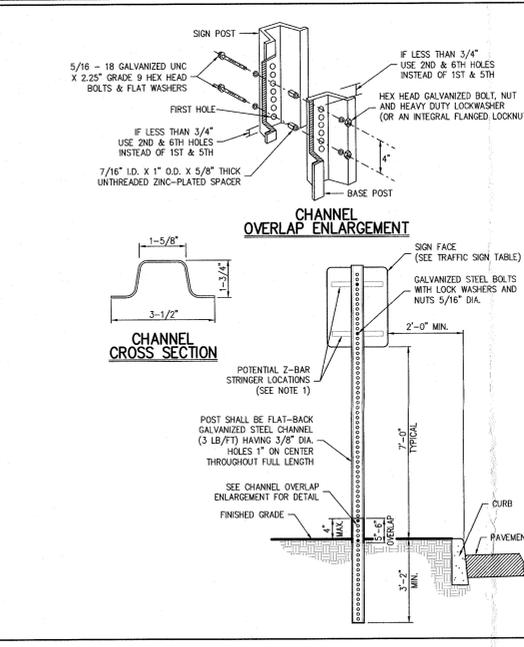
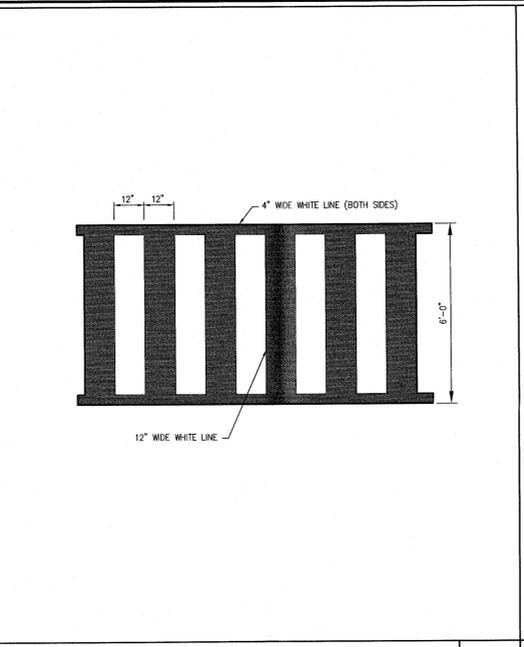
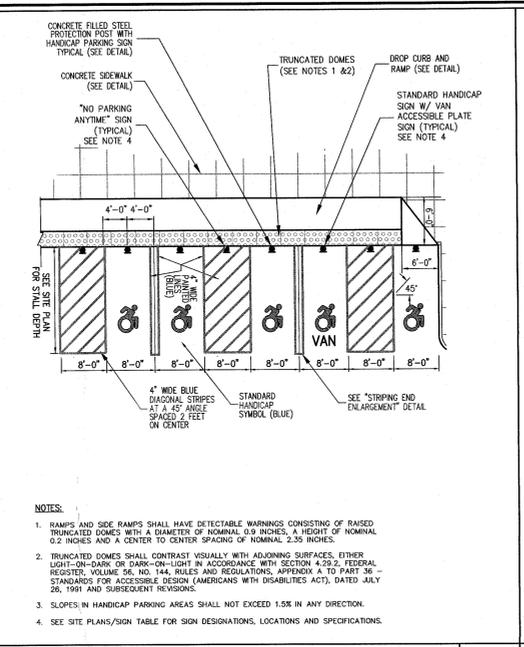
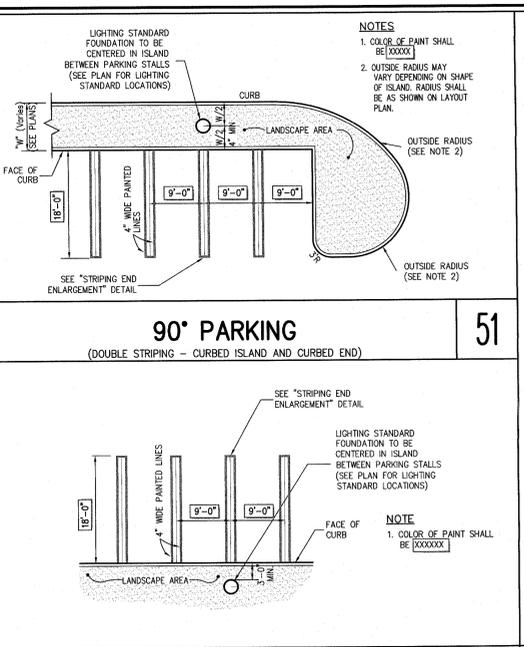
APPLICANT: FARRELL BUILDING COMPANY
120 BEVERLY ROAD - BRIDGEHAMPTON, NY 11732

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Mayer Consulting, Inc.
120 BEVERLY ROAD - BRIDGEHAMPTON, NY 11732
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www.jmcpic.com

CONSTRUCTION DETAILS
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Sheet: 10 of 10
Scale: NOT TO SCALE
Date: 12/03/2020
Project: 18156
SWS-MEM: C-903
Drawing No: C-903



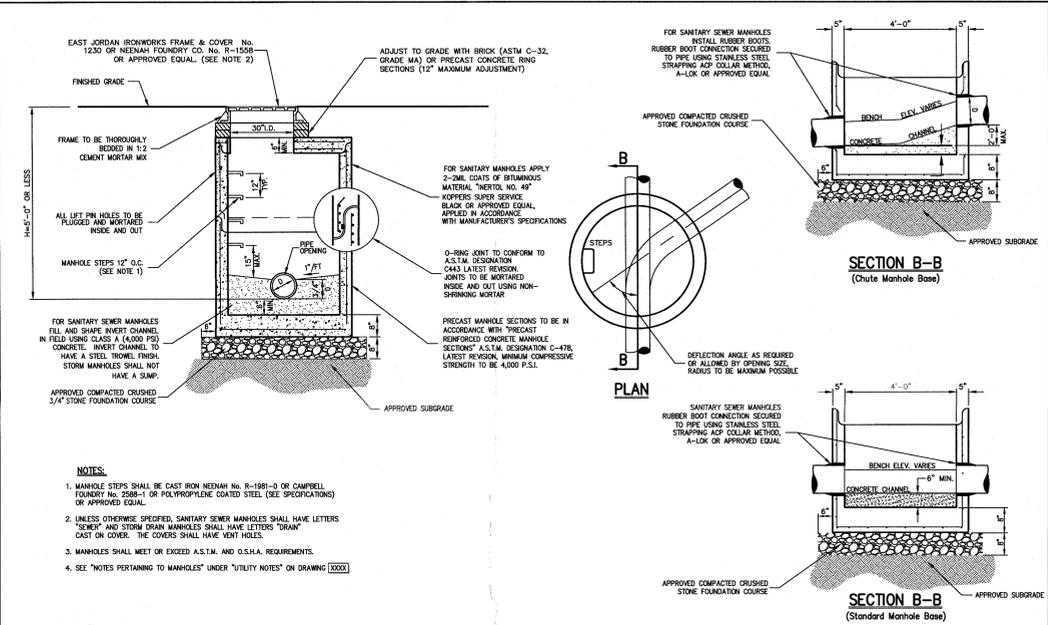
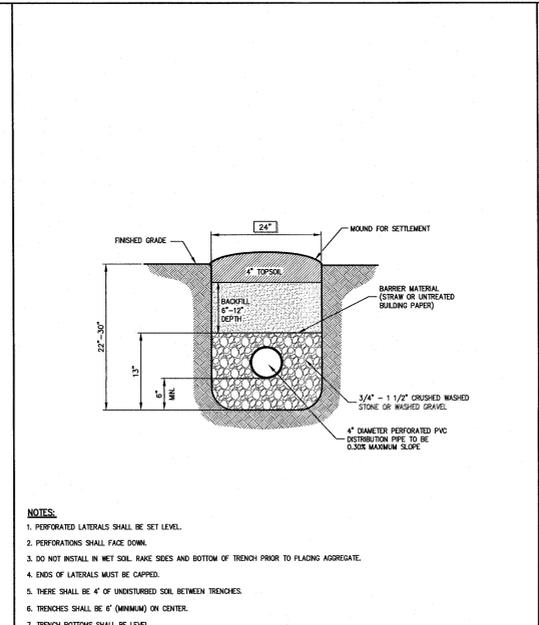
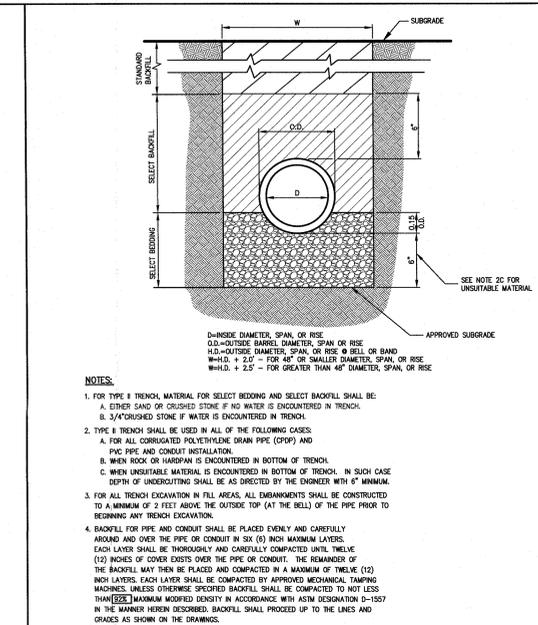
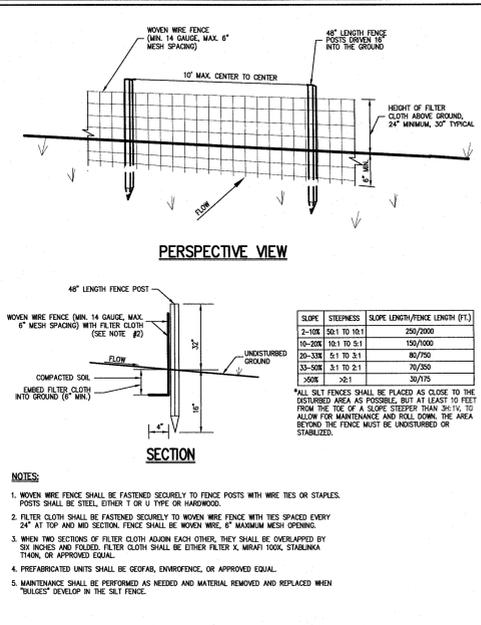
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FARRELL BUILDING COMPANY
120 BISHOP ROAD - ARMONK, NY 10504
ROUTE 300 - NEWBURGH, NY 10954
www.farrell.com

CONSTRUCTION DETAILS
FARRELL INDUSTRIAL PARK
TOWN OF NEWBURGH, NY

Client: []
Scale: NOT TO SCALE
Date: 12/03/2020
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Rev: 0-04

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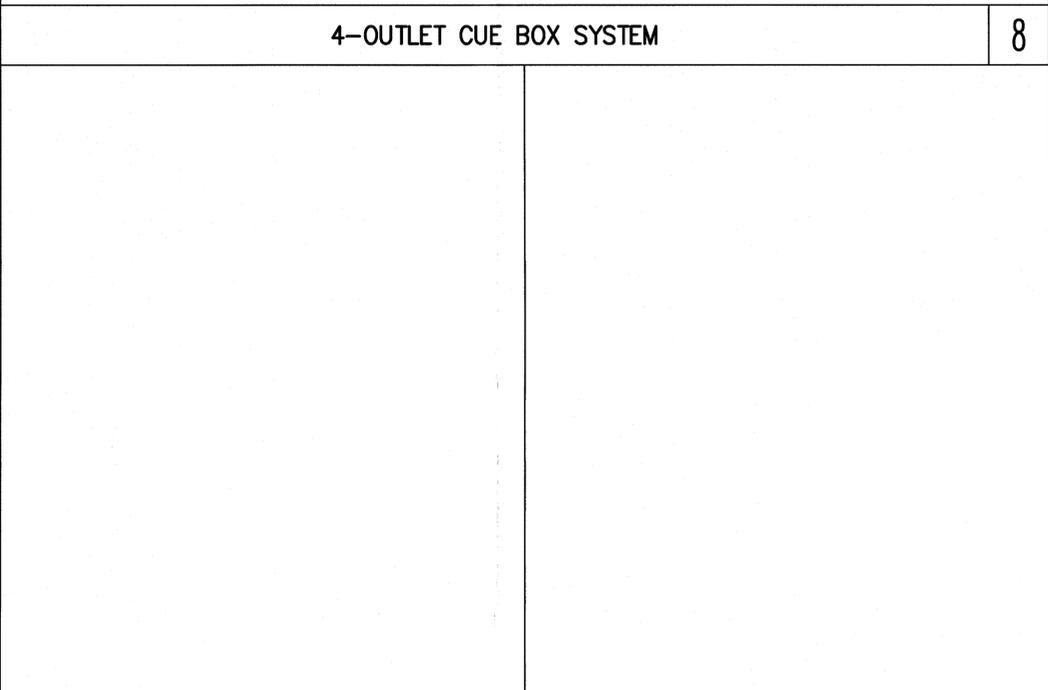
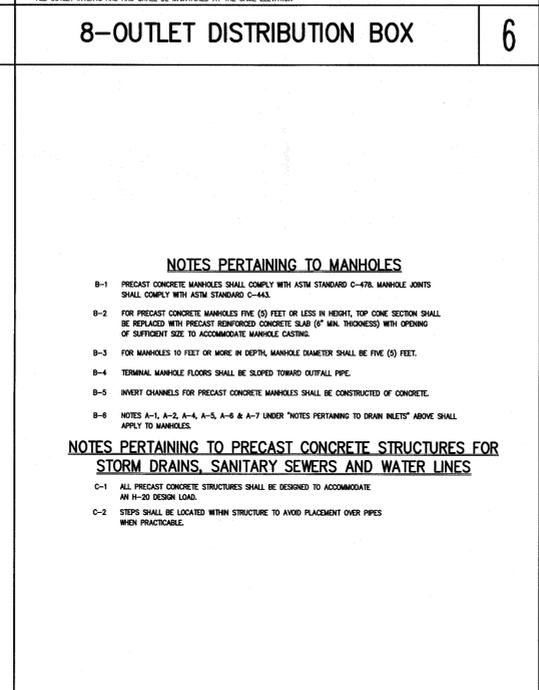
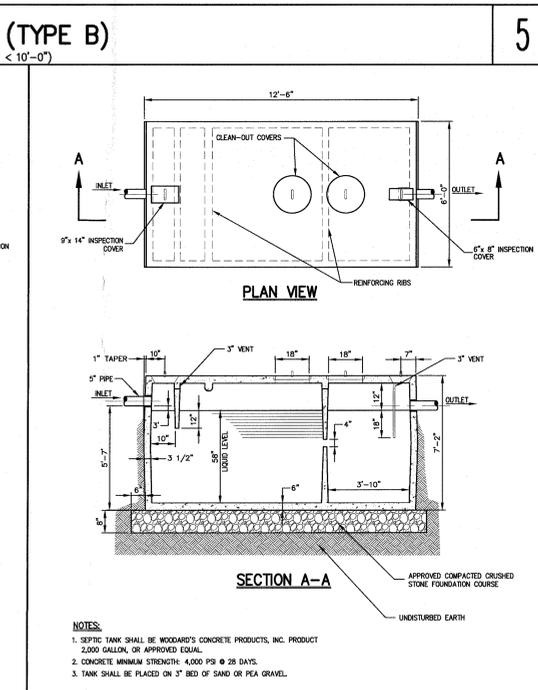
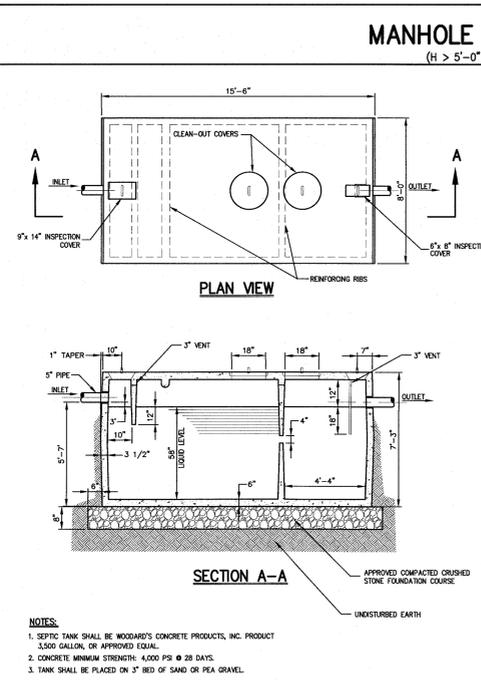
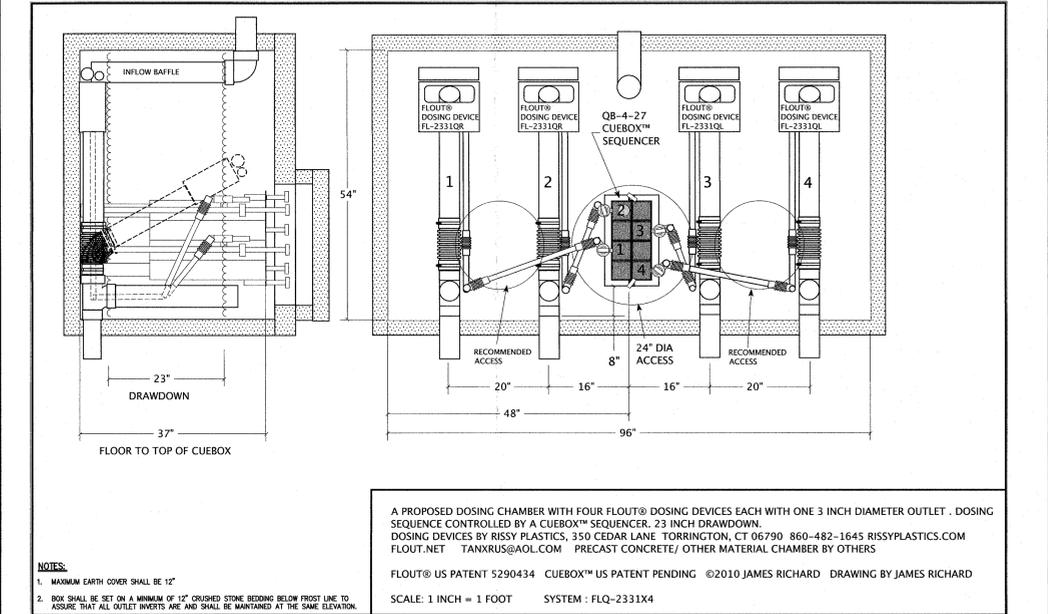
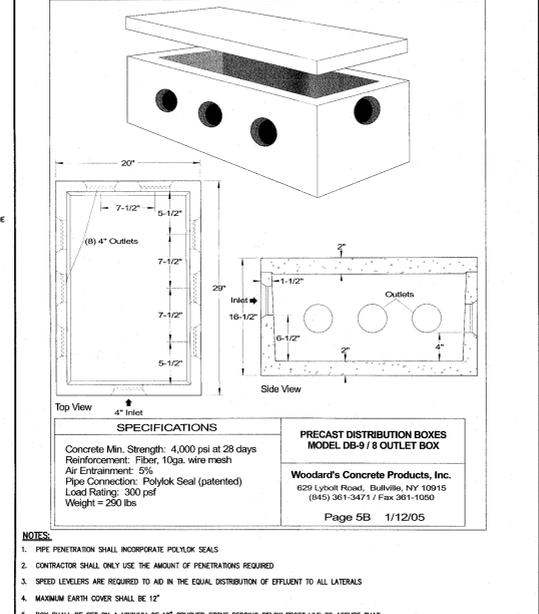
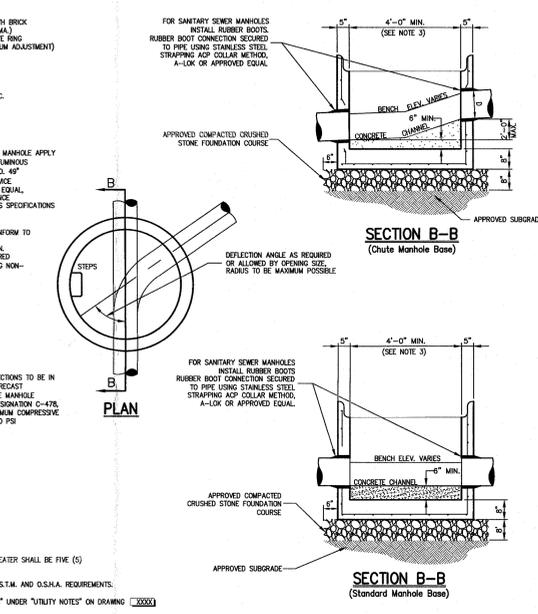
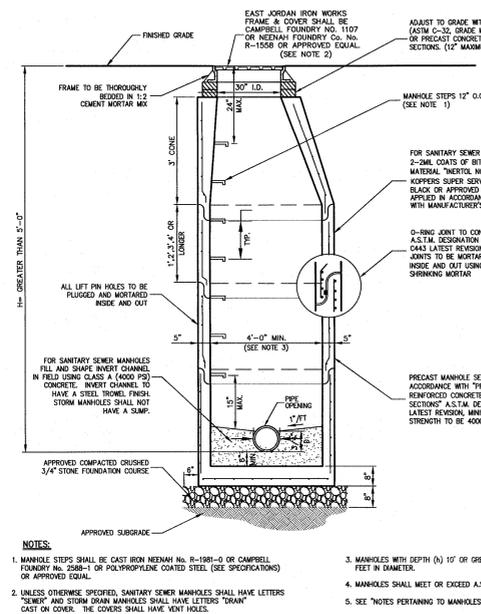


SILT FENCE 1

TYPE II TRENCH 2

ABSORPTION TRENCH 3

MANHOLE (TYPE A) 4
(H < 5'-0")



3,500 GALLON SEPTIC TANK 9

2,000 GALLON SEPTIC TANK 10

UTILITY NOTES X

4-OUTLET CUE BOX SYSTEM X

FARELL BUILDING COMPANY
 237 MONTAUK HIGHWAY
 BRIDGEHAMPTON, NY 11932

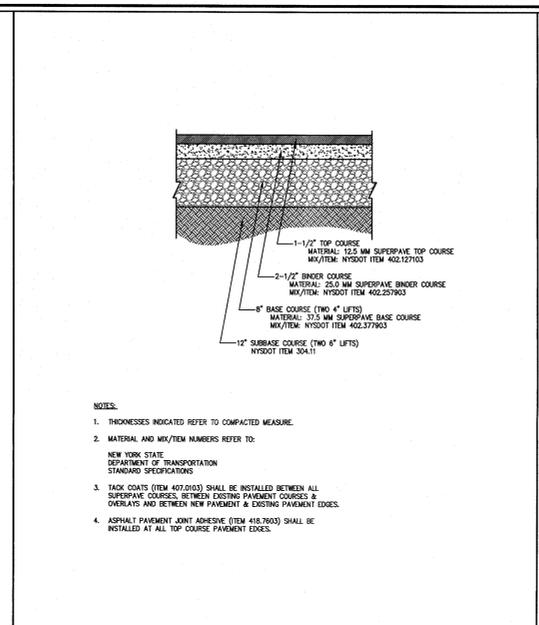
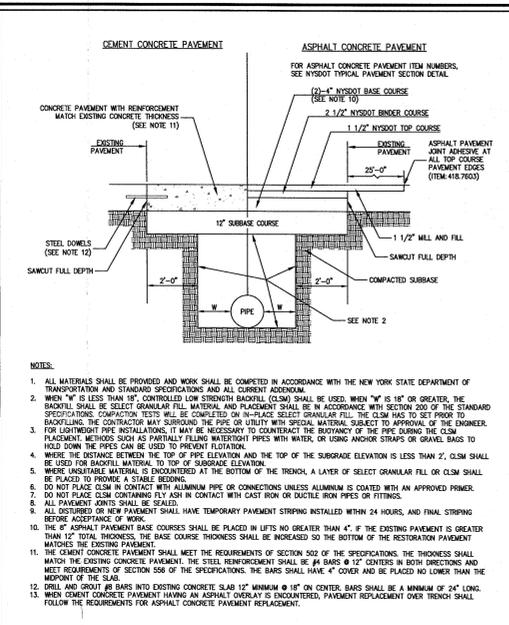
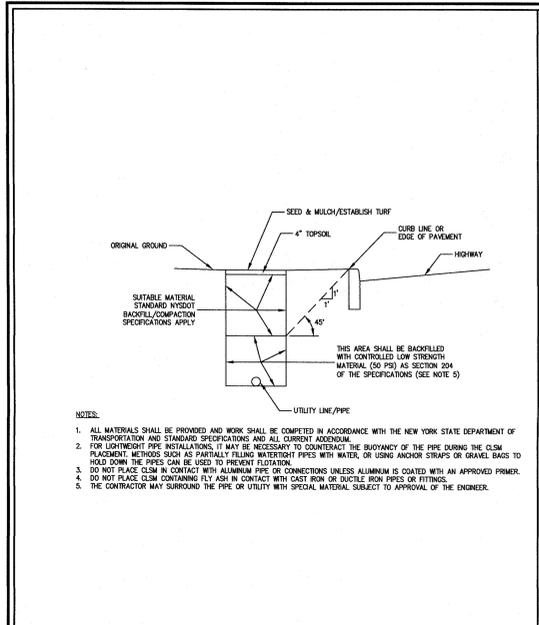
FARELL INDUSTRIAL PARK
 ROUTE 300
 NEWBURGH, NY

CONSTRUCTION DETAILS (OWTS)

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT AND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Scale: NOT TO SCALE
 Date: 12/03/2020
 Project No: 18156
 Revision: C-905

Sheet: TC Approved: DL/JS
 Scale: NOT TO SCALE
 Date: 12/03/2020
 Project No: 18156
 Revision: C-905



DEFINITION OF TERMS:

RESIDENTIAL CURB: CURB OF 12" TO 18" HEIGHT TO BE USED FOR DRIVEWAYS AND SIDEWALKS.

MINOR COMMERCIAL CURB: CURB OF 18" TO 24" HEIGHT TO BE USED FOR DRIVEWAYS AND SIDEWALKS.

STANDARD PRECAST CURB: CURB OF 24" TO 36" HEIGHT TO BE USED FOR DRIVEWAYS AND SIDEWALKS.

GRANITE COBBLESTONE PAVERS: PAVERS OF 12" TO 18" SQUARE SIZE TO BE USED FOR DRIVEWAYS AND SIDEWALKS.

GENERAL NOTES FOR RESIDENTIAL CURB:

1. THE RESIDENTIAL CURB SHALL BE SET IN PLACE WITH A MINIMUM FINISH OF 4" OR MORE TO THE TOP SURFACE.
2. THE CURB SHALL BE SET IN PLACE WITH A MINIMUM FINISH OF 4" OR MORE TO THE TOP SURFACE.
3. THE CURB SHALL BE SET IN PLACE WITH A MINIMUM FINISH OF 4" OR MORE TO THE TOP SURFACE.

RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS

U.S. CUSTOMARY STANDARD SHEET

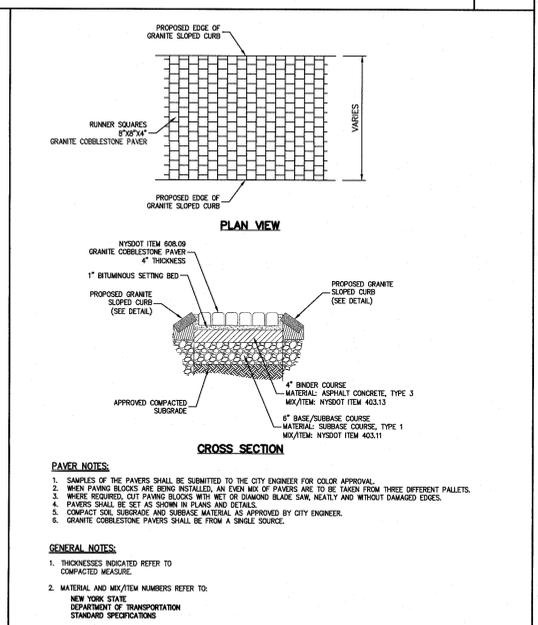
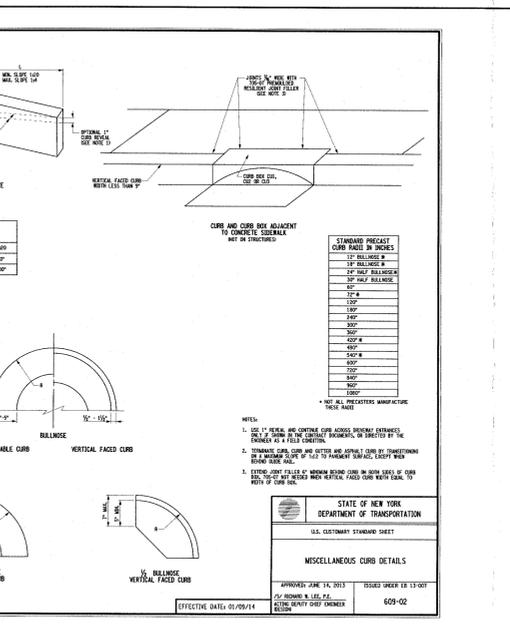
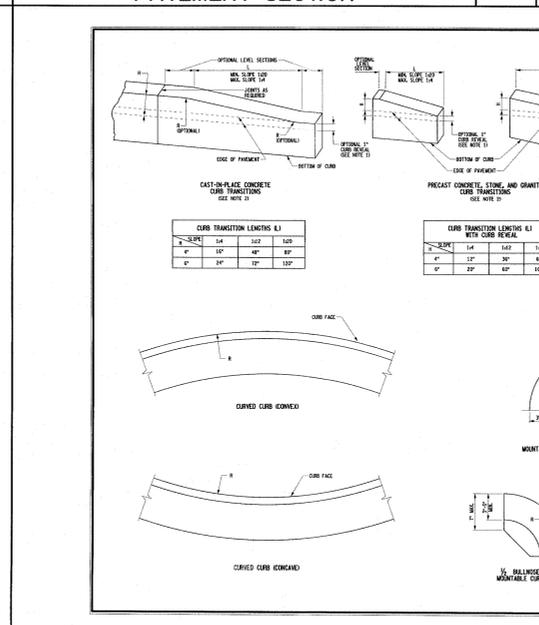
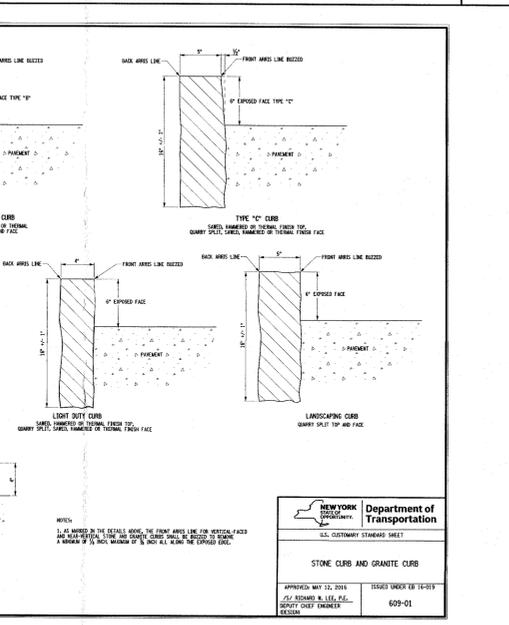
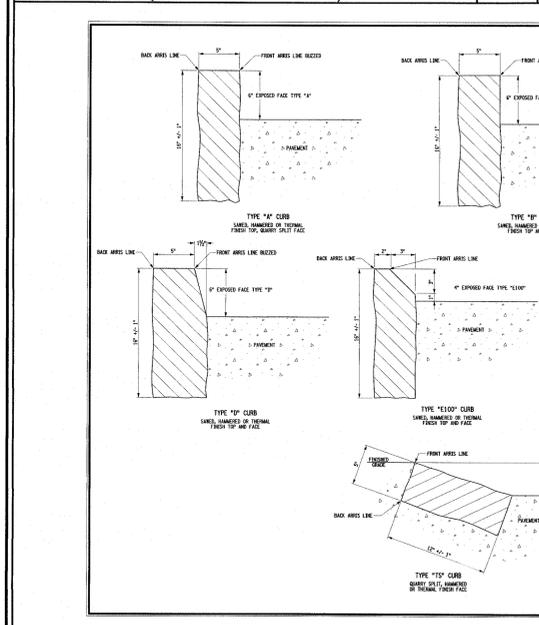
609-03

NYSDOT RESTORATION DETAIL FOR UTILITY LINE EXCAVATION/TRENCH

NYSDOT DETAIL OF PAVEMENT REPLACEMENT OVER TRENCH

NYSDOT FULL DEPTH PAVEMENT SECTION

NYSDOT RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS



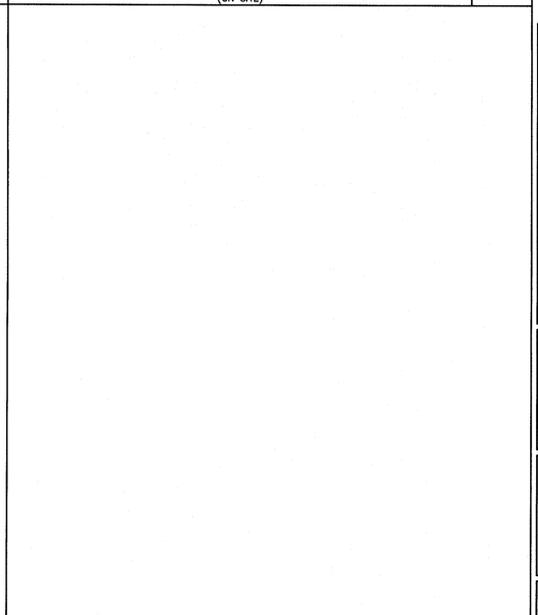
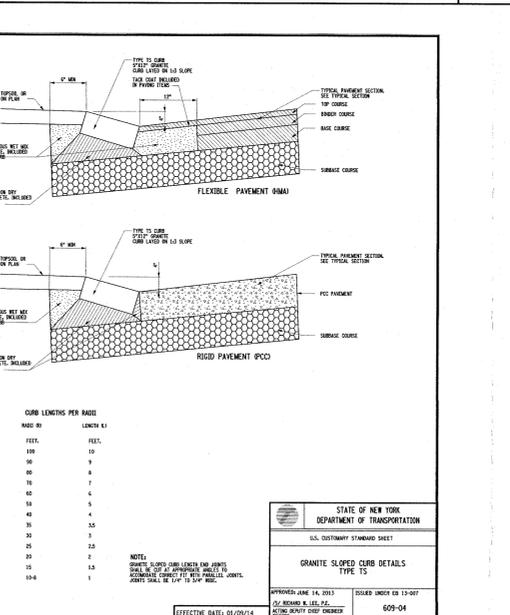
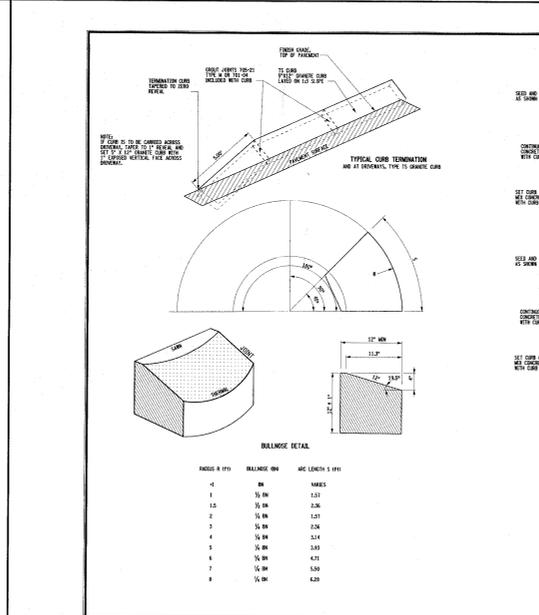
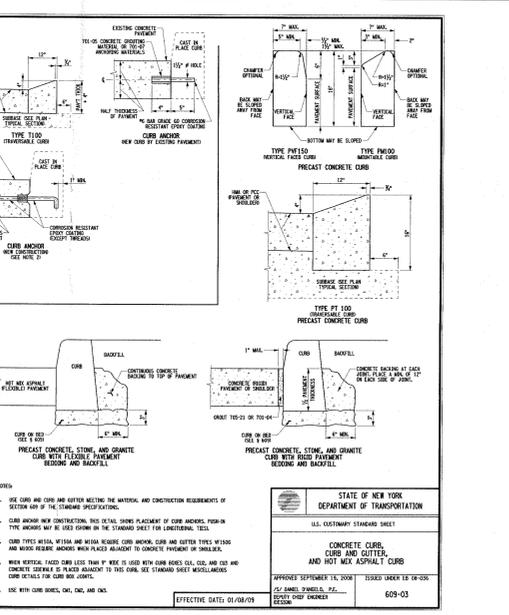
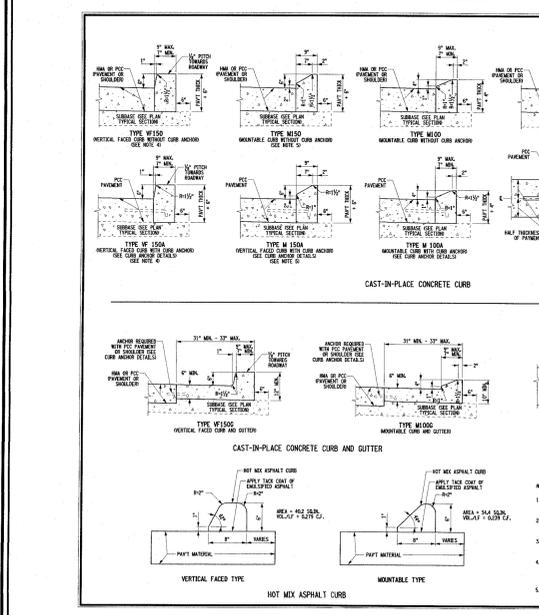
NYSDOT STONE CURB AND GRANITE CURB (ON SITE)

NYSDOT MISCELLANEOUS CURB DETAILS

NYSDOT GRANITE SLOPED CURB DETAILS TYPE TS (ON SITE)

NYSDOT CONCRETE CURB, CURB AND GUTTER, AND HOT MIX ASPHALT CURB

NYSDOT GRANITE SLOPED CURB DETAILS TYPE TS (ON SITE)



NYSDOT CONCRETE CURB, CURB AND GUTTER, AND HOT MIX ASPHALT CURB

NYSDOT GRANITE SLOPED CURB DETAILS TYPE TS (ON SITE)

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FARRELL BUILDING COMPANY
2377 MONTELUCK HIGHWAY
BROCKHAMPTON, NY 11932

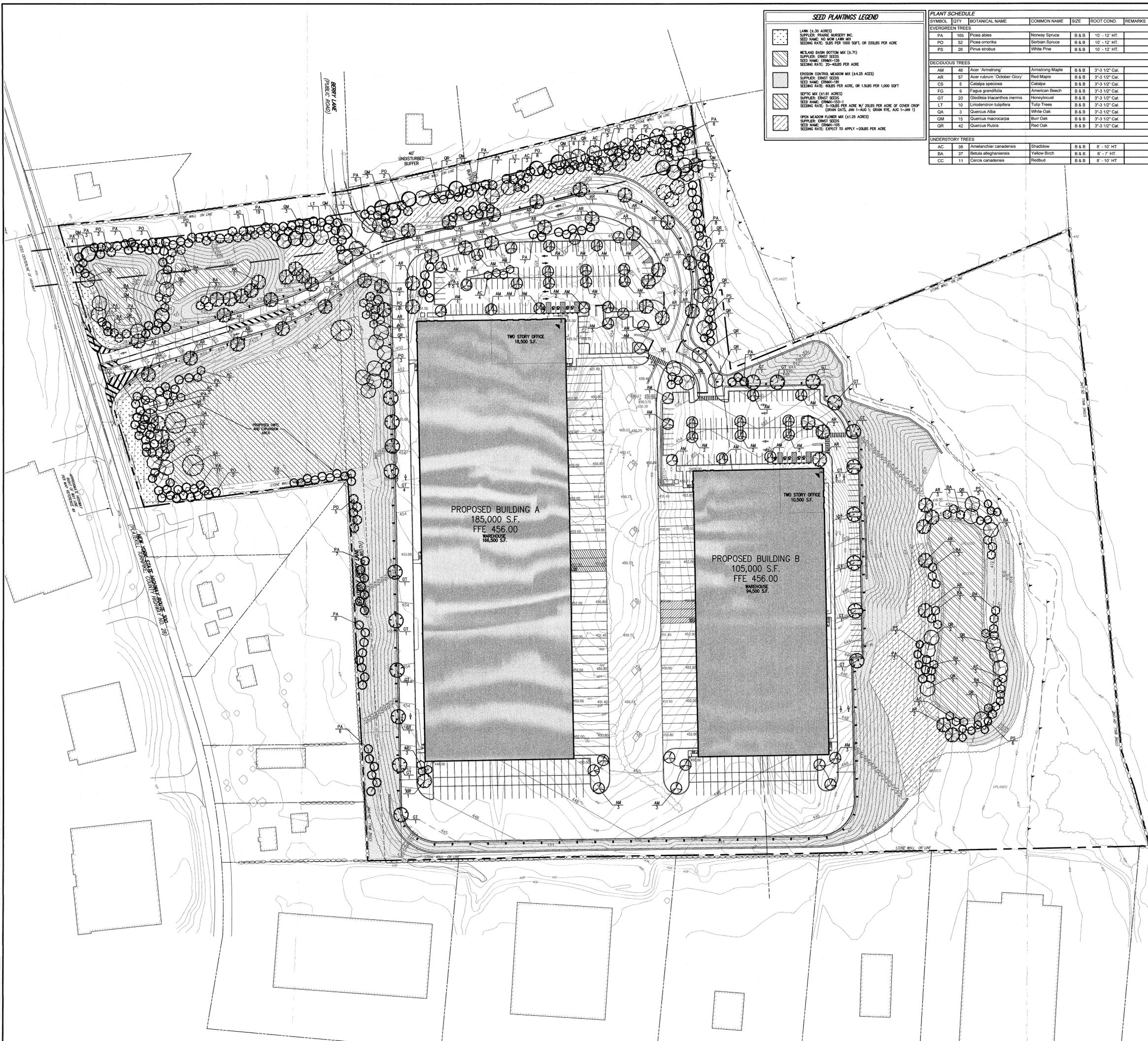
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
1420 BEDEFORD ROAD • ARMONK, NY 10504
PHONE: 914.233.9222 • FAX: 914.233.2102
WWW.JMCPINC.COM

CONSTRUCTION DETAILS (SITE ENTRANCE)
FARRELL INDUSTRIAL PARK
ROUTE 300
TOWN OF NEWBURGH, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7206 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: TC Approved: DLB
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Date: 12/03/2020
Project No: 18156
Sheet No: C-906
Drawing No: C-906

NOT FOR CONSTRUCTION



SEED PLANTINGS LEGEND

- LAWN (4.30 ACRES)
SUPPLIER: FRANK NURSERY INC.
SEED NAME: NO MOW LAWN MIX
SEEDING RATE: 500 PER 1000 SQFT, OR 220LBS PER ACRE
- WETLAND BASIN BOTTOM MIX (4.71)
SUPPLIER: ERNST SEEDS
SEED NAME: ERN-128
SEEDING RATE: 20-KOLBS PER ACRE
- EROSION CONTROL MEADOW MIX (4.25 ACES)
SUPPLIER: ERNST SEEDS
SEED NAME: ERN-101
SEEDING RATE: 10LBS PER ACRE, OR 1.0LBS PER 1,000 SQFT
- SEEDS MIX (61.00 ACRES)
SUPPLIER: ERNST SEEDS
SEED NAME: ERN-101
SEEDING RATE: 5-KOLBS PER ACRE W/ 20LBS PER ACRE OF COVER CROP (GRASS OATS, JAN 1-AUG 1; GRASS RYE, AUG 1-JAN 1)
- OPEN MEADOW TOWER MIX (81.25 ACRES)
SUPPLIER: ERNST SEEDS
SEED NAME: ERN-105
SEEDING RATE: EXPECT TO APPLY ~20LBS PER ACRE

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
EVERGREEN TREES						
PA	105	Picea abies	Norway Spruce	B & B	10' - 12' HT	
PO	52	Picea omorika	Serbian Spruce	B & B	10' - 12' HT	
PS	20	Pinus strobus	White Pine	B & B	10' - 12' HT	
DECIDUOUS TREES						
AM	48	Acer 'Armstrong'	Armstrong Maple	B & B	3'-3 1/2" Cal.	
AR	57	Acer rubrum 'October Glory'	Red Maple	B & B	3'-3 1/2" Cal.	
CS	5	Catalpa speciosa	Catalpa	B & B	3'-3 1/2" Cal.	
FG	9	Fagus grandifolia	American Beech	B & B	3'-3 1/2" Cal.	
GT	20	Gleditsia triacanthos inermis	Honeylocust	B & B	3'-3 1/2" Cal.	
LT	10	Liriodendron tulipifera	Tulip Trees	B & B	3'-3 1/2" Cal.	
QA	3	Quercus Alba	White Oak	B & B	3'-3 1/2" Cal.	
QM	15	Quercus macrocarpa	Burr Oak	B & B	3'-3 1/2" Cal.	
QR	42	Quercus Rubra	Red Oak	B & B	3'-3 1/2" Cal.	
UNDERSTORY TREES						
AC	38	Amelanchier canadensis	Shadblow	B & B	8' - 10' HT	
BA	37	Betula alleghaniensis	Yellow Birch	B & B	6' - 7' HT.	
CC	11	Cercis canadensis	Redbud	B & B	8' - 10' HT	

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING METLAND BUFFER
- EXISTING BUILDING OVERLAP
- EXISTING BUILDING LINE
- EXISTING PAYMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED SANICUT LINE
- PROPOSED CONCRETE APRON
- PROPOSED WALK TRAIL
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED FENCE
- PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- 2'-4" WIDE YELLOW LINES @ 0.C.
- 12" WIDE WHITE STOP LINE
- TRAFFIC SIGN LOCATION & DESIGNATION
- PROPOSED DECIDUOUS TREE
- PROPOSED FLOWERING TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS/PERENNIALS
- PROPOSED SHRUB MASSING
- PROPOSED TREE LINE
- EXISTING FEATURE TO BE REMOVED

- NOTES**
- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED FREE FROM DISEASE, PESTS AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AMERICAN NATURALISTS' SOCIETY, LATEST EDITION.
 - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GRASS COVER, SHALL BE LAWN.
 - ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDED HARDWOOD, ROOT MULCH, SHREDED CEDAR, OR BARK CHIPS, AS APPROVED BY THE OWNER'S FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
 - PLANT MATERIAL SUBSTITUTES SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 - ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTINGS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
 - ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 - ALL PLANT MATERIAL STOCK SHALL BE WELL-WATERED AND WELL-FORMED, SOUND, WOUND-FREE, FREE FROM DISEASE, SUN-SCALE, WINDLIGN, ABRADED, AND HARMFUL INSECTS OR NESTS. TREES AND SHRUBS SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE THOROUGHLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBSCURABLE DEFECTS. CONIFER TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED, SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY LINES AND GROUND COVER PLANTS WILL ESTABLISHED IN REMOVAL CONTAINERS, INTERNAL CONTAINERS, OR FORMED HOODSHEDS. SOIL SECTIONS SHALL BE USED.
 - PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE IDENTIFIED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
 - ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 - ALL LAWN AREAS (SOIL OR SEED) SHALL RECEIVE A MINIMUM 1" THICK LAYER OF SPREADER TOPSOIL PRIOR TO INSTALLATION OF SOIL OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
 - SOIL WITH ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
 - ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
 - FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
 - CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT WRITTEN APPROVAL OF THE OWNER.
 - ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
 - ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.

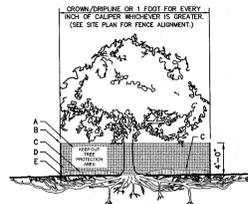
APPLICANT: FARRELL BUILDING COMPANY
3537 BOUTIQUE BLVD
BRIDGEHAMPTON, NY 11932

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consulting, LLC
John Meyer Consulting, Inc.
120 BIRCHWOOD ROAD - ARBONAW, WI, 10854
PHONE: 814.273.5295 - FAX: 814.273.1102
www.jmcpllc.com

LANDSCAPE PLAN
FARRELL INDUSTRIAL PARK
TOWN OF NEWBURGH, NY

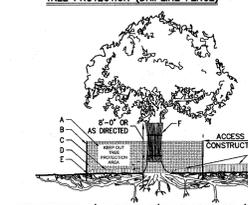
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Drawn: TC Approval: DL/JS
Scale: 1" = 50'
Date: 12/03/2020
Project No: 18156
189-LAB L-100 LMB:sk
Drawing No: L-100



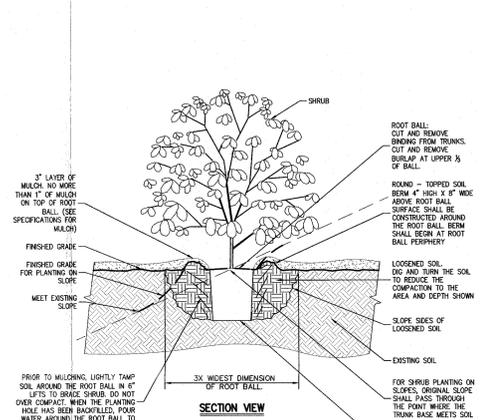
A	4.5"X11" SIGN LAMINATED IN PLASTIC SPACED EVERY 50' ALONG FENCE.
B	2"X6" STEEL POSTS OR APPROVED COAL.
C	3" THICK LAYER OF MULCH.
D	TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3/4" X 1/2" OPENINGS, COLOR ORANGE, STEEL POSTS INSTALLED AT 6' O.C.
E	MAINTAIN EXISTING GRADE WITHIN THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS.
F	INSTALL RIGID SAWN WOOD WEDGE AND AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SEE CHART FOR WOOD SIZE BOUND WITH 9 GAUGE WIRE.
G	3"-12" THICK LAYER OF MULCH ON MAINTENANCE ROAD. 3" THICK LAYER INSIDE TREE PROTECTION AREA.

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
12"-24"	2"x4"
>24"	2"x6"



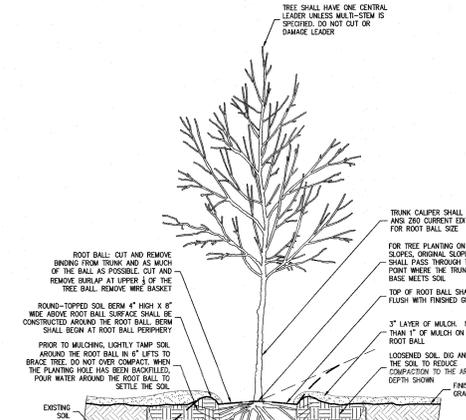
TREE PROTECTION W/ ACCESS ROAD/CONSTRUCTION AREA (DRIPLINE FENCE)

- NOTES:
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE, MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.



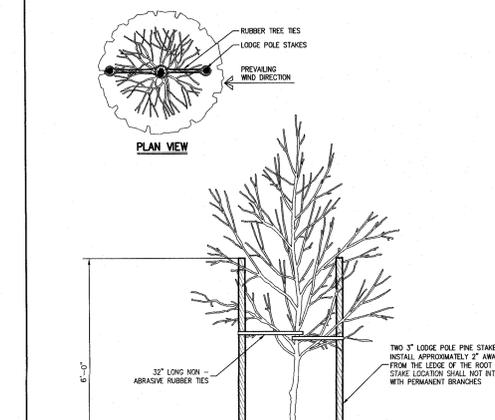
SECTION VIEW

- NOTES:
- ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
 - PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
 - PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

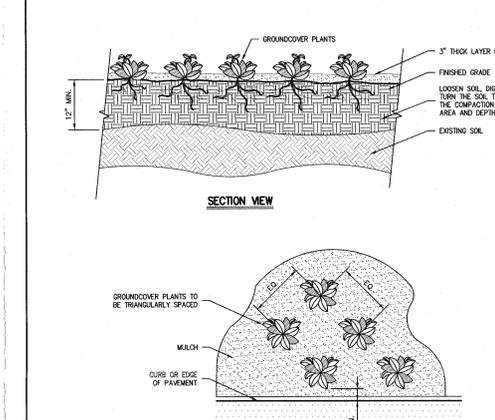


SECTION VIEW

- NOTES:
- ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
 - PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
 - PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
 - SEE TREE STAKING DETAIL IF STAKING IS REQUIRED.



SECTION VIEW



PLAN VIEW

- NOTES:
- SEE PLANTING PLAN FOR GROUND COVER SPECIES, SIZE, AND SPACING DIMENSION.
 - SETTLE SOIL AROUND ROOT BALL OF EACH GROUND COVER PLANT PRIOR TO MULCHING.
 - ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
 - PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
 - PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

TREE PROTECTION	1	SHRUB PLANTING	2	TREE PLANTING (DECIDUOUS AND EVERGREEN)	3	TREE STAKING	4	GROUND COVER PLANTING	5
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	X		X		X		X		X
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NOT FOR CONSTRUCTION

APPLICANT:
FARRELL BUILDING COMPANY
 235 WOOD HOOK HIGHWAY
 BRIDGE PLAZA, NY 11932

LANDSCAPE DETAILS
 FARRELL INDUSTRIAL PARK
 TOWN OF NEWBURGH, NY

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Client: TC
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 Date: 12/21/2020
 Project No: 18156
 Rev: NONE L-900
 Drawing No: L-900