TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS

PROJECT NAME:	**SHOPPES AT UNION SQUARE PHASE III**
PROJECT NO.:	**23-16**
PROJECT LOCATION:	**1217 & 1219 ROUTE 300**
	SECTION 96, BLOCK 1, LOT 6.2 & 11.11
REVIEW DATE:	**26 JULY 2023**
MEETING DATE:	**3 AUGUST 2023**
PROJECT REPRESENTATIVE:	**CARC PLANNING CONSULTANTS/LANGAN ENGINEERING**

1. The previous project was evaluated as a shopping center use and the Phase I and II approvals were granted based on the definition of shopping center in the Zoning Code. The Zoning Code definition for shopping center is – clothes stores, shops or similar commercial establishments otherwise permitted within the Zoning District, including eating and drinking places, developed or intended to be developed as a unit on 1 lot which may be constructed as a single structure or adjoining structures or neighboring structures but which shall be designed and built as an architectural unit and shall have associated facilities for all street parking, loading and pedestrian circulation. NYS Gaming Commission and NYS Lottery License Video Lottery Gaming Facility shall be considered a similar commercial establishment in shopping centers having an excess of 500 parking spaces within the ID Zoning District. A shopping center shall be designed to be operated and maintained as a unit, in single ownership and/or control sharing certain facilities in common such as open space yards, off street parking and loading facilities.

2. The Phase III project currently proposed falls under self-storage center – a public facility for dead storage of personal, household or business property which is serviced by the owner of the stored property and/or agent of the owner. The term self-storage center includes all similar uses in terms that shall not be construed to mean a warehouse.

3. The project will be subject to the Town's recently adopted Tree Preservation Ordinance.

4. The status of the proposed Rivian charging station project in Phase II should be addressed.

5. The overall plan submitted identifies an orange area for the self-storage being 11.39 acres. It is believed that that lot size is for the Phase II and III cumulative, while the self-storage facility area highlighted should be approximately 7 acres. Based on the response to comment 1 above, it is unclear if the shopping center use will exist on greater than 5 acres for the cumulitave Phase I and II projects.

6. A variance for building height will be required for the self-storage facilities as self-storage facilities are limited to 15 feet in the Zoning District.

7. The project is located on a NYSDEC Class A stream. NYSDEC permits for stream disturbance for both stream crossings will be required.

8. The project is located in the City of Newburgh Washington Lake Water Shed. Additional stormwater treatment is required as a policy of the Town of Newburgh Planning Board.

9. It is unclear if the interconnection to the Lowes facility previously proposed will continue to be proposed.

10. It is requested the applicants evaluate the need for the two proposed access points to the self-storage facility based on traffic demand. Elimination of one of the access points may eliminate one of the stream crossings. An emergency interconnect could be provided at the Lowes facility. An alternative access point, only through the Lowes site would eliminate the need for the stream crossing.

11. All structures are required to be sprinklered per the Town Code.

12. The Planning Board may wish to re-declare their intent for Lead Agency for review of the project. Circulation to multiple agencies is required including the NYSDEC, NYSDOT, City of Newburgh, and Orange County Department of Planning. Interested agencies would include the Orange Lake Fire District.

13. The height of the structures are identified as 40 feet. Aerial access to the buildings in excess of 30 feet will be required.

14. The self-storage plan currently does not depict outdoor storage areas. If outdoor storage areas are proposed, they must also be depicted on the plans.

15. The narrative report identifies that there are no threatened or endangered species on the site. The Long Form EAF identities potential habitat for threatened or endangered bat species as well as one bird species. The 2008 Negative Declaration was prepared prior to the bat species being identified as threatened or endangered. Updated biological studies should be prepared.

16. Self-storage centers are controlled by Zoning Section 185-35 A-G. Each of these items should be addressed on future plan submissions.

17. The site will be subject to architectural review. It is noted that the previous shopping center uses contained conditions regarding structures being designed of a similar architectural look.

18. Orange County Department of Planning review will be required upon development of detailed design plans.

19. Adjoiner's Notices are required to be sent out.

Respectfully submitted,

MHE Engineering, D.P.C.

Patrick J. Hines
Principal
PJH/ltm/kbw

KARC
PLANNING CONSULTANTS, INC.

Town of Newburgh
Job #2023-15

July 14, 2023

John P. Ewasutyn, Chairman
Town of Newburgh Planning Board & Members
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

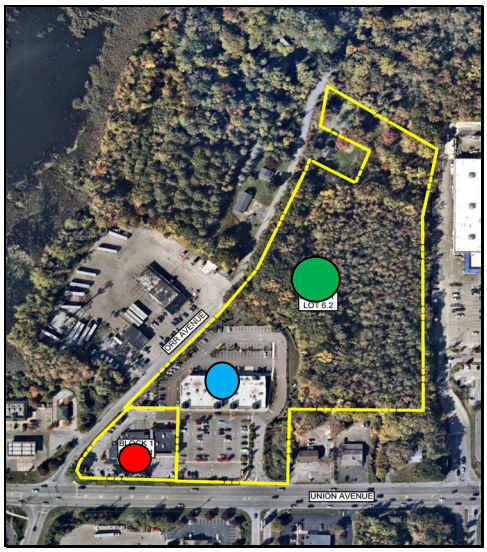
RE: 1217 & 1219 NYS Route 300
Parcel ID# 96-1-6.2 & 96-1-11.1
Newburgh Shoppes Phase III
Conceptual Site Plan Application

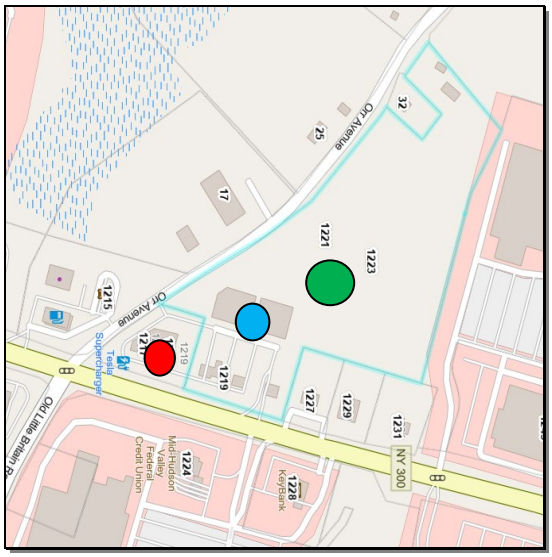
Chairman Ewasutyn and Planning Board Members,

We represent the owner of the Shoppes at Union Square located at 1217 & 1219 NYS Route 300 in the I-B District. The Parcels are identified as 96-1-6.2 and 96-1-11.1 and are collectively 11.40 acres in total.

We are seeking an amended Site Plan Approval for Phase III which proposes the construction of ten (10) self-storage buildings and all associated site improvements.

If you recall, Phase I of this property included the approval of Cosimo's Restaurant and associated parking. Phase II of this property was approved for additional commercial retail spaces.





PHASE I
PHASE II
PHASE III

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PLANNING CONSULTANTS, INC.

Phase I Phase II

A Negative Declaration for this property was issued on October 16, 2008 and filed with the Clerk on December 4, 2008. The project that was included as part of this review included all three phases totaling 66,000sf of retail space. We have included an amended Full Environmental Assessment Form dated July 14, 2023 with this application to address the work proposed for Phase III. An analysis has also been prepared to show that Phase III will not promote or produce any adverse impacts to the environment, like in previous Phases.

NEGATIVE DECLARATION
TOWN OF NEWBURGH PLANNING BOARD

THE SHOPS AT UNION SQUARE

Determination: Please take notice that, according to the provisions of 6NYCRR, Part 617.7, the Town of Newburgh Planning Board, as lead agency, having reviewed and considered an environmental assessment form and plans for the proposed uses, has determined that the actions as cited and described below will not have an adverse impact on the environment and the Planning Board has, therefore, adopted a resolution to this effect.

Lead Agency: Town of Newburgh Planning Board

Contact Person: Mr. John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550
(845) 564-7804

SEQRA Status: Unlisted, Planning Board became lead agency as of June 21, 2007

Location: Corner of Union Avenue and Orr Avenue

Tax Map Parcel: 95-1-36, 95-1-37.2, 96-1-7, 96-1-8, 96-1-9

Action: Site Plan for 66,000 square feet of retail space

Project Description, Background and Reasons Supporting the Negative Declaration:

The applicant proposes the development of 11.8 acres of land at the northeast corner of the intersection of Union Avenue and Orr Avenue. The site is zoned IB and will be serviced by municipal sewer and water. The project will consist of development of approximately 66,000 square feet of retail space and restaurants, with a cell phone store and restaurant currently residing at the corner of the intersection of Orr Ave. and Union Ave. The applicant has approximately 440 parking spaces proposed and a bus stop on site. There will be sidewalks throughout the site and it will be connected to the adjoining Lowe's site for vehicular and pedestrian access.

Storm drainage will be addressed on site, with detention ponds for water quality and quantity. There is a stream throughout the site, and the applicant will make any mitigation measures necessary to ensure the environmental quality of this stream and the rest of the site.

This Negative Declaration is based upon an evaluation of the information provided and site improvements proposed by the applicant and Town of Newburgh Planning Board. Impacts and their mitigation are discussed as follows.

KARC
PLANNING CONSULTANTS, INC.

The current total project area to be disturbed (approx. 6.0 acres) is currently vacant but forested with an existing ACOE stream that runs through the property and eventually drains into Lake Washington. The Negative Declaration issued in 2008 contemplated 11.8 acres of disturbance. In response to the Negative Declaration issued in 2008, the Applicant had proposed and has carried out several mitigation measures to ensure the water was protected and will continue to do so during Phase III. There continues to be no impacts or encroachment into this stream.

Access to the site will be from Orr Avenue, which intersects NYS Route 300 at the northwest corner of the property. Per the Negative Declaration issued in 2008 for Phases I & II, a new traffic signal and lane widening was required at the entrance drive to handle the additional trips. This has since been installed and continues to act as the mitigation measure for potential traffic impacts in Phase III. In 2008, The Town Engineer and DOT representative also determined that air pollution would not be significantly increased by the additional trips generated, nor would traffic levels (noise). As a storage facility Use in Phase III, we do not anticipate the overall traffic and/or noise levels will have any significant increases in trips or impacts.

It was previously determined that there are no threatened or endangered species on the site and has never had agricultural activity. Finally, it was confirmed that there are no archaeological or historical resources of any significance on the site.

Enclosed please find fourteen (14) copies for the Planning Board and one (1) copy for the Town Engineer of the following documents for review:

1. Site Plan Application Package dated July 14, 2023
2. Full Environmental Assessment Form dated July 14, 2023
3. Phase III Concept Plan prepared by Langan Engineering amended January 30, 2023
4. Prior approved Site Plans prepared by Langan Engineering dated December 18, 2018 and signed by Chair on February 4, 2019.
5. Fees:
    a. Application = $12,790.00
    b. Escrow = $1,000.00

We look forward to discussing this at the next Planning Board meeting.

Thank you.

Sincerely,

Kelly Libolt, Agent for Applicant

Newburgh Shoppes Phase III
Request for Pre-Application Meeting
July 14, 2023

Job No. 2023-15

TOWN OF NEWBURGH PLANNING BOARD

APPLICATION PACKAGE
for
SUBDIVISIONS,
SITE PLANS,
LOT LINE CHANGES
And
SPECIAL EXCEPTION USE PERMITS

Procedures and Requirements

July 2013

TOWN OF NEWBURGH PLANNING BOARD
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550
(845) 564-7804
fax: (845) 564-7802
planningboard@hvc.rr.com

JULY 2013

TO WHOM IT MAY CONCERN:

This package of information and forms is provided at assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman
Town of Newburgh Planning Board

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: _____ **TOWN FILE NO:**_____
(Application fee returnable with this application)

1. **Title of Subdivision/Site Plan (Project name):**
Newburgh Shoppes Phase III

2. **Owner of Lands to be reviewed:**
Name N&N Union, LLC / CPK Union, LLC
Address 1089 Little Britain Rd.
New Windsor, NY 12553
Phone c/o 845-594-1055

3. **Applicant Information (If different than owner):**
Name same as above
Address
Representative Kelly Libolt, Agent for Applicant
Phone 845-594-1055
Fax
Email kelly@karcpc.com

4. **Subdivision/Site Plan prepared by:**
Name Langan Engineering, DPC
Address 300 Kimball Drive
Parsippany, NJ 07054
Phone/Fax 973-560-4900

5. **Location of lands to be reviewed:**
1217 & 1219 Route 300, Newburgh

6. **Zone** IB **Fire District** Newburgh
Acreage 11.40 combined **School District** Newburgh

7. **Tax Map: Section** 96 **Block** 1 **Lot** 6.2 & 11.1

8. Project Description and Purpose of Review:

Number of existing lots 2 **Number of proposed lots** 2

Lot line change _____

Site plan review Site Plan Amendment - Change of Use

Clearing and grading _____

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) _____

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature _____ **Title** Nicolas Dibrizzi, Owner

Date: July 14, 2023

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Newburgh Shoppes Phase III

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1.X____ Environmental Assessment Form As Required

2.X____ Proxy Statement

3.X____ Application Fees

4.X____ Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

To be completed upon further development of Concept Plan.

1.____ Name and address of applicant

2.____ Name and address of owner (if different from applicant)

3.____ Subdivision or Site Plan and Location

4.____ Tax Map Data (Section-Block-Lot)

5.____ Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined

6.____ Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot

7.____ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone

8.____ Date of plan preparation and/or plan revisions

9.____ Scale the plan is drawn to (Max 1" = 100')

10.____ North Arrow pointing generally up

11.____ Surveyor,s Certification

12.____ Surveyor's seal and signature

13.____ Name of adjoining owners

14.___ _Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements

15.____ Flood plain boundaries

16.____ Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989

17.____ Metes and bounds of all lots

18.____ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street

19.____ Show existing or proposed easements (note restrictions)

20.____ Right-of-way width and Rights of Access and Utility Placement

21.____ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)

22.____ Lot area (in sq. ft. for each lot less than 2 acres)

23.____ Number of lots including residual lot

24.____ Show any existing waterways

25.____ A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable

26.____ Applicable note pertaining to owners review and concurrence with plat together with owner's signature

27.____ Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.

28.____ Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided

29.____ Show topographical data with 2 or 5 ft. contours on initial submission

30.____ Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number

31.___ If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed

32.____ Number of acres to be cleared or timber harvested

33.____ Estimated or known cubic yards of material to be excavated and removed from the site

34.____ Estimated or known cubic yards of fill required

35.____ The amount of grading expected or known to be required to bring the site to readiness

36.____ Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

_____

_____

37.____ Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

_____

_____

38.____List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: KLibolt Kelly Libolt, Agent for Applicant

~~**Licensed Professional**~~

Date: July 14, 2023

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): July 14, 2023

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may by exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you many be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH

APPLICATION FOR CLEARING AND GRADING

Name of applicant: N&N Union LLC / CPK Union, LLC

Name of owner on premises: N&N Union, LLC / CPK Union, LLC

Address of owner: 1089 Little Britain Rd., New Windsor, NY 12553

Telephone number of owner: c/o 845-594-1055

Telephone number of applicant: c/o 845-594-1055

State whether applicant is owner, lessee, agent, architect, engineer or contractor: Owner

Location of land on which proposed work will be done: 1217 & 1219 NYS Route 300

Section: 96 **Block:** 1 **Lot:** 6.2 & 11.1 **Sub. Div.:** _____

Zoning District of Property: IB **Size of Lot:** 11.40 combined

Area of lot to be cleared or graded: approximately 7.48 acres

Proposed completion of date: December 2023

Name of contractor/agent, if different than owner: Kelly Libolt, Agent for Applicant

Address: PO Box 924, Poughkeepsie, NY 12602

Telephone number: 845-594-1055

Date of Planning Board Approval: _____ **(if required)**

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: _____ **Date:** July 14, 2023

Signature of applicant (if different than owner): Kubota Agent for Applicant

TOWN ACTION:

Examined: _____ **20** _____

Approved: _____ **20** _____

Disapproved: _____ **20** _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

(a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.

(b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Nicolas Dibrizzi, Owner

APPLICANT'S NAME (printed)

APPLICANTS SIGNATURE

July 14, 2023

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Nicolas DiBrizzi **, DEPOSES AND SAYS THAT HE/SHE**

RESIDES AT 27 Anchor Drive, Newburgh

IN THE COUNTY OF Orange

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF 1217 & 1219 NYS Route 300

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH PLANNING BOARD AND KARC Planning Consultants, Inc. & Langan Engineering **IS AUTHORIZED TO REPRESENT THEM AT MEETINGS OF SAID BOARD.**

DATED: July 14, 2023

OWNERS SIGNATURE

Kelly Libolt, Agent for Applicant

Jereme Secaras, Project Engineer

NAMES OF ADDITIONAL REPRESENTATIVES

Nicolas DiBrizzi

OWNERS NAME (printed)

Amy Argyrakis

WITNESS' SIGNATURE

Amy Argyrakis

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

July 14, 2023
DATED

Nicolas Dibrizzi, Owner
APPLICANT'S NAME (printed)

APPLICANT'S SIGNATURE

DISCLOSURE ADDENDUM STATEMENT TO APPLICATION, PETITION AND REQUEST

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

X **NONE**

_____ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**
(financial or otherwise)

_____
_____
_____

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

_____ **TOWN BOARD**
X **PLANNING BOARD**
_____ **ZONING BOARD OF APPEALS**
_____ **ZONING ENFORCEMENT OFFICER**
_____ **BUILDING INSPECTOR**
_____ **OTHER**

July 14, 2023 — **DATED**

Nicolas DiBrizzi — **INDIVIDUAL APPLICANT**

_____
CORPORATE OR PARTNERSHIP APPLICANT

BY: _____
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: N&N Union LLC / CPK Union, LLC
1089 Little Britain Rd., New Windsor, NY 12553

Description of the proposed project: Newburgh Shoppes Phase III

Location of the proposed project: 1217 & 1219 NYS Route 300

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: N/A

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

_____
APPLICANT'S SIGNATURE

July 14, 2023
DATE

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM

TOWN OF NEWBURGH PLANNING BOARD

To be provided upon further development of Concept Plan

DATE: July 14, 2023

NAME OF PROJECT: Newburgh Shoppes Phase III

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

_____

COLOR OF THE EXTERIOR OF BUILDING:

_____

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

_____

ROOF:

Type (gabled, flat, etc.): _____

Material (shingles, metal, tar & sand, etc.): _____

Color: _____

WINDOWS/SHUTTERS:

Color (also trim if different): _____

Type: _____

DOORS:

Color: _____

Type (if different than standard door entrée): _____

SIGN:

Color: _____

Material: _____

Square footage of signage of site: _____

Nicolas Dibrizzi, Owner

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Signature

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: The Shoppes at Union Square - Phase III (self-storage)		
Project Location (describe, and attach a general location map): 1217 and 1219 NYS Route 300 (NW intersection of NYS Route 300 and Orr Ave.), Town of Newburgh, Orange County, Parcel ID# 96-1-6.2 and 96-1-11.1		
Brief Description of Proposed Action (include purpose or need): For Phase III of the Shoppes at Union Square, the Applicant is proposing multiple commercial self-storage buildings. The largest stand-alone structure is 30,000sf. The remaining nine structures range from 800 - 8,100sf. APPENDIX 'A' The Planning Board previously completed a SEQRA review of this project which included at 71,000sf supermarket.		
Name of Applicant/Sponsor: N&N Union LLC	Telephone: c/o 845-594-1055 E-Mail: c/o kelly@karcpc.com	
Address: 1089 Little Britain Rd.		
City/PO: Newburgh	State: NY	Zip Code: 12553
Project Contact (if not same as sponsor; give name and title/role): Kelly Libolt, KARC Planning Consultants	Telephone: 845-594-1055 E-Mail: kelly@karcpc.com	
Address: PO Box 924		
City/PO: Poughkeepsie	State: NY	Zip Code: 12602
Property Owner (if not same as sponsor): same as sponsor	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees ☐Yes ☑No		
b. City, Town or Village Planning Board or Commission ☑Yes ☐No	Amended Site Plan	
c. City, Town or Village Zoning Board of Appeals ☑Yes ☐No	Possible Area Variances	
d. Other local agencies ☐Yes ☑No		
e. County agencies ☑Yes ☐No	County Planning - 239m Dept. of Health	
f. Regional agencies ☐Yes ☑No		
g. State agencies ☑Yes ☐No	NYSDEC - SWPPP	
h. Federal agencies ☐Yes ☑No		

i. Coastal Resources.

i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? ☐Yes ☑No

ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? ☐Yes ☑No

iii. Is the project site within a Coastal Erosion Hazard Area? ☐Yes ☑No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐Yes ☑No

- **If Yes,** complete sections C, F and G.
- **If No,** proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐Yes ☑No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐Yes ☐No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐Yes ☑No

If Yes, identify the plan(s):

_____

_____

_____

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐Yes ☑No

If Yes, identify the plan(s):

_____

_____

_____

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☑ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?
IB - Interchange Business District

b. Is the use permitted or allowed by a special or conditional use permit? ☑ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☑ No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Newburgh CSD

b. What police or other public protection forces serve the project site?
Town of Newburgh

c. Which fire protection and emergency medical services serve the project site?
Town of Newburgh EMS

d. What parks serve the project site?
None

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial Development - construction of ten (10) self-storage buildings

b. a. Total acreage of the site of the proposed action? 11.40 acres
b. Total acreage to be physically disturbed? 6.0 +/- acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 11.40 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☑ No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☑ No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
_____
ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☑ No
i. If No, anticipated period of construction: 24 months
ii. If Yes:
- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? ☐ Yes ☑ No

If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase				
At completion of all phases				

g. Does the proposed action include new non-residential construction (including expansions)? ☑ Yes ☐ No

If Yes,

i. Total number of structures 10

ii. Dimensions (in feet) of largest proposed structure: 40 height; 160 width; and 180 length

iii. Approximate extent of building space to be heated or cooled: 64,850 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☐ Yes ☑ No

If Yes,

i. Purpose of the impoundment:

ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☐ Other specify:

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? ☑ Yes ☐ No
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i .What is the purpose of the excavation or dredging? Site infrastructure

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): TBD
- Over what duration of time? 24 months

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

TBD

iv. Will there be onsite dewatering or processing of excavated materials? ☑ Yes ☐ No
If yes, describe. TBD

v. What is the total area to be dredged or excavated? 64,850sf ~~acres~~

vi. What is the maximum area to be worked at any one time? <5.0 acres

vii. What would be the maximum depth of excavation or dredging? 4+/- feet

viii. Will the excavation require blasting? ☐ Yes ☑ No

ix. Summarize site reclamation goals and plan:

TBD

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐ Yes ☑ No
APPENDIX 'B'

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description):

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

_____

_____

_____

_____

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

_____

- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

_____

c. Will the proposed action use, or create a new demand for water? ☑ Yes ☐ No

If Yes:

i. Total anticipated water usage/demand per day: TBD - 1 bathroom gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☑ Yes ☐ No

If Yes:

- Name of district or service area: Town of Newburgh Water
- Does the existing public water supply have capacity to serve the proposal? ☑ Yes ☐ No
- Is the project site in the existing district? ☑ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☑ No
- Do existing lines serve the project site? ☑ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☑ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

_____

- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☑ No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

_____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☑ Yes ☐ No

If Yes:

i. Total anticipated liquid waste generation per day: TBD - 1 bathroom gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary sewage

_____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☑ Yes ☐ No

If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh
- Name of district: Town of Newburgh Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? ☑ Yes ☐ No
- Is the project site in the existing district? ☑ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☑ No

- Do existing sewer lines serve the project site? ☑ Yes ☐ No
- Will a line extension within an existing district be necessary to serve the project? ☐ Yes ☑ No

  If Yes:
  - Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐ Yes ☑ No

If Yes:
- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

_____

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☑ Yes ☐ No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or 6.2 acres (impervious surface)

_____ Square feet or 11.39 acres (parcel size)

ii. Describe types of new point sources. parking lot and roof leaders

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

On-site stormwater management facility

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? ☐ Yes ☑ No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☐ Yes ☑ No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☑ Yes ☐ No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

Heavy construction equipment during construction period

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

Potential temp heating/AC during construction period

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

HVAC units to provide heat/AC to buildings

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐ Yes ☑ No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐ Yes ☐ No

ii. In addition to emissions as calculated in the application, the project will generate:
- _____Tons/year (short tons) of Carbon Dioxide (CO_2)
- _____Tons/year (short tons) of Nitrous Oxide (N_2O)
- _____Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____Tons/year (short tons) of Sulfur Hexafluoride (SF_6)
- _____Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)
- _____Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐Yes ☑No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

_____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐Yes ☑No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

_____

_____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐Yes ☑No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐Weekend ☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

_____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐Yes ☐No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:

_____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐Yes ☐No

vii Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐Yes ☐No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐Yes ☐No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☑Yes ☐No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

TBD based on uses

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):

CHG&E

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐Yes ☑No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: 8:00am - 10:00pm
- Saturday: 8:00am - 10:00pm
- Sunday: n/a
- Holidays: n/a

ii. During Operations:

- Monday - Friday: 24/7
- Saturday: 24/7
- Sunday: 24/7
- Holidays: 24/7

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☑ Yes ☐ No

If yes:

i. Provide details including sources, time of day and duration:

Noise will exceed ambient noise levels during the construction period and only during hours permitted under Town Code.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? ☑ Yes ☐ No

Describe: Tree removal

n. Will the proposed action have outdoor lighting? ☑ Yes ☐ No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

Parking lot lights, sidewalks, ballasts, sconces

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☑ Yes ☐ No

Describe: Tree removal

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☑ No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☑ No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☑ No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☑ Yes ☐ No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: 20+/- tons per month (unit of time)
- Operation : 5+/- tons per month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Recycle all reusable construction and demolition items
- Operation: Compliance with all town/county regulations

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Approved construction and demolition debris sites
- Operation: Approved construction and demolition debris sites

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

_____

_____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

_____

_____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

_____

_____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

_____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

_____

_____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☑ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☑ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

_____

_____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces		7.48	+7.48
• Forested	8.35	0.87	-7.48
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	2.36	2.36	0
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)	0.68	0.68	0
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☑ No

i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☑ No

If Yes,

i. Identify Facilities:

_____

_____

e. Does the project site contain an existing dam? ☐ Yes ☑ No

If Yes:

i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____

iii. Provide date and summarize results of last inspection:

_____

_____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Has the facility been formally closed? ☐ Yes ☐ No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

_____

_____

iii. Describe any development constraints due to the prior solid waste activities: _____

_____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

_____

_____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☑ Yes ☐ No

If Yes:

i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☑ No

☐ Yes – Spills Incidents database Provide DEC ID number(s): _____

☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): _____

☐ Neither database

ii. If site has been subject of RCRA corrective activities, describe control measures:_____

_____

_____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☑ Yes ☐ No

If yes, provide DEC ID number(s): 336019, 336089

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): APPENDIX 'C'

See attached reports

_____

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☑ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? >1 feet

b. Are there bedrock outcroppings on the project site? ☐ Yes ☑ No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site:

Erie Extremely Stony Soils	40.4 %
Erie Gravelly Silt Loam 3-8	21.5 %
Erie Gravelly Silt Loam 0-3	13.3 %

APPENDIX 'D'

d. What is the average depth to the water table on the project site? Average: >1 feet

e. Drainage status of project site soils:
☐ Well Drained: _____% of site
☑ Moderately Well Drained: 25 % of site
☑ Poorly Drained 75 % of site

f. Approximate proportion of proposed action site with slopes:
☑ 0-10%: 100 % of site
☐ 10-15%: _____% of site
☐ 15% or greater: _____% of site

g. Are there any unique geologic features on the project site? ☐ Yes ☑ No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☑ Yes ☐ No

ii. Do any wetlands or other waterbodies adjoin the project site? APPENDIX 'E' ☑ Yes ☐ No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☑ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 862-222, 862-223 Classification C, A
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters Approximate Size 0.68
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☑ No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? APPENDIX 'F' ☐ Yes ☑ No

j. Is the project site in the 100-year Floodplain? ☐ Yes ☑ No

k. Is the project site in the 500-year Floodplain? ☐ Yes ☑ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☐ Yes ☑ No
If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site:
Squirrels, Rabbits, Deer
Chipmunks, Birds

n. Does the project site contain a designated significant natural community? ☐ Yes ☑ No
If Yes:
i. Describe the habitat/community (composition, function, and basis for designation): _____
ii. Source(s) of description or evaluation: _____
iii. Extent of community/habitat:
- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☑ Yes ☐ No

If Yes: APPENDIX 'G'
i. Species and listing (endangered or threatened): Indiana Bat, Northern Long-eared Bat, Upland Sandpiper

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐ Yes ☐ No

If Yes:
i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐ Yes ☑ No
If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐ Yes ☑ No
If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? APPENDIX 'H' ☑ Yes ☐ No
i. If Yes: acreage(s) on project site? 6.9 acres
ii. Source(s) of soil rating(s): USDA Web Soil Survey

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐ Yes ☑ No
If Yes:
i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐ Yes ☑ No
If Yes:
i. CEA name: _____
ii. Basis for designation: _____
iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☑ No

If Yes:

APPENDIX 'I'

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based:

_____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☐ Yes ☑ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☑ No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☑ No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☑ No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Kelly Libolt Date July 14, 2023

Signature Kelly Libolt Title Agent for Applicant

PRINT FORM

ZONING TABLE 1

Zone-IB (Interchange Business District)

Section 96, Block 1, Lots 6.2 & 11.1

Item	Required / Permitted	Proposed - Lot 96-1-11.1 (Cosimo's)		Proposed - Lots 96-1-6.2		Proposed - Overall Shopping Center	
Permitted Principal Uses	Shopping Center	--		--		Shopping Center	
Lot Requirements							
Minimum Lot Area (3)	5 acres	--		--		11.39 Ac.	C
Minimum Lot Width	150 ft	251 ft	C	300 ft	C	--	
Minimum Lot Depth	150 ft	202 ft	C	1,095 ft	C	--	
Yards Requirements							
Minimum Front Yard Setback (Route 300)	60 ft	55.7 ft *	V	207.5 ft	C	--	
Minimum Front Yard Setback (Orr Ave)	60 ft	36.5 ft *	V	61.2 ft	C	--	
Minimum Side Yard Setback (Lowe's)	50 ft	--		~~5.0 ft~~ 30.0 ft	V	--	
Minimum Side Yard Setback (Lot 35)	50 ft	--		~~40.3 ft~~ 38.5 ft	V	--	
Minimum Side Yard Setback (Cosimo's)	50 ft	0.0 ft	V	3.1 ft	V	--	
Minimum Rear Yard Setback	60 ft	60.2 ft	C	~~143.1 ft~~ 44.5 ft	C	(V)	--
Building							
Maximum Building Height	40 ft	40 ft	C	40 ft +/- 40 ft	C	--	
Maximum Lot Building Coverage	30%	28.5%	C	~~19.1%~~ 18.6%	C	~~20.0%~~ 18.8%	C
Landscaping							
Maximum Lot Surface Coverage	80%	89.8%	V	~~64.0%~~ 53.1%	C	~~68.1%~~ 53.7%	C
Minimum Interior Landscaping	5%	--		--		7.4%	C
Minimum Parking Shade Trees	57	--		--		66	C
Signs							
Maximum Number Identification Signs	4	--		--		**	C
Maximum Identification Sign Area	3 sf	--		--		**	V
Maximum Freestanding Sign Height	40 ft	--		--		25 ft	C
Maximum Number Freestanding Signs	1 per lot	1	C	1	C	**	C
Sign Setback	15 ft	--		--		15 ft	C
Maximum Total Sign Area (4)	904 sf	--		--		±943 sf **	V

* - EXISTING CONDITIONS
** - SEE SIGNAGE SCHEDULE BELOW

C - COMPLIES
V - VARIANCE

VARIANCES PREVIOUSLY APPROVED FOR LOT 96-1-11.1 COSIMO'S (FORMERLY LOT 96-1-1.11):

1. Minimum Front Yard Setback (Route 300)= 55.7 ft
2. Minimum Front Yard Setback (Orr Ave)= 36.5 ft
3. Minimum Side Yard Setback (Cosimo's)= 0.0 ft
4. Maximum Lot Surface Coverage= 89.8%

VARIANCES PREVIOUSLY APPROVED FOR LOT 96-1-6.2 (FORMERLY LOTS 95-1-36 & 37.2 AND 96-1-6 THRU 9 (AMODEO)):

1. Minimum Side Yard Setback (Lowe's)= 5.0 ft
2. Minimum Side Yard Setback (Lot 35)= 40.3 ft

VARIANCES PREVIOUSLY APPROVED FOR OVERALL SHOPPING CENTER:

1. Maximum Identification Sign Area= 1333.5 sf
2. Maximum Total Sign Area = 1333.5 sf

NOTE
Zoning Table 1 shows original approval for shopping center updated through Phase 2 and includes Phase 3 if all one development.
Zoning Table 2 shows Phase 3 as a separate development being developed independently as self-storage.

Signage Schedule

Existing:

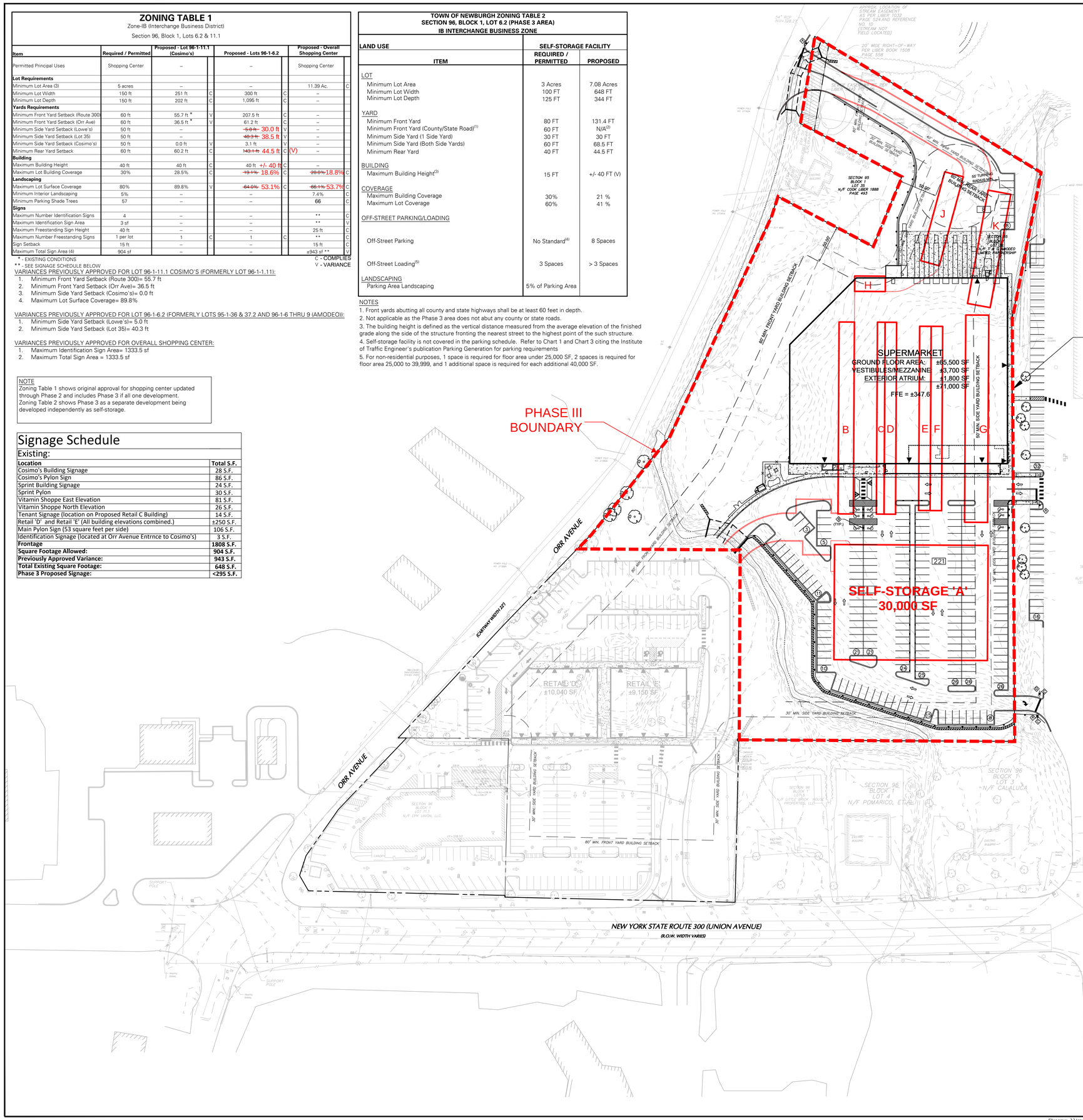
Location	Total S.F.
Cosimo's Building Signage	28 S.F.
Cosimo's Pylon Sign	86 S.F.
Sprint Building Signage	24 S.F.
Sprint Pylon	30 S.F.
Vitamin Shoppe East Elevation	81 S.F.
Vitamin Shoppe North Elevation	26 S.F.
Tenant Signage (location on Proposed Retail C Building)	14 S.F.
Retail 'D' and Retail 'E' (All building elevations combined.)	±250 S.F.
Main Pylon Sign (53 square feet per side)	106 S.F.
Identification Signage (located at Orr Avenue Entrnce to Cosimo's)	3 S.F.
Frontage	**1808 S.F.**
Square Footage Allowed:	**904 S.F.**
Previously Approved Variance:	**943 S.F.**
Total Existing Square Footage:	**648 S.F.**
Phase 3 Proposed Signage:	**<295 S.F.**

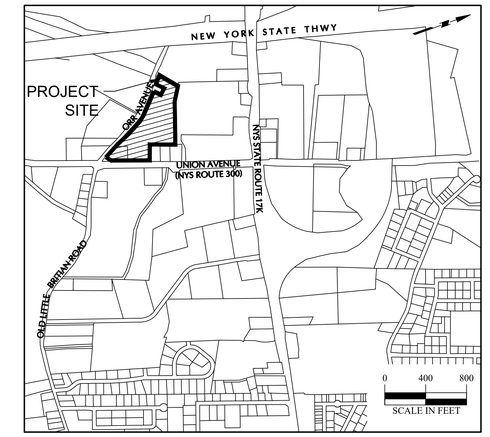
TOWN OF NEWBURGH ZONING TABLE 2
SECTION 96, BLOCK 1, LOT 6.2 (PHASE 3 AREA)
IB INTERCHANGE BUSINESS ZONE

LAND USE	SELF-STORAGE FACILITY	
ITEM	REQUIRED / PERMITTED	PROPOSED
LOT		
Minimum Lot Area	3 Acres	7.08 Acres
Minimum Lot Width	100 FT	648 FT
Minimum Lot Depth	125 FT	344 FT
YARD		
Minimum Front Yard	80 FT	131.4 FT
Minimum Front Yard (County/State Road)[1]	60 FT	N/A[2]
Minimum Side Yard (1 Side Yard)	30 FT	30 FT
Minimum Side Yard (Both Side Yards)	60 FT	68.5 FT
Minimum Rear Yard	40 FT	44.5 FT
BUILDING		
Maximum Building Height[3]	15 FT	+/- 40 FT (V)
COVERAGE		
Maximum Building Coverage	30%	21 %
Maximum Lot Coverage	60%	41 %
OFF-STREET PARKING/LOADING		
Off-Street Parking	No Standard[4]	8 Spaces
Off-Street Loading[5]	3 Spaces	> 3 Spaces
LANDSCAPING		
Parking Area Landscaping	5% of Parking Area	

NOTES

1. Front yards abutting all county and state highways shall be at least 60 feet in depth.
2. Not applicable as the Phase 3 area does not abut any county or state roads.
3. The building height is defined as the vertical distance measured from the average elevation of the finished grade along the side of the structure fronting the nearest street to the highest point of the such structure.
4. Self-storage facility is not covered in the parking schedule. Refer to Chart 1 and Chart 3 citing the Institute of Traffic Engineer's publication Parking Generation for parking requirements
5. For non-residential purposes, 1 space is required for floor area under 25,000 SF, 2 spaces is required for floor area 25,000 to 39,999, and 1 additional space is required for each additional 40,000 SF.





LOCATION MAP
SCALE: 1" = 800'

SELF-STORAGE SCHEDULE	
SELF-STORAGE 'B'	5,000 SF
SELF-STORAGE 'C'	2,500 SF
SELF-STORAGE 'D'	3,750 SF
SELF-STORAGE 'E'	3,600 SF
SELF-STORAGE 'F'	3,600 SF
SELF-STORAGE 'G'	8,100 SF
SELF-STORAGE 'H'	800 SF
SELF-STORAGE 'J'	3,000 SF
SELF-STORAGE 'K'	4,500 SF

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

No.	Description	Date
	Revisions	

DRAFT
01/20/2023

LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE III
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
OVERALL SITE PLAN

Project No. 9133101	Drawing No. CP48
Date XX/XX/XXXX	
Scale 1"=50'	
Drn. By NGG	

THE SHOPPES AT UNION SQUARE

APPLICATION FOR AMENDED SITE PLAN APPROVAL

SECTION 96, BLOCK 1, LOTS 6.2 & 11.1

UNION AVENUE (NYS ROUTE 300) AND ORR AVENUE
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

LIST OF CONTACTS

PLANNING BOARD CHAIRMAN
John Ewasutyn
308 Gardnertown Road
Newburgh, NY 12550
PHONE: (845) 564-7804
FAX: (845) 566-7802

TOWN ENGINEER
James W. Osborne
1496 Route 300
Newburgh, NY 12550
PHONE: (845) 564-7814
FAX: (845) 566-1432

TOWN CLERK
Andrew J. Zarutskie
1496 Route 300
Newburgh, NY 12550
PHONE: (845) 564-4554
FAX: (845) 564-8589

ORANGE COUNTY HEALTH DEPARTMENT
124 Main Street
Goshen, NY 10924
PHONE: (845) 291-2331

SUPERVISOR
Gil Plaquadio
1496 Route 300
Newburgh, NY 12550
PHONE: (845) 564-4552
FAX: (845) 566-9486

ORANGE COUNTY SOIL & WATER CONSERVATION DISTRICT
225 Dolson Avenue, Suite 103
Middletown, NY 10940
PHONE: (914) 343-1873/3811
FAX: (914) 344-1341

GAS AND ELECTRIC
Central Hudson Gas & Electric Co.
610 Little Britain Road
Newburgh, NY 12550
Mark Sclafani
PHONE: (845) 563-4538

TELEPHONE
Verizon
449 Broadway, 4th Fl
Kingston, NY 12401
PHONE: (845) 340-8036

WATER
Town Of Newburgh
343 Route 32
Newburgh, NY 12550
Mr. John Egitto
PHONE: (845) 564-2180

SEWER
Town Of Newburgh
311 Route 32,
Newburgh, NY 12550
PHONE: (845) 564-7803

CABLE
Time Warner Cable
109-15 14th Avenue
College Point, NY 11356
PHONE: (845) 692-5339

PROJECT CONTACTS

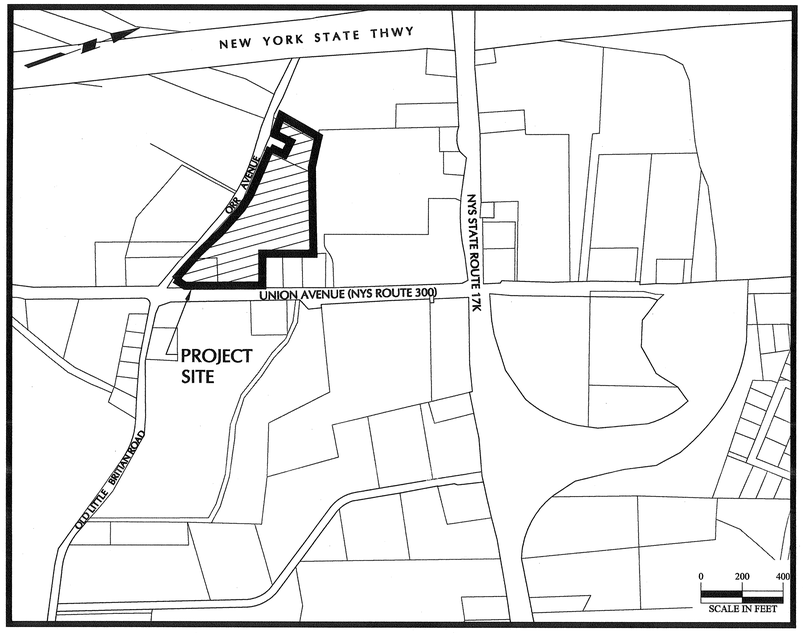
APPLICANT & OWNER:

TAX LOT: 96-1-6.2
N&N Union, LLC
C/O Cosimo's Management
1089 Little Britain Road
New Windsor, NY 12553

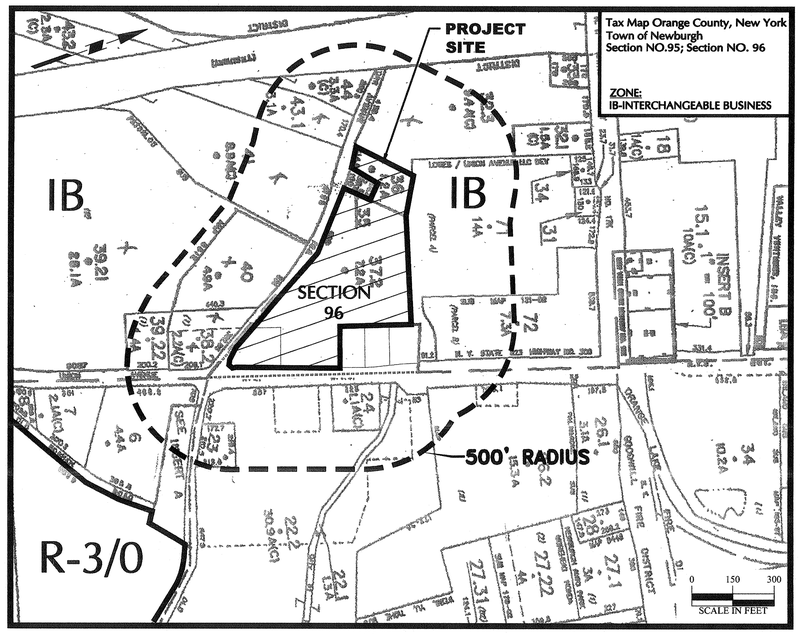
TAX LOT: 96-1-11.1
CPK Union, LLC
C/O Cosimo's Management
1089 Little Britain Road
New Windsor, NY 12553

SITE/CIVIL ENGINEER: LANGAN

Bryan Waisnor, P.E.
300 Kimball Drive
4th Floor
Parsippany, NJ 07054
Phone No.: (973) 560-4900



LOCATION MAP
SCALE: 1" = 400'



TAX MAP
SCALE: 1" = 300'

DRAWING LIST

DRAWING NO.	DESCRIPTION	SCALE	DATED	REVISION DATE
00.01	COVER SHEET	NTS	JULY 18, 2018	DECEMBER 6, 2018
VB101	BOUNDARY SURVEY	1"=50'	DEC 1, 2017	AUGUST 21, 2018
VB101	PARTIAL TOPOGRAPHIC SURVEY	1"=30'	DEC 1, 2017	AUGUST 21, 2018
20.01	OVERALL SITE PLAN	1"=50'	JULY 18, 2018	DECEMBER 6, 2018
20.03	SITE PLAN PHASE II	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
21.03	GRADING AND DRAINAGE PLAN PHASE II	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
22.01	UTILITY PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
23.01	SOIL EROSION AND SEDIMENT CONTROL PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
23.02	SOIL EROSION AND SEDIMENT CONTROL DETAILS	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
24.01	LANDSCAPE PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
24.04	LANDSCAPE SCHEDULE, NOTES, AND DETAILS	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
25.01	LIGHTING PLAN	1"=30'	JULY 18, 2018	DECEMBER 6, 2018
25.02	LIGHTING SCHEDULE, NOTES, AND DETAILS	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
28.01	DETAIL SHEET	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018
28.02	DETAIL SHEET	AS SHOWN	JULY 18, 2018	DECEMBER 6, 2018

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTYN

3/4/2019
DATE

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	3.
8/31/2018	ADDED ENLARGEMENTS FOR DETAILED GRADING	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

STATE OF NEW YORK — BRYAN M. WAISNOR — 080661 — LICENSED PROFESSIONAL ENGINEER

DEC 0 6 2018

BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661–1

LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
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Parsippany, NJ 07054

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NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY **NEW YORK**

Drawing Title
COVER SHEET

Project No. 9133101	Drawing No.
Date July 18, 2018	00.01
Scale AS SHOWN	
Drn. By AEB	

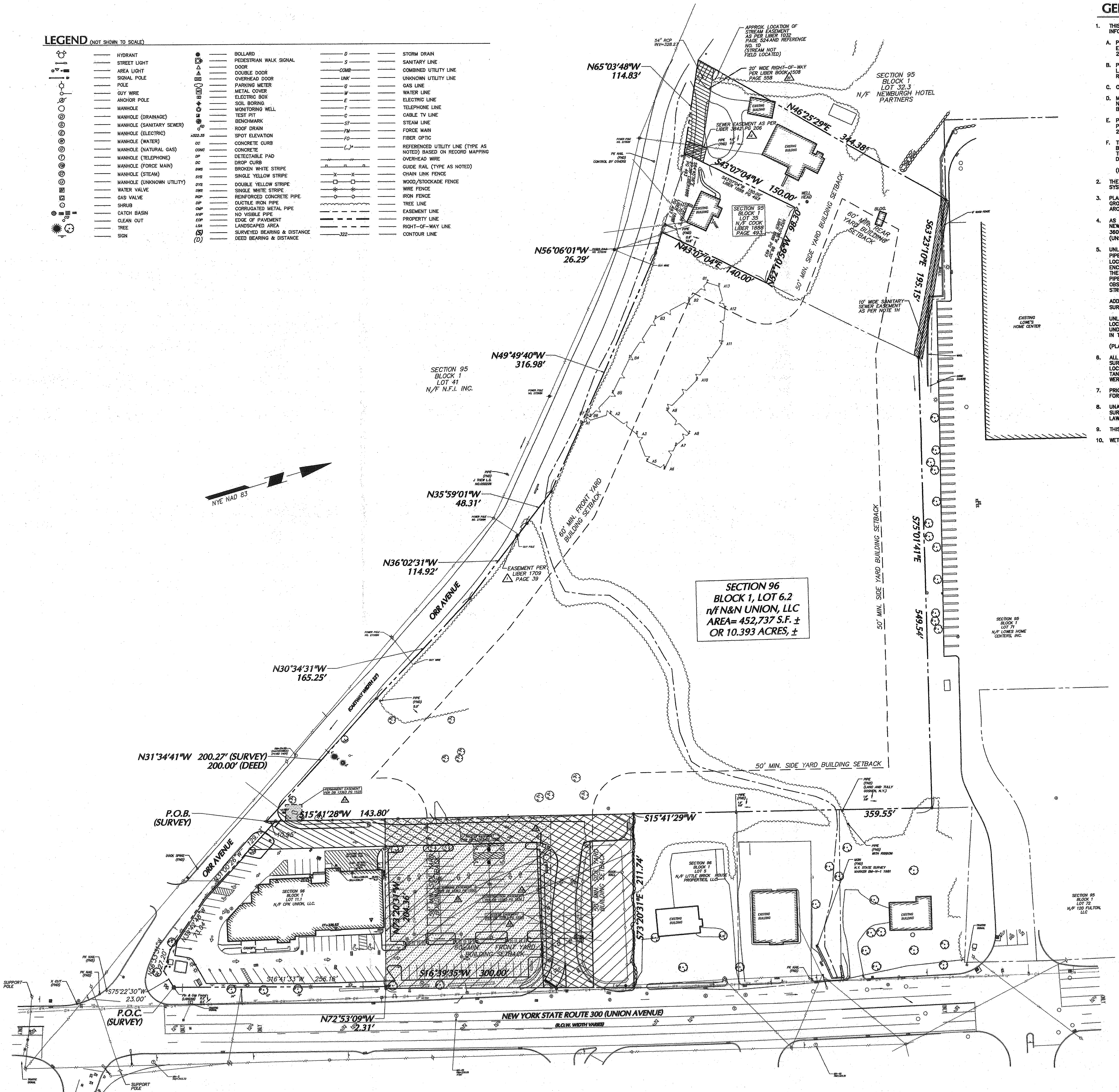
Filename: \\langan.com\data\PAR\data1\9133101\Cadd Data – 9133101\Dwg\9133101 0001 Amended.dwg Date: 8/10/2018 Time: 11:57 User: aberi Style Table: Langan.stb Layout: 00.01

LEGEND (NOT SHOWN TO SCALE)

- HYDRANT
- STREET LIGHT
- AREA LIGHT
- SIGNAL POLE
- POLE
- GUY WIRE
- ANCHOR POLE
- MANHOLE
- MANHOLE (DRAINAGE)
- MANHOLE (SANITARY SEWER)
- MANHOLE (ELECTRIC)
- MANHOLE (WATER)
- MANHOLE (NATURAL GAS)
- MANHOLE (TELEPHONE)
- MANHOLE (FORCE MAIN)
- MANHOLE (STEAM)
- MANHOLE (UNKNOWN UTILITY)
- WATER VALVE
- GAS VALVE
- SHRUB
- CATCH BASIN
- CO — CLEAN OUT
- TREE
- SIGN

- ● — BOLLARD
- PEDESTRIAN WALK SIGNAL
- DOOR
- DOUBLE DOOR
- OVERHEAD DOOR
- PARKING METER
- MC — METAL COVER
- E — ELECTRIC BOX
- SOIL BORING
- MONITORING WELL
- TEST PIT
- BENCHMARK
- RD — ROOF DRAIN
- x322.35 — SPOT ELEVATION
- CC — CONCRETE CURB
- CONC — CONCRETE
- DP — DETECTABLE PAD
- DC — DROP CURB
- BWS — BROKEN WHITE STRIPE
- SYS — SINGLE YELLOW STRIPE
- DYS — DOUBLE YELLOW STRIPE
- SWS — SINGLE WHITE STRIPE
- RCP — REINFORCED CONCRETE PIPE
- DIP — DUCTILE IRON PIPE
- CMP — CORRUGATED METAL PIPE
- NVP — NO VISIBLE PIPE
- EOP — EDGE OF PAVEMENT
- LSA — LANDSCAPED AREA
- (S) — SURVEYED BEARING & DISTANCE
- (D) — DEED BEARING & DISTANCE

- D — STORM DRAIN
- S — SANITARY LINE
- COMB — COMBINED UTILITY LINE
- UNK — UNKNOWN UTILITY LINE
- G — GAS LINE
- W — WATER LINE
- E — ELECTRIC LINE
- T — TELEPHONE LINE
- C — CABLE TV LINE
- ST — STEAM LINE
- FM — FORCE MAIN
- FO — FIBER OPTIC
- (_)* — REFERENCED UTILITY LINE (TYPE AS NOTED) BASED ON RECORD MAPPING
- OVERHEAD WIRE
- GUIDE RAIL (TYPE AS NOTED)
- X — CHAIN LINK FENCE
- WOOD/STOCKADE FENCE
- WIRE FENCE
- IRON FENCE
- TREE LINE
- EASEMENT LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- 322 — CONTOUR LINE



GENERAL NOTES

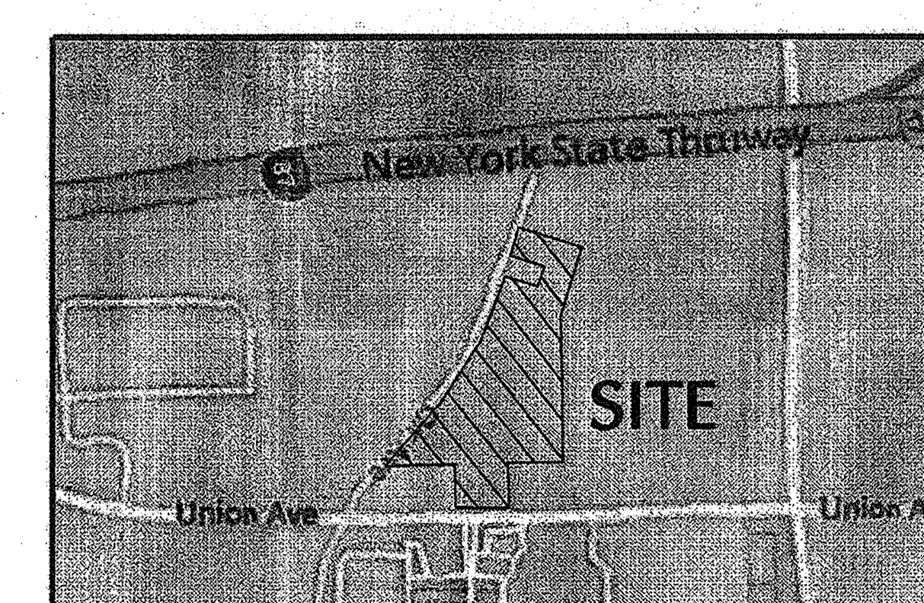
1. THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
   A. PLAN TITLED "COSIMO'S ON UNION, ALTA/ACSM LAND TITLE SURVEY" PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED JUNE 4, 2012 AND LAST REVISED JULY 3, 2012
   B. PLAN TITLED "ROUTE 300 AND ORR AVENUE, BOUNDARY AND TOPOGRAPHIC SURVEY" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED FEBRUARY 7, 2007 AND LAST REVISED SEPTEMBER 17, 2009.
   C. CURRENT TAX MAPS OF TOWN OF NEWBURGH.
   D. MAP OF SURVEY FOR THE T AND G AMODEO LIMITED PARTNERSHIP, TOWN OF NEWBURGH,ORANGE COUNTY, NEW YORK, DATED MAY 8, 2000, BY PETER R. HUSTIS, L.L.S., BEACON, NEW YORK.
   E. PLAN TITLED "SITE PLAN PROPOSED RETAIL DEVELOPMENT FOR THE LOWE'S COMPANIES, INC." PREPARED BY BL COMPANIES, POGHKIPSIE, NEW YORK, SHEET NO. SP-1, DATED FEBRUARY 29, 2000 AND LAST REVISED NOVEMBER 21, 2001.
   F. TITLE COMMITMENT:
   BY: HILL-N-DALE ABSTRACTORS, INC.
   TITLE NUMBER: HN 59612 AMENDED
   DATED: NOVEMBER 15, 2017

   (EXCEPTIONS LISTED SEPARATELY)
2. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.
3. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING AND LANDSCAPE ARCHITECTURE, D.P.C. FIELD WORK COMPLETED JUNE 2012 AND UPDATED IN NOVEMBER 2017.
4. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS ENTITLED "ORANGE COUNTY, NEW YORK, PANELS 139 OF 160 AND 330 OF 630, MAP NUMBERS 36071C0139E AND 36071C0330E, EFFECTIVE DATES AUGUST 3, 2009" THE PROJECT AREA LIES WITHIN ZONE X (UNSHADED), AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
5. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.

   ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.

   UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.

   (PLAN REFERENCED IN NOTE 1A)
6. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
7. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
8. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF N.Y STATE EDUCATION LAW ARTICLE 145.
9. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
10. WETLAND AREAS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC, ON AUGUST 8, 2018.



PROJECT LOCATION MAP

SCALE: N.T.S.

SOURCE: MICROSOFT CORPORATION

EXCEPTIONS

1 — GRANTS, EASEMENTS, RIGHTS OF WAY:
LIBER 481 PAGE 311 (LOCATION UNKNOWN)
LIBER 693 PAGE 329 (LOCATION UNKNOWN)
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TABLE OF VESTING DEEDS

SECTION 96, BLOCK 1, LOT 6	BOOK 13288 PAGE 231
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SECTION 95, BLOCK 1, LOT 36	BOOK 13288 PAGE 243
SECTION 95, BLOCK 1, LOT 37.2	BOOK 13288 PAGE 247

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
[illegible]
Chairman 2/4/2019

50 0 25 50
SCALE IN FEET

Date	Description	No.
8/21/18	Updated Topo & wetland	3
7/17/18	Added Sheet - 2	2
12/06/17	Revised Labels Along Orr Ave.	1

REVISIONS

"I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with NYSPLS Code of Practice for Land Surveys, and to the best of my professional knowledge, information and belief, and in my professional opinion accurately represents the conditions found on the date of the field survey of the subject property".

STATE OF NEW YORK · JOSEPH E. ROMANO · 050130-1 · LICENSED LAND SURVEYOR

[illegible] 8/21/18
SIGNATURE JOSEPH E. ROMANO DATE SIGNED
PROFESSIONAL LAND SURVEYOR
NY Lic. No. 050130-1

LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com

Project
THE SHOPPES AT UNION SQUARE
SECTION 96, BLOCK 1, LOT 6.2
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
BOUNDARY SURVEY

Project No. 9133101
Date 12/1/2017
Scale 1" = 50'
Drawn By KEC/HBV
Checked By DRA
Submission Date 07/17/2018
Drawing No. VB101
Sheet 1 of 2

LANGAN
SUBMISSION DATE: 07/17/2018
PROJECT NO. 9133101

Filename: \\langan.com\data\PAR\data1\009133113\Survey Data - 009133113\Carlson\Sheet Files\009133113-V-VB101.dwg Date: 8/21/2018 Time: 10:49 User: hvadalla Style Table: Langan.stb Layout: VB101

LEGEND (NOT SHOWN TO SCALE)

Symbol	Description
	HYDRANT
	STREET LIGHT
	AREA LIGHT
	SIGNAL POLE
	POLE
	GUY WIRE
	ANCHOR POLE
○	MANHOLE
Ⓓ	MANHOLE (DRAINAGE)
Ⓢ	MANHOLE (SANITARY SEWER)
Ⓔ	MANHOLE (ELECTRIC)
Ⓦ	MANHOLE (WATER)
Ⓖ	MANHOLE (NATURAL GAS)
Ⓣ	MANHOLE (TELEPHONE)
FM	MANHOLE (FORCE MAIN)
ST	MANHOLE (STEAM)
Ⓤ	MANHOLE (UNKNOWN UTILITY)
W	WATER VALVE
G	GAS VALVE
	SHRUB
	CATCH BASIN
CO	CLEAN OUT
	TREE
	SIGN
●	BOLLARD
	PEDESTRIAN WALK SIGNAL
△	DOOR
	DOUBLE DOOR
	OVERHEAD DOOR
	PARKING METER
MC	METAL COVER
	ELECTRIC BOX
	SOIL BORING
	MONITORING WELL
	TEST PIT
	BENCHMARK
RD	ROOF DRAIN
x322.35	SPOT ELEVATION
CC	CONCRETE CURB
CONC	CONCRETE
DP	DETECTABLE PAD
DC	DROP CURB
BWS	BROKEN WHITE STRIPE
SYS	SINGLE YELLOW STRIPE
DYS	DOUBLE YELLOW STRIPE
SWS	SINGLE WHITE STRIPE
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
CMP	CORRUGATED METAL PIPE
NVP	NO VISIBLE PIPE
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
(S)	SURVEYED BEARING & DISTANCE
(D)	DEED BEARING & DISTANCE
D	STORM DRAIN
S	SANITARY LINE
COMB	COMBINED UTILITY LINE
UNK	UNKNOWN UTILITY LINE
G	GAS LINE
W	WATER LINE
E	ELECTRIC LINE
T	TELEPHONE LINE
C	CABLE TV LINE
ST	STEAM LINE
FM	FORCE MAIN
FO	FIBER OPTIC
(_)*	REFERENCED UTILITY LINE (TYPE AS NOTED) BASED ON RECORD MAPPING
	OVERHEAD WIRE
	GUIDE RAIL (TYPE AS NOTED)
X	CHAIN LINK FENCE
□	WOOD/STOCKADE FENCE
✳	WIRE FENCE
o	IRON FENCE
	TREE LINE
	EASEMENT LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
322	CONTOUR LINE

GENERAL NOTES

1. THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:

   A. PLAN TITLED "COSIMO'S ON UNION, ALTA/ACSM LAND TITLE SURVEY" PREPARED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED JUNE 4, 2012 AND LAST REVISED JULY 3, 2012

   B. PLAN TITLED "ROUTE 300 AND ORR AVENUE, BOUNDARY AND TOPOGRAPHIC SURVEY" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, DATED FEBRUARY 7, 2007 AND LAST REVISED SEPTEMBER 17, 2009.

   C. CURRENT TAX MAPS OF TOWN OF NEWBURGH.

   D. MAP OF SURVEY FOR THE T AND G AMODEO LIMITED PARTNERSHIP, TOWN OF NEWBURGH,ORANGE COUNTY, NEW YORK, DATED MAY 8, 2000, BY PETER R. HUSTIS, L.L.S., BEACON, NEW YORK.

   E. PLAN TITLED "SITE PLAN PROPOSED RETAIL DEVELOPMENT FOR THE LOWE'S COMPANIES, INC." PREPARED BY BL COMPANIES, POGHKIPSIE, NEW YORK, SHEET NO. SP-1, DATED FEBRUARY 29, 2000 AND LAST REVISED NOVEMBER 21, 2001.

   F. TITLE COMMITMENT:
   BY: HILL-N-DALE ABSTRACTORS, INC.
   TITLE NUMBER: HN 59612 AMENDED
   DATED: NOVEMBER 15, 2017

   (EXCEPTIONS LISTED SEPARATELY)

2. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM NAD 83 AS ESTABLISHED THROUGH GPS METHODS.

3. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING AND LANDSCAPE ARCHITECTURE, D.P.C. FIELD WORK COMPLETED JUNE 2012 AND UPDATED IN NOVEMBER 2017.

4. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAPS ENTITLED "ORANGE COUNTY, NEW YORK, PANELS 139 OF 160 AND 330 OF 630, MAP NUMBERS 36071C0139E AND 36071C0330E, EFFECTIVE DATES AUGUST 3, 2009" THE PROJECT AREA LIES WITHIN ZONE X (UNSHADED), AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

5. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.

   ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.

   UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.

   (PLAN REFERENCED IN NOTE 1A)

6. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.

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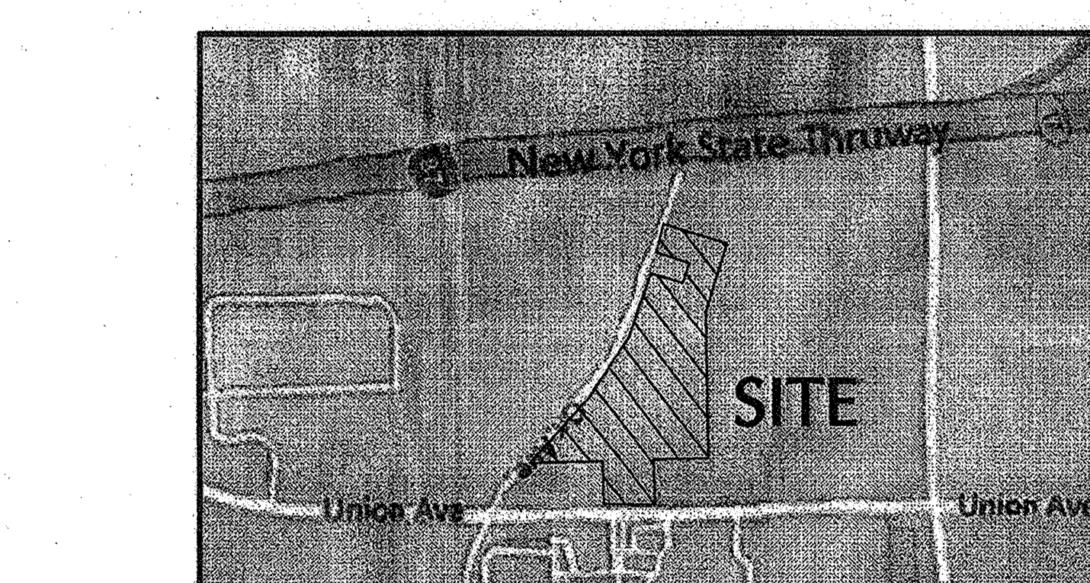

PROJECT LOCATION MAP

SCALE: N.T.S.

SOURCE:
MICROSOFT CORPORATION

EXCEPTIONS

1 — GRANTS, EASEMENTS, RIGHTS OF WAY:
LIBER 481 PAGE 311 (LOCATION UNKNOWN)
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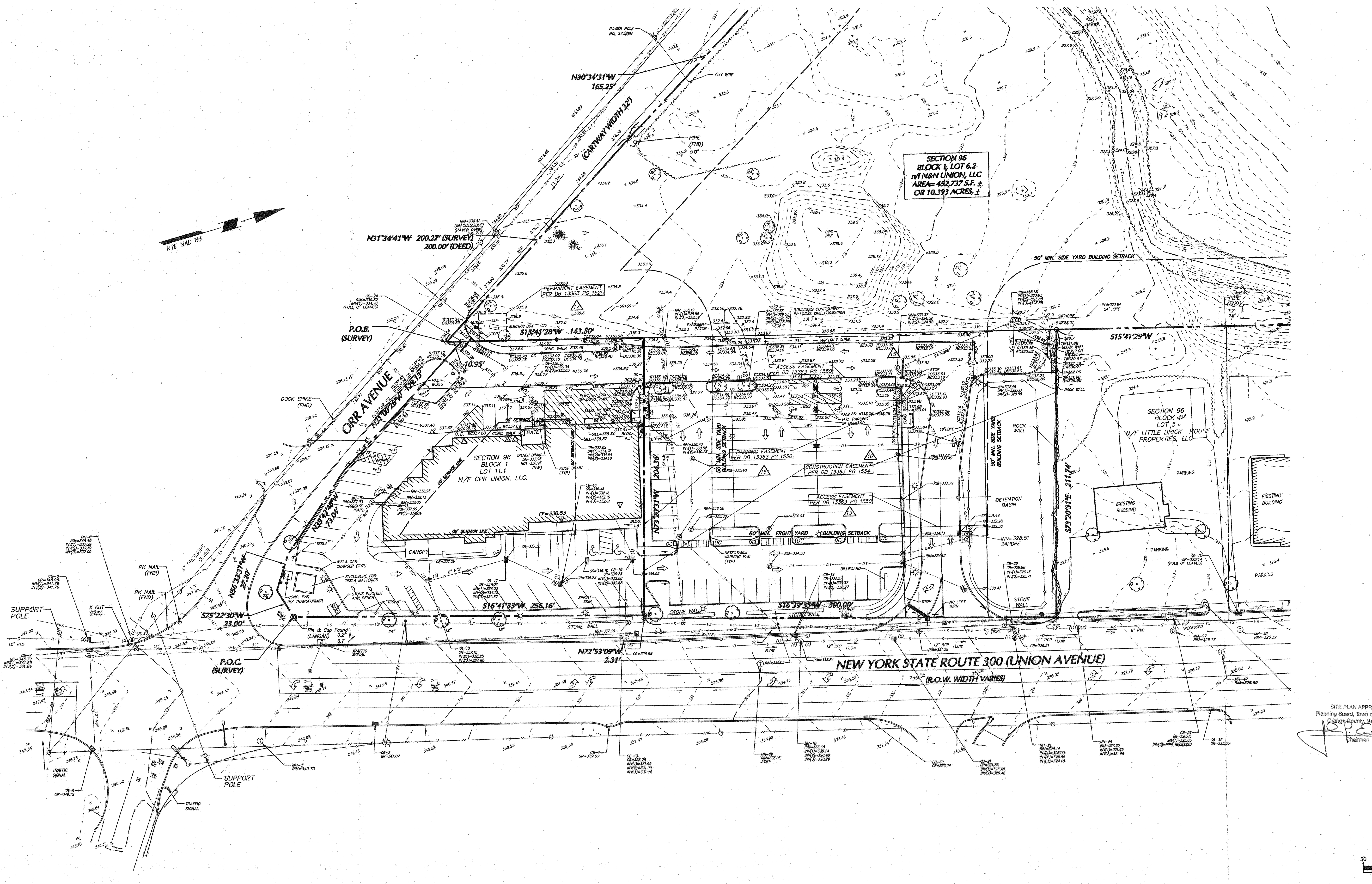

TABLE OF VESTING DEEDS

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SECTION 95, BLOCK 1, LOT 37.2	BOOK 13288 PAGE 247

Date	Description	No.
8/21/18	updated Topo and Wetland	3
7/17/18	Added Sheet - 2	2
12/06/17	Revised Labels Along Orr Ave.	1

REVISIONS

"I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with NYSPLS Code of Practice for Land Surveys, and to the best of my professional knowledge, information and belief, and in my professional opinion, accurately represents the conditions found on the date of the field survey of the subject property".

STATE OF NEW YORK · JOSEPH E. ROMANO · 050130-1 · LICENSED LAND SURVEYOR

[illegible] 8/21/18

SIGNATURE JOSEPH E. ROMANO DATE SIGNED
PROFESSIONAL LAND SURVEYOR
NY Lic. No. 050130-1

LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
[illegible] 2/4/2019
Chairman

Project
THE SHOPPES AT UNION SQUARE
SECTION 96, BLOCK 1, LOT 6.2
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
PARTIAL TOPOGRAPHIC SURVEY

30 0 15 30
SCALE IN FEET

Project No. 9133101	Drawing No. VB101
Date 12/1/2017	
Scale 1" = 30'	
Drawn By KEC/HBV · Checked By DRA	
Submission Date 07/17/2018	Sheet 2 of 2

LANGAN
SUBMISSION DATE: 07/17/2018
PROJECT NO. 9133101

Filename: \\langan.com\data\PAR\data1\009133113\Survey Data - 009133113\Carlson\Sheet Files\009133113-V-VB101.dwg Date: 8/21/2018 Time: 10:39 User: hvadalia Style Table: Langan.stb Layout: VB102

ZONING TABLE

Zone-IB (Interchange Business District)

Section 96, Block 1, Lots 6.2 & 11.1

Item	Required / Permitted	Proposed - Lot 96-1-11.1 (Cosimo's)		Proposed - Lots 96-1-6.2		Proposed - Overall Shopping Center	
Permitted Principal Uses	Shopping Center	–		–		Shopping Center	
Lot Requirements							
Minimum Lot Area (3)	5 acres	–		–		11.39 Ac.	C
Minimum Lot Width	150 ft	251 ft	C	300 ft	C	–	
Minimum Lot Depth	150 ft	202 ft	C	1,095 ft	C	–	
Yards Requirements							
Minimum Front Yard Setback (Route 300)	60 ft	55.7 ft *	V	207.5 ft	C	–	
Minimum Front Yard Setback (Orr Ave)	60 ft	36.5 ft *	V	61.2 ft	C	–	
Minimum Side Yard Setback (Lowe's)	50 ft	–		5.0 ft	V	–	
Minimum Side Yard Setback (Lot 35)	50 ft	–		40.3 ft	V	–	
Minimum Side Yard Setback (Cosimo's)	50 ft	0.0 ft	V	3.1 ft	V	–	
Minimum Rear Yard Setback	60 ft	60.2 ft	C	143.1 ft	C	–	
Building							
Maximum Building Height	40 ft	40 ft	C	40 ft	C	–	
Maximum Lot Coverage	30%	28.5%	C	19.1%	C	20.0%	C
Landscaping							
Maximum Lot Surface Coverage	80%	89.8%	V	64.0%	C	66.1%	C
Minimum Interior Landscaping	5%	–		–		7.7%	C
Minimum Parking Shade Trees	57	–		–		66	C
Signs							
Maximum Number Identification Signs	4	–		–		**	C
Maximum Identification Sign Area	3 sf	–		–		**	V
Maximum Freestanding Sign Height	40 ft	–		–		25 ft	C
Maximum Number Freestanding Signs	1 per lot	1	C	1	C	**	C
Sign Setback	15 ft	–		–		15 ft	C
Maximum Total Sign Area (4)	904 sf	–		–		±943 sf **	V

* - EXISTING CONDITIONS
** - SEE SIGNAGE SCHEDULE BELOW

C - COMPLIES
V - VARIANCE

VARIANCES PREVIOUSLY APPROVED FOR LOT 96-1-11.1 COSIMO'S (FORMERLY LOT 96-1-1.11):
1. Minimum Front Yard Setback (Route 300)= 55.7 ft
2. Minimum Front Yard Setback (Orr Ave)= 36.5 ft
3. Minimum Side Yard Setback (Cosimo's)= 0.0 ft
4. Maximum Lot Surface Coverage= 89.8%

VARIANCES PREVIOUSLY APPROVED FOR LOT 96-1-6.2 (FORMERLY LOTS 95-1-36 & 37.2 AND 96-1-6 THRU 9 (AMODEO)):
1. Minimum Side Yard Setback (Lowe's)= 5.0 ft
2. Minimum Side Yard Setback (Lot 35)= 40.3 ft

VARIANCES PREVIOUSLY APPROVED FOR OVERALL SHOPPING CENTER:
1. Maximum Identification Sign Area= 1333.5 sf
2. Maximum Total Sign Area = 1333.5 sf

PARKING REQUIREMENTS (1)

Section 96, Block 1, Lots 6.2 & 11.1

TENANTS SHOWN	SIZE (S.F.)	NUMBER OF SEATS	NUMBER EMPLOYEES	NUMBER OF PARKING SPACES REQUIRED	NUMBER OF PARKING SPACES PROPOSED
EXISTING					
Existing Building	12,263	110	N/A		
PROPOSED					
Supermarket	71,000	N/A	N/A		
Proposed Retail 'D'	10,040	N/A	N/A		
Proposed Retail 'E'	9,150	N/A	N/A		
Total	102,453			456	456
SHOPPING CENTER TOTAL				456	456

LOADING SPACE REQUIREMENTS (2)

TENANTS SHOWN	SIZE (S.F.)	NUMBER OF LOADING SPACES REQUIRED	NUMBER OF LOADING SPACES PROPOSED
EXISTING			
Existing Building	12,263	1	1
PROPOSED			
Supermarket	71,000	3	8
Proposed Retail 'D'	10,040	1	1
Proposed Retail 'E'	9,150	1	1
TOTALS		6	11

Notes:

(1) Shopping Center (> 25,000 square feet): 1 space per 225 square feet of gross leasable floor area.

(2) Loading space requirement based on floor area:
Under 25,000 square feet = 1 space
25,000 to 39,999 square feet = 2 spaces
>40,000 square feet = 1 additional space for each 40,000 square feet in addition to first 40,000 square feet

(3) Project site encompasses ±11.39 acres including the following parcels:
Section 96, Block 1, Lots 6.2 & 11.1

(4) The total area of all such signs on a lot shall not exceed 1/2 of the total length of street frontage of the lot in linear feet. See chart below for calculations.

Signage Schedule

Existing:

Location	Total S.F.
Cosimo's Building Signage	28 S.F.
Cosimo's Pylon Sign	86 S.F.
Sprint Building Signage	24 S.F.
Sprint Pylon	30 S.F.
Vitamin Shoppe East Elevation	81 S.F.
Vitamin Shoppe North Elevation	26 S.F.
Tenant Signage (location on Proposed Retail C Building)	14 S.F.

Proposed:

Location	Total S.F.
Retail 'D' and Retail 'E' (All building elevations combined.)	±250 S.F.
Supermarket East Elevation	159.3 S.F.
Supermarket North Elevation	50.25 S.F.
Supermarket South Elevation	50.25 S.F.
Main Pylon Sign (53 square feet per side)	106 S.F.
Directional Signage (located near Supermarket entrance from Lowes's)	35 S.F.
Identification Signage (located at Orr Avenue Entrnce to Cosimo's)	3 S.F.
Frontage	**1808 S.F.**
Square Footage Allowed:	**904 S.F.**
Total Square Footage:	**±943 S.F.**

NOTE: VARIANCE PREVIOUSLY APPROVED FOR TOTAL PROPOSED SIGN SQUARE FOOTAGE OF 1333.5 SF, WHICH IS GREATER THAN ± 943 S.F. PROPOSED

LEGEND

PROPERTY LINE	▬ ▬ ▬
PROPOSED BUILDING LINE	▬
CURB	═
PARKING COUNT	⑦ OR 81
PROPOSED RAMP	⏢ OR →
CONCRETE PAVEMENT	▨
PROPOSED PAVEMENT MARKINGS	➡
TRAFFIC DIRECTION HOLLOW ARROWS (FOR INFOMRATIONAL PURPOSE ONLY) DO NOT PAINT	⇨
BENCH	▭
FENCE	—×—×—
PROPOSED BUILDING ENTRANCE	▼
GUIDERAIL	·—·—·
MODULAR BLOCK RETAINING WALL WITH FENCE	▨

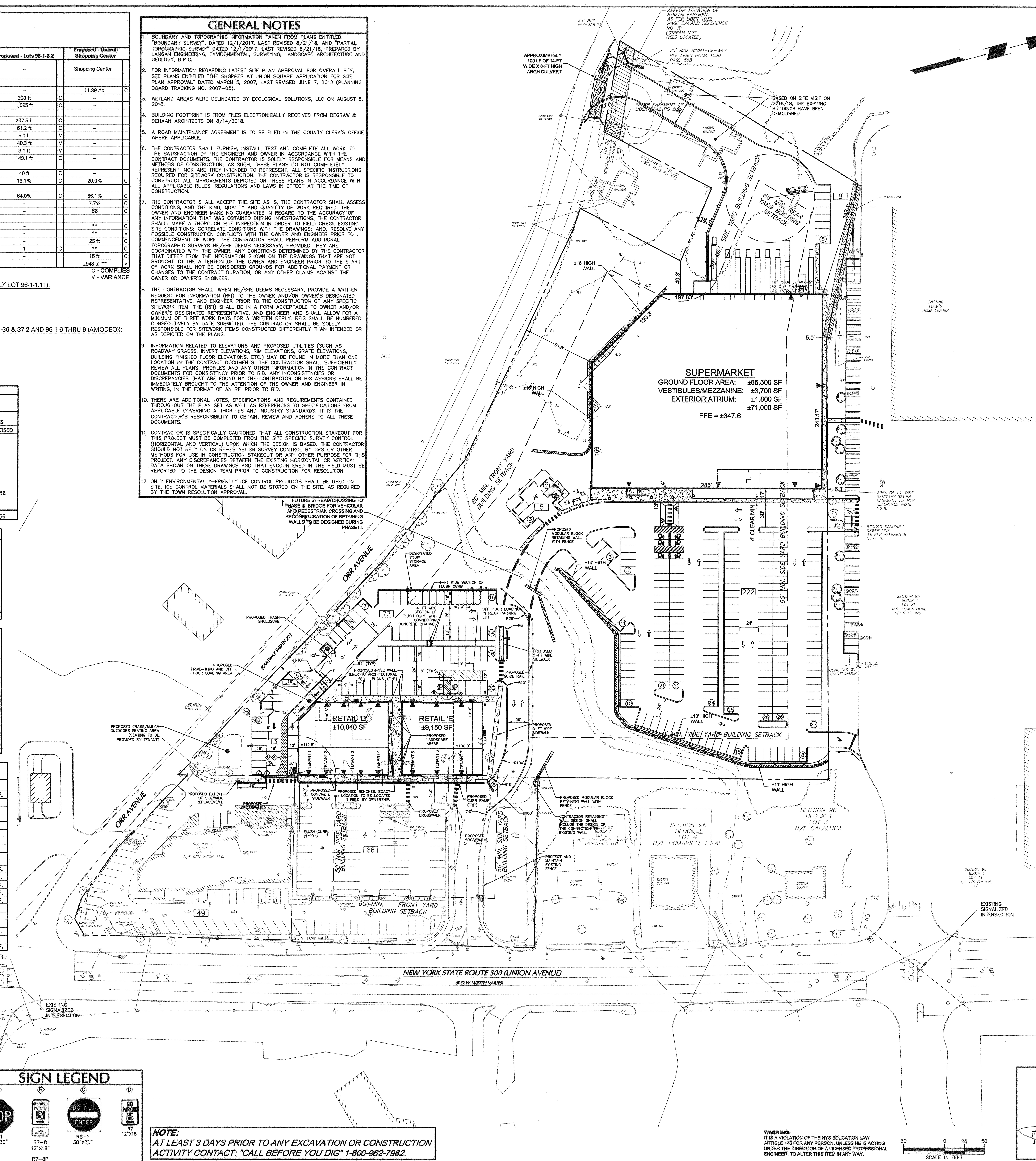
SIGN LEGEND

Ⓐ	Ⓑ	Ⓒ	Ⓓ
STOP	RESERVED PARKING / VAN ACCESSIBLE	DO NOT ENTER	NO PARKING ANY TIME
R1–1 30"X30"	R7–8 12"X18" / R7–8P 18" X 9"	R5–1 30"X30"	R7 12"X18"

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "BOUNDARY SURVEY", DATED 12/1/2017, LAST REVISED 8/21/18, AND "PARTIAL TOPOGRAPHIC SURVEY" DATED 12/1/2017, LAST REVISED 8/21/18, PREPARED BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.
2. FOR INFORMATION REGARDING LATEST SITE PLAN APPROVAL FOR OVERALL SITE, SEE PLANS ENTITLED "THE SHOPPES AT UNION SQUARE APPLICATION FOR SITE PLAN APPROVAL" DATED MARCH 5, 2007, LAST REVISED JUNE 7, 2012 (PLANNING BOARD TRACKING NO. 2007–05).
3. WETLAND AREAS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON AUGUST 8, 2018.
4. BUILDING FOOTPRINT IS FROM FILES ELECTRONICALLY RECEIVED FROM DEGRAW & DEHAAN ARCHITECTS ON 8/14/2018.
5. A ROAD MAINTENANCE AGREEMENT IS TO BE FILED IN THE COUNTY CLERK'S OFFICE WHERE APPLICABLE.
6. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
7. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
8. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
9. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
10. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
11. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE–ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
12. ONLY ENVIRONMENTALLY–FRIENDLY ICE CONTROL PRODUCTS SHALL BE USED ON SITE. ICE CONTROL MATERIALS SHALL NOT BE STORED ON THE SITE, AS REQUIRED BY THE TOWN RESOLUTION APPROVAL.



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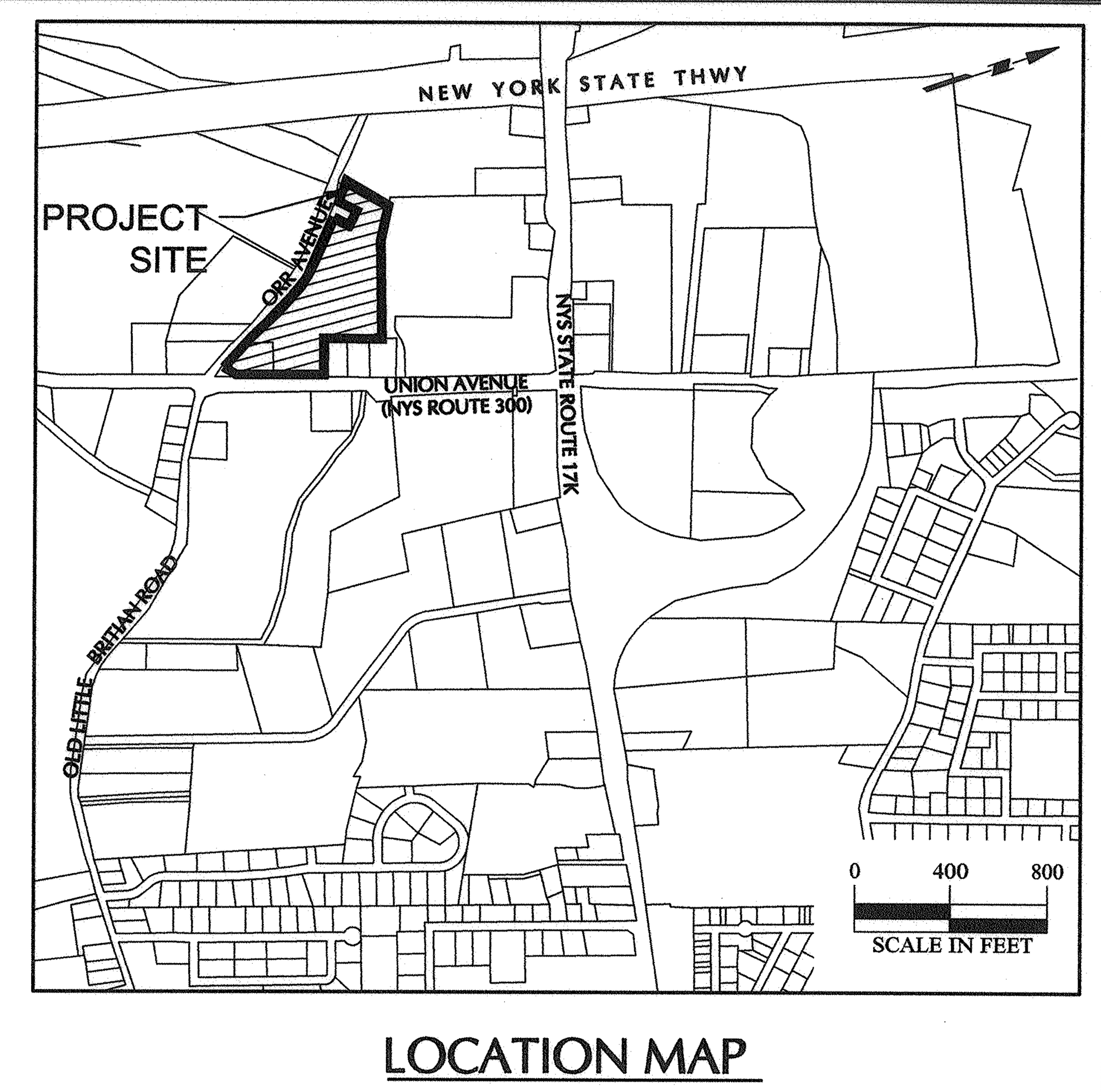
SCALE IN FEET



LOCATION MAP

SCALE: 1" = 800'

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

[illegible] 2/4/2019
PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTYN
DATE

Date	Description	No.
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Revisions

STATE OF NEW YORK · BRYAN MARTIN WAISNOR · 080661-1 · LICENSED PROFESSIONAL ENGINEER
[illegible] DEC 0 6 2018
BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661–1

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Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
OVERALL SITE PLAN

Project No. 9133101	Drawing No.
Date July 18, 2018	20.01
Scale 1"=50'	
Drn. By AEB	

GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "BOUNDARY SURVEY", DATED 12/1/2017, LAST REVISED 8/21/18, AND "PARTIAL TOPOGRAPHIC SURVEY" DATED 12/1/2017, LAST REVISED 8/21/18, PREPARED BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.
2. FOR INFORMATION REGARDING LATEST SITE PLAN APPROVAL FOR OVERALL SITE, SEE PLANS ENTITLED "THE SHOPPES AT UNION SQUARE APPLICATION FOR SITE PLAN APPROVAL" DATED MARCH 5, 2007, LAST REVISED JUNE 7, 2012 (PLANNING BOARD TRACKING NO. 2007-05).
3. WETLAND AREAS WERE DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON AUGUST 8, 2018.
4. BUILDING FOOTPRINT IS FROM FILES ELECTRONICALLY RECEIVED FROM DEGRAW & DEHAAN ARCHITECTS ON 8/14/2018.
5. A ROAD MAINTENANCE AGREEMENT IS TO BE FILED IN THE COUNTY CLERK'S OFFICE WHERE APPLICABLE.
6. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
7. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
8. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
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12. ONLY ENVIRONMENTALLY-FRIENDLY ICE CONTROL PRODUCTS SHALL BE USED ON SITE. ICE CONTROL MATERIALS SHALL NOT BE STORED ON THE SITE, AS REQUIRED BY THE TOWN RESOLUTION APPROVAL.

LIMITS OF WORK NOTES

1. ADJACENT ONSITE FACILITIES ARE OPEN AND OPERATING. NEGATIVE IMPACTS ON THE OPERATIONS OF ANY OF THESE FACILITIES STEMMING FROM THESE CONSTRUCTION ACTIVITIES ARE NOT ACCEPTABLE. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVES TO RECEIVE WRITTEN PERMISSION TO PROCEED WITH ANY CONSTRUCTION ACTIVITY AFFECTING THESE FACILITIES, LOADING AREAS, PARKING AREAS OR TRAFFIC CIRCULATION PRIOR TO IMPLEMENTATION.
2. THE CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS FOR PUBLIC VEHICLES AND PEDESTRIANS ADJACENT TO THE CONSTRUCTION ACTIVITIES.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND PROPOSED BUILDINGS AND APPURTENANCES.
5. APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO STRUCTURAL DRAWINGS), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STOOPS, CONCRETE APRONS, TRANSFORMER PAD, ETC.

DIVISION OF WORK WITHIN BUILDING WORK LIMITS

WITHIN BUILDING WORK LIMITS, THE SITE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:

1. PREPARATION OF A "FINAL PAD" FOR THE BUILDING FOOTPRINT. THIS PAD SHALL BE PREPARED TO A FINISHED ELEVATION OF 9 INCHES BELOW FINISHED FLOOR ELEVATION.
2. PREPARATION OF SUBGRADE FOR EXTERIOR SLABS, WALKS, GARAGE LOWER LEVEL, RAMPS ETC.
3. DISPOSAL/DISPERSION OF FOUNDATION EXCAVATION SPOILS STOCKPILED BY THE BUILDING CONTRACTOR.
4. UTILITY SERVICES TO BE BROUGHT TO THE BUILDING WORK LIMITS LINE (5-FT FROM BUILDING FACE). PIPE REDUCERS TO BE PROVIDED AT POINT OF CONNECTION AS NECESSARY.
5. STORMWATER CONNECTIONS TO THE BUILDING TO BE BROUGHT TO THE BUILDING WORK LIMITS LINE (5-FT FROM BUILDING FACE). PIPE SIZE REDUCERS TO BE PROVIDED AS NECESSARY.
6. COORDINATION WITH OTHER CONTRACTORS REGARDING WORK WITHIN THE BUILDING WORK LIMITS.

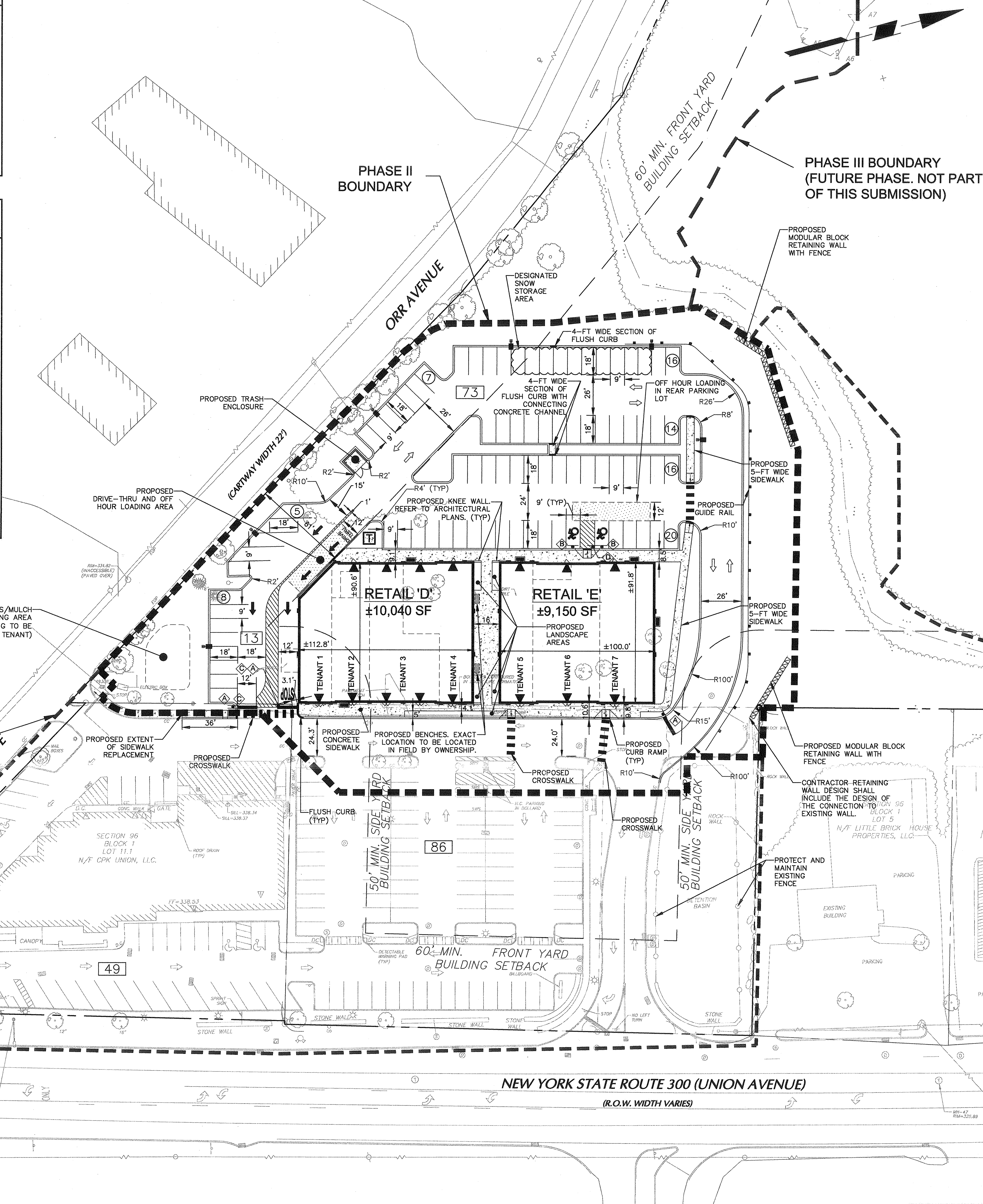
WORK BY OTHERS WITHIN THE BUILDING WORK LIMITS WILL INCLUDE:

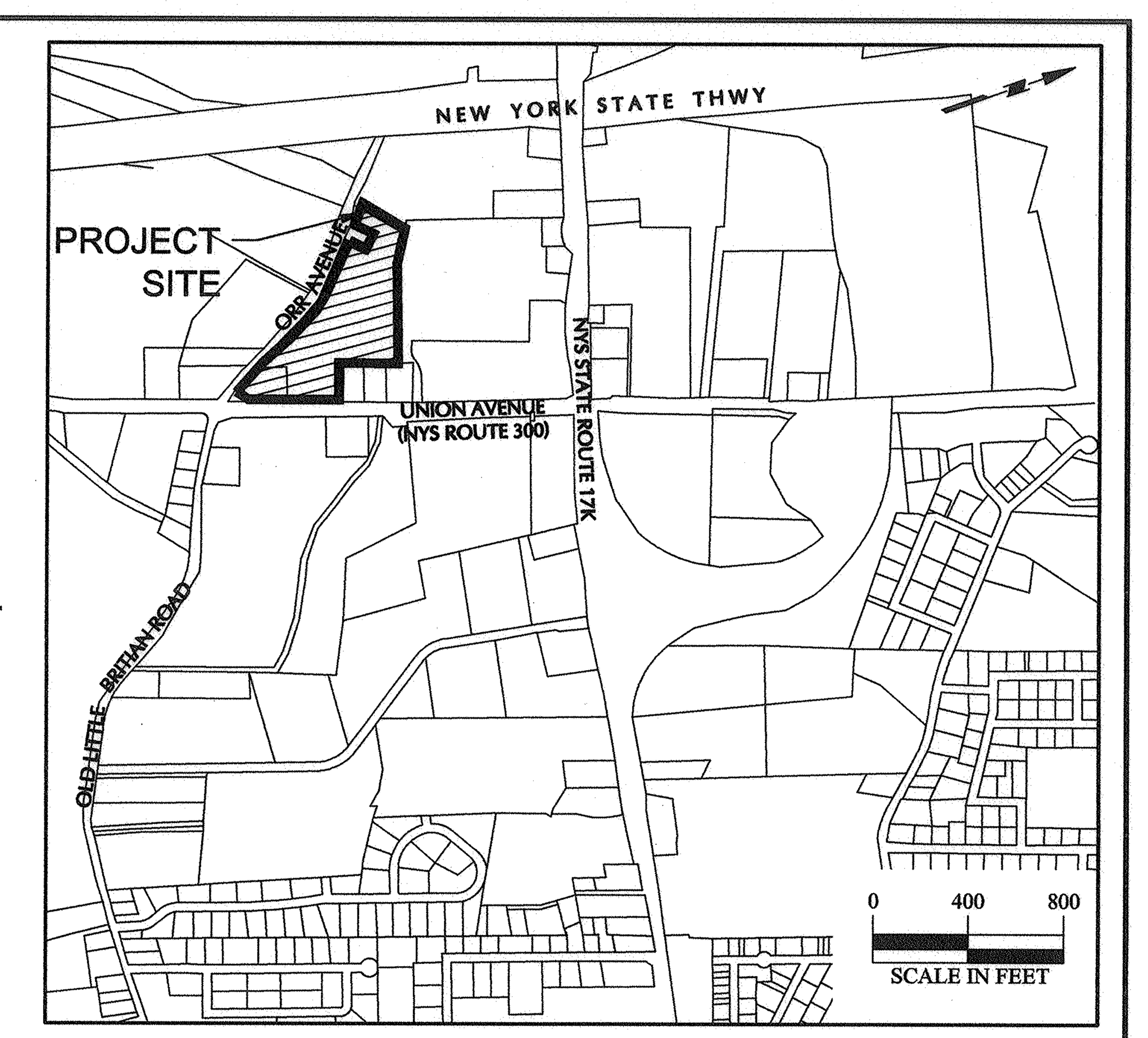
1. BUILDING CONSTRUCTION.
2. SIDEWALKS, SIGNAGE, BOLLARDS, ETC. ADJACENT TO THE BUILDING.
3. STOCKPILING OF FOUNDATION EXCAVATION SPOILS IN ONE AREA FOR DISPOSAL BY THE SITEWORK CONTRACTOR.
4. COORDINATION WITH SITE CONTRACTOR.
5. BACKFILL AND COMPACT AREA ADJACENT TO THE BUILDING IN PROPOSED ASPHALT AREAS FOR STONING AND PAVING BY SITE CONTRACTOR.
6. CONNECTION OF UTILITIES AND STORMWATER DRAINAGE BETWEEN BUILDING AND POINT OF CONNECTION AS PROVIDED BY SITE CONTRACTOR. REFER TO UTILITY AND DRAINAGE PLANS.
7. SITE GREASE TRAP AND PIPING BY BUILDING CONTRACTOR.
8. BACKFLOW PREVENTION, INCLUDING ANY REQUIRED VAULTS EXTERIOR TO THE BUILDING, TRANSFORMERS, AND GAS METERS BY BUILDING CONTRACTOR.

BUILDING SUMMARY PHASE I+II	
TENANTS SHOWN	SIZE (S.F.)
EXISTING	
Existing Building	12,263
Total	12,263
PROPOSED	
Proposed Retail 'D'	10,040
Proposed Retail 'E'	9,150
Total	19,190
Overall Total	31,453
PARKING SUMMARY	
REQUIRED: 140 SPACES*	
PROPOSED: 221 SPACES	

* At 1 space per 225 sf of GLA for overall shopping center

SIGNAGE SUMMARY PHASE II	
	SIZE (S.F.)
PROPOSED	
Proposed Retail 'D' & Retail 'E' (Combined on all Elevations)	±250
PREVIOUSLY APPROVED	
Staples (Combined on all Elevations)	640.7





LOCATION MAP
SCALE: 1" = 800'

LEGEND

PROPERTY LINE	— — - - — —
PROPOSED BUILDING LINE	━━━
CURB	═══
PARKING COUNT	⑦ OR 81
PROPOSED RAMP	⏢ OR →
CONCRETE PAVEMENT	▨
PROPOSED PAVEMENT MARKINGS	➡
TRAFFIC DIRECTION HOLLOW ARROWS (FOR INFOMRATIONAL PURPOSE ONLY) DO NOT PAINT	⇨
BENCH	▭
FENCE	—×—×—
PROPOSED BUILDING ENTRANCE	▼
GUIDE RAIL	·—·—·
MODULAR BLOCK RETAINING WALL WITH FENCE	▨

SIGN LEGEND

A	B	C	D
STOP	RESERVED PARKING / VAN ACCESSIBLE	DO NOT ENTER	NO PARKING ANY TIME
R1-1 30"X30"	R7-8 12"X18" R7-8P 18" X 9"	R5-1 30"X30"	R7 12"X18"

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

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SCALE IN FEET

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

[illegible] 2/4/2019
PLANNING BOARD CHAIRPERSON DATE
JOHN P. EWASUTYN

Date	Description	No.
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8/31/2018	ADDED ENLARGEMENTS FOR DETAILED GRADING	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

STATE OF NEW YORK · BRYAN MARTIN WAISNOR · PROFESSIONAL ENGINEER
[illegible] DEC 0 6 2018
BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661-1

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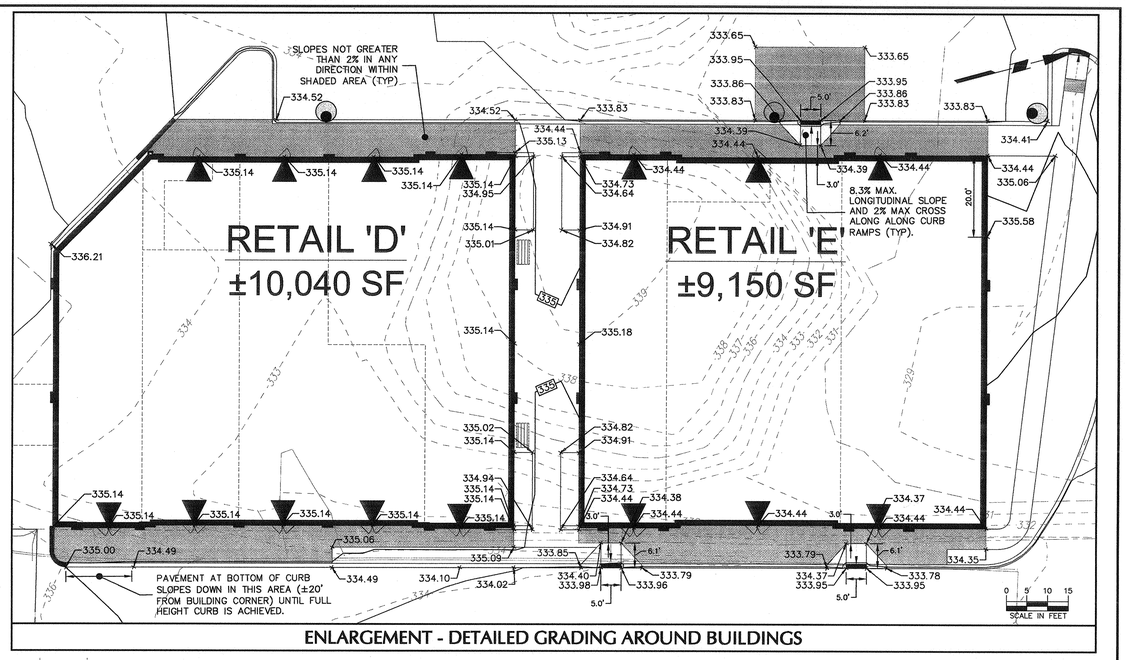
Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
SITE PLAN
PHASE II

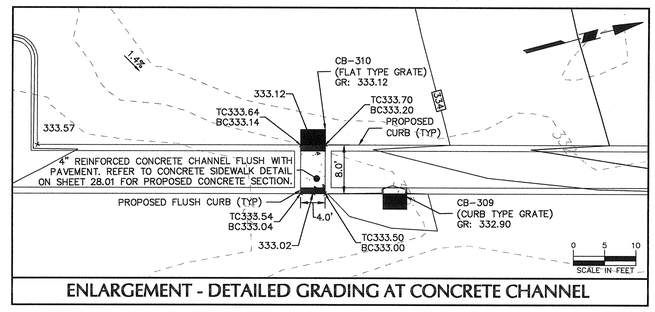
Project No.	9133101	Drawing No.
Date	July 18, 2018	20.03
Scale	1"=30'	
Drn. By	AEB	

GRADING AND DRAINAGE NOTES

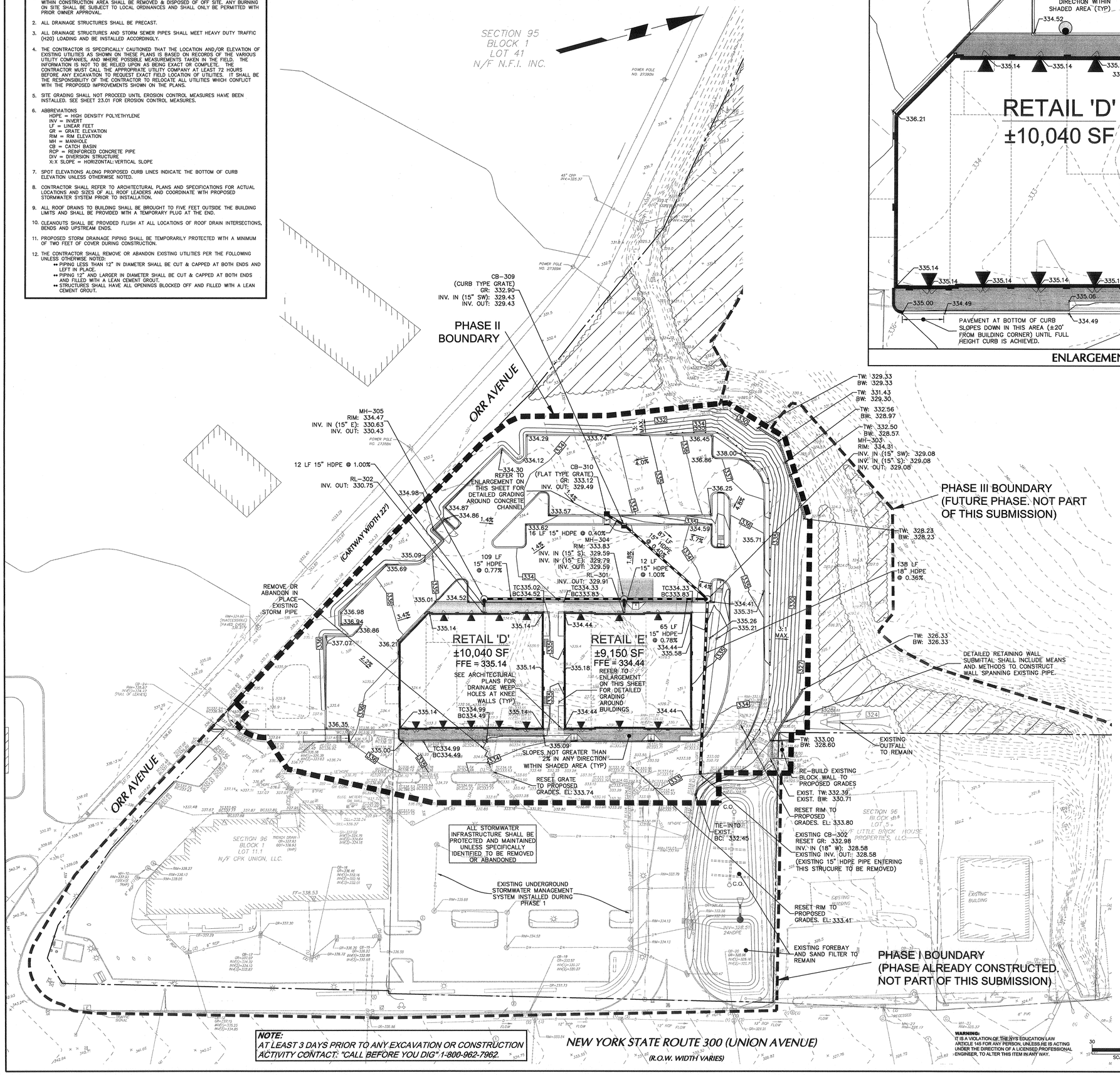
1. ALL EXISTING STRUCTURES, (UNLESS OTHERWISE NOTED TO REMAIN,) FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND SHALL ONLY BE PERMITTED WITH PRIOR OWNER APPROVAL.
2. ALL DRAINAGE STRUCTURES SHALL BE PRECAST.
3. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE SHEET 23.01 FOR EROSION CONTROL MEASURES.
6. ABBREVIATIONS
   HDPE = HIGH DENSITY POLYETHYLENE
   INV = INVERT
   LF = LINEAR FEET
   GR = GRATE ELEVATION
   RIM = RIM ELEVATION
   MH = MANHOLE
   CB = CATCH BASIN
   RCP = REINFORCED CONCRETE PIPE
   DIV = DIVERSION STRUCTURE
   X:X SLOPE = HORIZONTAL:VERTICAL SLOPE
7. SPOT ELEVATIONS ALONG PROPOSED CURB LINES INDICATE THE BOTTOM OF CURB ELEVATION UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS AND SIZES OF ALL ROOF LEADERS AND COORDINATE WITH PROPOSED STORMWATER SYSTEM PRIOR TO INSTALLATION.
9. ALL ROOF DRAINS TO BUILDING SHALL BE BROUGHT TO FIVE FEET OUTSIDE THE BUILDING LIMITS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.
10. CLEANOUTS SHALL BE PROVIDED FLUSH AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
11. PROPOSED STORM DRAINAGE PIPING SHALL BE TEMPORARILY PROTECTED WITH A MINIMUM OF TWO FEET OF COVER DURING CONSTRUCTION.
12. THE CONTRACTOR SHALL REMOVE OR ABANDON EXISTING UTILITIES PER THE FOLLOWING UNLESS OTHERWISE NOTED:
    - PIPING LESS THAN 12" IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND LEFT IN PLACE.
    - PIPING 12" AND LARGER IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND FILLED WITH A LEAN CEMENT GROUT.
    - STRUCTURES SHALL HAVE ALL OPENINGS BLOCKED OFF AND FILLED WITH A LEAN CEMENT GROUT.



ENLARGEMENT - DETAILED GRADING AROUND BUILDINGS



ENLARGEMENT - DETAILED GRADING AT CONCRETE CHANNEL



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PLANNING BOARD CHAIRPERSON
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Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY **NEW YORK**

Drawing Title
GRADING AND DRAINAGE PLAN PHASE II

Project No. 9133101	Drawing No. 21.03
Date July 18, 2018	
Scale 1"=30'	
Drn. By AEB	

Filename: \\langan.com\data\PAR\data1\9133101\Cadd Data – 9133101\Dwg\9133101 2102 – Phase 2.dwg Date: 8/31/2018 Time: 8:44 User: aberl Style Table: Langan.stb Layout: 21.03

TOWN OF NEWBURGH NOTES
WATER SYSTEM NOTES

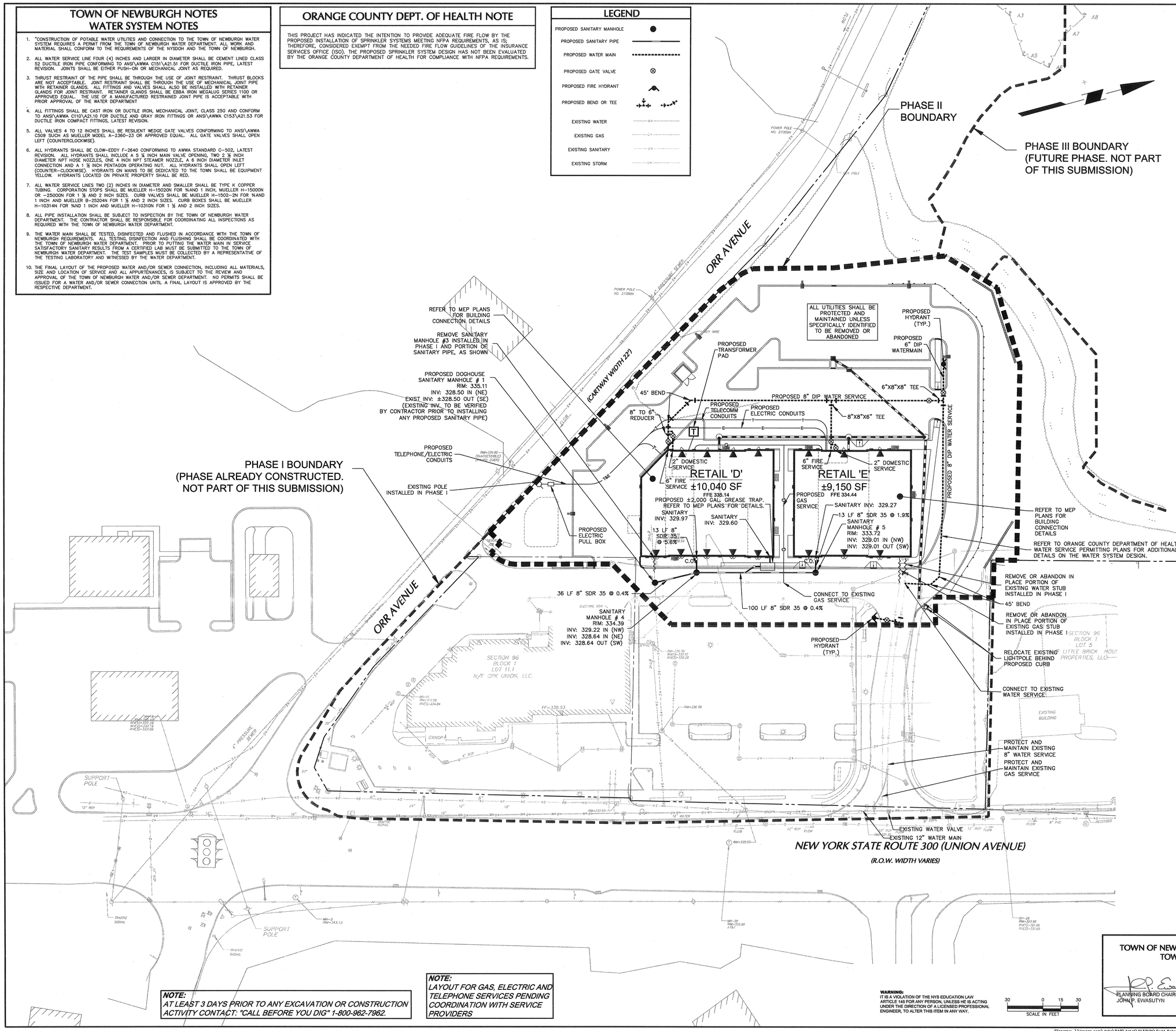
1. "CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH.
2. ALL WATER SERVICE LINE FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI\AWWA C151\A21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
3. THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT
4. ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI\AWWA C110\A21.10 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI\AWWA C153\A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
5. ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI\AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
6. ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 ¼ INCH MAIN VALVE OPENING, TWO 2 ½ INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 ½ INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
7. ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR ¾AND 1 INCH, MUELLER H-15000N OR -2500ON FOR 1 ½ AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR ¾AND 1 INCH AND MUELLER B-25204N FOR 1 ½ AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR ¾ND 1 INCH AND MUELLER H-10310N FOR 1 ½ AND 2 INCH SIZES.
8. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
9. THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
10. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

ORANGE COUNTY DEPT. OF HEALTH NOTE

THIS PROJECT HAS INDICATED THE INTENTION TO PROVIDE ADEQUATE FIRE FLOW BY THE PROPOSED INSTALLATION OF SPRINKLER SYSTEMS MEETING NFPA REQUIREMENTS, AS IS; THEREFORE, CONSIDERED EXEMPT FROM THE NEEDED FIRE FLOW GUIDELINES OF THE INSURANCE SERVICES OFFICE (ISO). THE PROPOSED SPRINKLER SYSTEM DESIGN HAS NOT BEEN EVALUATED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH FOR COMPLIANCE WITH NFPA REQUIREMENTS.

LEGEND

- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY PIPE
- PROPOSED WATER MAIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED BEND OR TEE
- EXISTING WATER
- EXISTING GAS
- EXISTING SANITARY
- EXISTING STORM



NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

NOTE:
LAYOUT FOR GAS, ELECTRIC AND TELEPHONE SERVICES PENDING COORDINATION WITH SERVICE PROVIDERS

UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
3. ALL REQUIRED UTILITIES (UNLESS OTHERWISE NOTED) SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING UTILITY ENTRANCE LOCATION AT THE INVERTS NOTED. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
4. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND OR AS DICTATED BY SERVICE PROVIDERS.
5. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
7. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
8. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
9. PRESSURE AND LEAKAGE TEST SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
10. DISINFECTION OF ALL NEW WATER MAINS SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 (YEAR OF LATEST REVISIONS) TO MEET OCDOH REQUIREMENTS. REFER TO TOWN OF NEWBURGH NOTES FOR ADDITIONAL LOCAL TESTING/DISINFECTION/INSPECTION REQUIREMENTS.
11. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF DOMESTIC AND FIRE SERVICE ENTRANCES.
12. ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATIONS IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE JURISDICTIONAL AUTHORITY. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERAL ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (I.E., DUCTILE IRON OR REINFORCED CONCRETE PIPE), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
13. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4'-6" FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION AND A MAXIMUM COVER OF 6'-0".
14. THE CONTRACTOR SHALL REMOVE OR ABANDON EXISTING UTILITIES PER THE FOLLOWING UNLESS OTHERWISE NOTED:
    - PIPING LESS THAN 12" IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND LEFT IN PLACE.
    - PIPING 12" AND LARGER IN DIAMETER SHALL BE CUT & CAPPED AT BOTH ENDS AND FILLED WITH A LEAN CEMENT GROUT.
    - STRUCTURES SHALL HAVE ALL OPENINGS BLOCKED OFF AND FILLED WITH A LEAN CEMENT GROUT.
15. CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THEN NYSDOH AND THE TOWN OF NEWBURGH.
16. CONSTRUCTION OF SANITARY SEWER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FORM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF "AS-BUILT" RECORD DRAWINGS OF THE SEWER SYSTEM. SUBMITTAL OF THESE DRAWINGS IS A CONDITION OF DEDICATION AND RELEASE OF THE PERFORMANCE SECURITY.
18. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
19. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
20. THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.

TELEPHONE NOTES:

1. ALL UNDERGROUND TELEPHONE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE TELEPHONE COMPANY.
2. TELEPHONE CONDUIT SHALL BE SCH. 40 PVC OR AS REQUIRED BY THE TELEPHONE COMPANY.
3. MINIMUM TELEPHONE CONDUIT BURIAL DEPTH SHALL BE TWO FEET, OR GREATER IF REQUIRED BY THE TELEPHONE COMPANY.
4. BUILDING CONTRACTOR SHALL ROUTE TELEPHONE SERVICE INSIDE OF THE BUILDING TO ONE COMMON FOR CONNECTION TO THE SITE TELEPHONE CONDUIT AS SHOWN ON THE PLANS.

ELECTRICAL SERVICE NOTES:

1. ALL UNDERGROUND ELECTRICAL SERVICE RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE ELECTRIC COMPANY.
2. ELECTRICAL CONDUIT SHALL BE SCH. 80 PVC OR AS REQUIRED BY THE ELECTRIC COMPANY.
3. MINIMUM ELECTRICAL CONDUIT BURIAL DEPTH SHALL BE THREE FEET, OR GREATER IF REQUIRED BY THE ELECTRIC COMPANY.
4. PROVIDE (2) 4"SCHEDULE 80 PLASTIC ELECTRIC CONDUITS FOR PRIMARTY ELECTRIC FEED.
5. CENTRAL HUDSON REQUIRES PRECAST MANHOLES 12' X 7' X 7' FOR TRANSFORMERS AND SWITCH.

GAS NOTES:

1. ALL UNDERGROUND GAS RELATED INSTALLATIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE GAS COMPANY.
2. GAS PIPING (SIZE AND MATERIAL) SHALL BE AS REQUIRED BY THE GAS COMPANY.
3. MINIMUM GAS PIPING BURIAL DEPTH SHALL BE THREE FEET OR AS REQUIRED BY THE GAS COMPANY.

No.	Revisions	Date
2.	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	12/6/2018
1.	REVISED PER TOWN COMMENTS	8/22/2018

STATE OF NEW YORK — BRYAN MARK WAISNOR — 080661 — LICENSED PROFESSIONAL ENGINEER

DEC 0 6 2018

BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661-1

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NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
UTILITY PLAN

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

PLANNING BOARD CHAIRPERSON JOHN P. EWASUTYN — DATE 2/4/2019

WARNING:
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SCALE IN FEET

Project No. 9133101	Drawing No. 22.01
Date July 18, 2018	
Scale 1"=30'	
Drn. By AEB	

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SEDIMENT AND EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCING

1. CONSTRUCT STABILIZED CONSTRUCTION ACCESSES WHERE SHOWN ON THE PLAN. STAKE AND DELINEATE LIMITS OF DISTURBANCE AS SHOWN ON PLAN.
2. INSTALL ALL SOIL EROSION CONTROL MEASURES AS SHOWN PRIOR TO ANY LAND DEVELOPMENT ACTIVITIES. INSTALL SEDIMENT BARRIERS/SWALES/DITCHES/DIKES AT DOWN SLOPE AREAS FROM ALL PROPOSED GRADING OPERATIONS.
3. LAND DISTURBANCE SHALL BE LIMITED TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT. NO MORE THAN FIVE (5) ACRES OF UNPROTECTED SOIL SHALL BE DISTURBED AT ONE TIME WITHOUT NYSDEC CONSENT. PREVIOUS EARTHWORK SHALL BE STABILIZED AS SPECIFIED BEFORE ADDITIONAL AREA IS EXPOSED.
4. PROTECT ALL TREES WHICH ARE TO REMAIN AND WHICH ARE IN OR NEAR CONSTRUCTION AREAS AS DIRECTED IN THE FIELD WITH PLANKING PLACED AROUND THE TREE TRUNK. PLACE SNOW FENCING AT THE DRIP LINE SURROUNDING TREES, IF POSSIBLE, OR TO MAINTAIN A MINIMUM DIAMETER OF 10 FEET AROUND TREES. WHERE FENCING MUST BE PLACED CLOSER THAN THE DRIP LINE, PLACE 4 INCHES OF WOOD CHIPS OVER ROOT ZONE TO EXTEND TO THE DRIP LINE. MAINTAIN THIS WOOD CHIP PROTECTION FOR THE DURATION OF CONSTRUCTION. WOODED AREAS TO BE PROTECTED BY INSTALLING TREE PROTECTION FENCING ALONG THE DISTURBANCE LIMIT LINE PRIOR TO CONSTRUCTION. ALL TREE PROTECTION FENCING TO BE MAINTAINED IN GOOD CONDITION UNTIL COMPLETION OF ALL CONSTRUCTION OPERATIONS. EXISTING VEGETATION IS TO BE MAINTAINED WHEREVER POSSIBLE.
5. INSTALL TEMPORARY SWALES AND TEMPORARY SEDIMENT BASINS.
6. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, THEN STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYEGRASS COVER AS SPECIFIED BELOW (SEE NOTE 12), AND ERECT A SILT FENCE AROUND THE STOCKPILE.
7. INITIAL CONSTRUCTION OF RETAINING WALLS AND STORM DRAINAGE SYSTEM. INSTALL UTILITIES/ SLEEVES UNDER THE WALLS PRIOR TO WALL CONSTRUCTION.
8. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
9. INSTALL SEDIMENT BARRIERS AROUND ALL STORM DRAIN INLETS AS THEY ARE INSTALLED, OR MODIFY SEDIMENT CONTROL MEASURES INSTALLED IN #2 ABOVE AND MAINTAIN UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION AND ALL PAVEMENTS ARE PAVED WITH A BASE COURSE.
10. INITIATE INSTALLATION OF UTILITIES, FOUNDATIONS AND BUILDINGS.
11. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
    - A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
    - B. SEED WITH 6 LB. PER ACRE PERENNIAL OR ANNUAL RYEGRASS.
    - C. MULCH WITH 100–200 BALES PER ACRE OF BLOWN AND CHOPPED HAY BOUND IN PLACE WITH 2000 LB. PER ACRE CELLULOSE FIBER MULCH, AND WITH AN APPROVED TACKIFIER BINDER.
12. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY. ALL SLOPES STEEPER THAN ONE ON THREE (V/H) AND PERIMETER TRENCHES AND TRAP EMBANKMENTS SHALL, ON COMPLETION, BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.
13. INSTALL CURBS, CURBED ISLANDS AND COMPLETE FINAL GRADING OF AREAS TO BE PAVED.
14. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS FOLLOWS (SEE LANDSCAPE PLAN FOR OTHER PLANTING INFORMATION):
    - A. A MINIMUM OF 6" OF TOPSOIL SHOULD BE SPREAD ON ALL DISTURBED AREAS.
    - B. LIME TOPSOIL TO pH 6.0.
    - C. FERTILIZE WITH 20 LB. PER 1000 SQ. FT. OF 5–10–10, 50% WATER SOLUBLE NITROGEN FERTILIZER.
    - D. SEED WITH 5 LB. PER 1000 SQ. FT. OF THE FOLLOWING MIXTURE, OR OTHER MIXTURE APPROVED BY THE LANDSCAPE ARCHITECT: 40% JAMESTOWN CHEWINGS FESCUE, 40% BARON KENTUCKY BLUEGRASS AND 20% YORKTOWN PERENNIAL RYEGRASS.
    - E. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 12 ABOVE).
    - F FERTILIZE 4 WEEKS AFTER GERMINATION WITH 10 LB. 20–10–10 FERTILIZER PER 1000 SQ. FT.
15. COMPLETION OF ALL SITE AND OFF–SITE IMPROVEMENTS.
16. DURING THE PROGRESS OF CONSTRUCTION, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED UP WITH SEDIMENT.
17. AFTER PAVEMENTS ARE INSTALLED AND PERMANENT VEGETATIVE COVER AND PLANTINGS ARE ESTABLISHED, REMOVE SEDIMENT BARRIERS AND SEED THE DISTURBED AREAS. UPON PERMANENT STABILIZATION THE STORMWATER DETENTION SYSTEMS MUST BE CLEANED OF SEDIMENT AND THEN THE WEIRS AND INLETS TO THE WATER QUALITY SAND FILTERS SHOULD BE UNBLOCKED.
18. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
19. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, TO DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
20. DURING CONSTRUCTION, ALL STRUCTURES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RAIN. REMOVE ACCUMULATED SEDIMENT AND STOCKPILE AND STABILIZE IN AN AREA NOT SUBJECT TO FURTHER EROSION.
21. AFTER CONSTRUCTION IS COMPLETED, PERMANENT SEDIMENT OR EROSION CONTROL STRUCTURES SHOULD BE INSPECTED AT LEAST SEMIANNUALLY AND AFTER EVERY RAIN.
22. NO STOCKPILE SHALL REMAIN OF MATERIALS THAT WILL NOT BE USED IN FUTURE ON–SITE CONSTRUCTION ACTIVITIES.
23. IF NECESSARY TO STOCKPILE UNSIGHTLY MATERIALS, A LOCATION FOR THESE STOCKPILES SHOULD BE SELECTED THAT IS SCREENED BY TOPOGRAPHY, LOCATION, AND/OR VEGETATION.
24. THE APPLICANT SHALL BE RESPONSIBLE FOR DIRECTING AND MAINTAINING ALL STORMWATER RUNOFF FROM DISTURBED AREAS TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

PHASE II BOUNDARY

EXISTING VEGETATION TO REMAIN

PHASE III BOUNDARY (FUTURE PHASE. NOT PART OF THIS SUBMISSION)

ORR AVENUE

EXISTING TREE TO BE PROTECTED

EXISTING TREE TO BE PROTECTED

(CARTWAY WIDTH 22')

LANDLOK CS2 OR EQUIVALENT EROSION CONTROL MATTING (HATCHED AREA) FOR AREAS SLOPED AT 3:1 (TYP.)

TEMPORARY SOIL STOCK–PILE LOCATION DURING PHASE II

CONSTRUCT TEMPORARY SWALE WITH CHECK DAMS TO DIRECT RUNOFF TO THE PROPOSED TEMPORARY SEDIMENT TRAP. (TYP.)

PHASE II TEMPORARY CONSTRUCTION ACCESS (SEE DETAIL.)

EXISTING TREE TO BE PROTECTED

PHASE I BOUNDARY (PHASE ALREADY CONSTRUCTED. NOT PART OF THIS SUBMISSION)

PHASE II CONSTRUCT TEMPORARY SEDIMENT TRAP ±7,500 CF

PUMP SEDIMENT TRAP DISCHARGE THROUGH SEDIMENT CONTROL BAG TO EXISTING CATCH BASIN

INLET PROTECTION (TYP.)

EXISTING VEGETATION TO REMAIN

SECTION 96 BLOCK 1 LOT 11.1 N/F CPK UNION, LLC.

SECTION 95 BLOCK 1 LOT 6 N/F LITTLE BROCK HOUSE PROPERTIES, LLC.

NEW YORK STATE ROUTE 300 (UNION AVENUE)

(R.O.W. WIDTH VARIES)

THIS EROSION CONTROL PLAN DEPICTS THE EROSION CONTROL METHODS AND LOCATIONS ONLY. SEE SITE, GRADING & DRAINAGE, UTILITY PLANS, ETC. FOR REMAINDER OF SITEWORK BUILDING, PAVED AREA, UTILITY LOCATIONS, ETC.

THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR THE CONSTRUCTION AND MAINTENANCE OF THE MEASURES AS DETAILED ON THIS SOIL EROSION & SEDIMENT CONTROL PLAN.

LEGEND

- PROPOSED INLET PROTECTION
- STABILIZED CONSTRUCTION ACCESS PAD
- SILT FENCE
- LIMIT OF DISTURBANCE AND TREE PROTECTION FENCING — LOD —
- RIP RAP OUTLET PROTECTION
- HAY BALE

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.

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SCALE IN FEET

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTYN

2/4/2019
DATE

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

STATE OF NEW YORK — BRYAN MARK WAISNOR — 080661 — LICENSED PROFESSIONAL ENGINEER

DEC 06 2018

BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661–1

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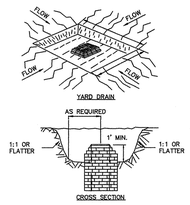
NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY **NEW YORK**

Drawing Title
SOIL EROSION AND SEDIMENT CONTROL PLAN

Project No. 9133101	Drawing No. 23.01
Date July 18, 2018	
Scale 1"=30'	
Drn. By AEB	

Filename: \\langan.com\data\PAR\data1\9133101\Cadd Data – 9133101\Dwg\9133101 2301 – Phase 2.dwg Date: 8/21/2018 Time: 19:09 User: aberl Style Table: Langan.stb Layout: 23.01



CONSTRUCTION SPECIFICATIONS

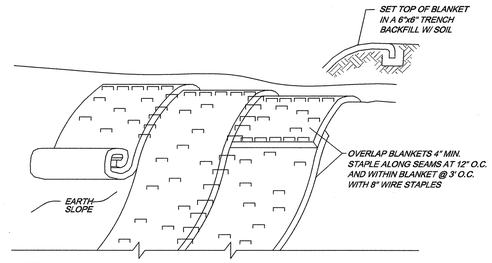
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

MAXIMUM DRAINAGE AREA 1 ACRE

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

NTS

INLET PROTECTION



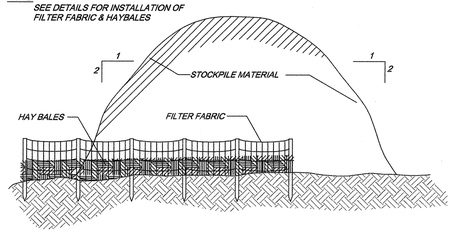
NOTES:

1. *STABILIZE PREPARED EARTHEN SLOPE OF 3:1 WITH LANDLOK C52 EROSION CONTROL BLANKET OR APPROVED EQUAL*
2. *TOPSOIL AND SEED SLOPE PRIOR TO INSTALLING EROSION CONTROL NETTING.*
3. *AFTER NETTING IS INSTALLED, PLANT PROPOSED PLANTINGS THROUGH SLITS CUT IN FABRIC.*

NTS

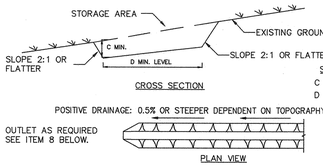
SLOPE STABILIZATION DETAIL

NOTE:
SEE DETAILS FOR INSTALLATION OF FILTER FABRIC & HAYBALES



NTS

STOCKPILE DETAIL



POSITIVE DRAINAGE: 0.5% OR STEEPER DEPENDENT ON TOPOGRAPHY

CONSTRUCTION SPECIFICATIONS

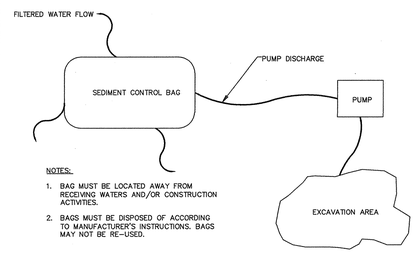
1. ALL TEMPORARY SWALES SHALL HAVE UNINTERUPTED POSITIVE GRADE TO AN OUTLET.
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
8. STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:

TYPE OF TREATMENT	CHANNEL GRADE	A(5 AC. OR LESS)	B(5 AC. -10AC)
1	0.5-3.0%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0%	SEED AND STRAW MULCH	SEED USING JUTE OR EXCELSIOR
3	5.1-8.0%	SEED WITH JUTE OR EXCELSIOR, SOD	LINED WITH 4-8" RIP-RAP OR RECYCLED CONCRETE EQUIVALENT
4	8.1-20.%	LINED WITH 4-8" RIP-RAP	ENGINEERED DESIGN

9. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

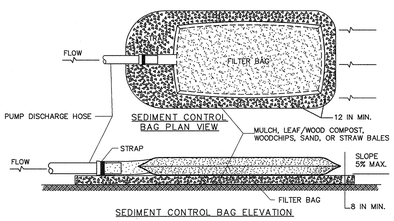
ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

TEMPORARY SWALE



NOTES:

1. BAG MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES.
2. BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE RE-USED.



SEDIMENT CONTROL BAG ELEVATION

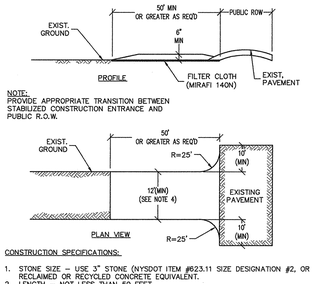
CONSTRUCTION SPECIFICATIONS

1. TIGHTLY SEAL SLEEVE AROUND THE PUMP DISCHARGE HOSE WITH A STRAP OR SIMILAR DEVICE.
2. PLACE FILTER BAG ON SUITABLE BASE (E.G., MULCH, LEAF/WOOD COMPOST, WOODCHIPS, SAND, OR STRAW BALES) LOCATED ON A LEVEL OR 5% MAXIMUM SLOPING SURFACE. DISCHARGE TO A STABILIZED AREA. EXTEND BASE A MINIMUM OF 12 INCHES FROM EDGES OF BAG.
3. CONTROL PUMPING RATE TO PREVENT EXCESSIVE PRESSURE WITHIN THE FILTER BAG IN ACCORDANCE WITH THE MANUFACTURER RECOMMENDATIONS. AS THE BAG FILLS WITH SEDIMENT, REDUCE PUMPING RATE.
4. REMOVE AND PROPERLY DISPOSE OF FILTER BAG UPON COMPLETION OF PUMPING OPERATIONS OR AFTER BAG HAS REACHED CAPACITY, WHICHEVER OCCURS FIRST. SPREAD THE DEWATERED SEDIMENT FROM THE BAG IN AN APPROVED UPLAND AREA AND STABILIZE WITH SEED AND MULCH BY THE END OF THE WORK DAY. RESTORE THE SURFACE AREA BENEATH THE BAG TO ORIGINAL CONDITION UPON REMOVAL OF THE DEVICE.
5. USE NONWOVEN GEOTEXTILE WITH DOUBLE STITCHED SEAMS USING HIGH STRENGTH THREAD. SIZE SLEEVE TO ACCOMMODATE A MAXIMUM 4 INCH DIAMETER PUMP DISCHARGE HOSE. THE BAG MUST BE MANUFACTURED FROM A NONWOVEN GEOTEXTILE THAT MEETS OR EXCEEDS MINIMUM AVERAGE ROLL VALUES (MARV) FOR THE FOLLOWING:

GRAB TENSILE	250 LB	ASTM D-4632
PUNCTURE	150 LB	ASTM D-4833
FLOW RATE	70 GAL/MIN/FT²	ASTM D-4491
PERMITTIVITY (SEC⁻¹)	1.2 SEC⁻¹	ASTM D-4491
UV RESISTANCE	70% STRENGTH @ 500 HOURS	ASTM D-4355
APPARENT OPENING SIZE (AOS)	0.15-0.18 MM	ASTM D-4751
SEAM STRENGTH	90%	ASTM D-4632

6. REPLACE FILTER BAG IF BAG CLOGS OR HAS RIPS, TEARS, OR PUNCTURES. DURING OPERATION KEEP CONNECTION BETWEEN PUMP HOSE AND FILTER BAG WATER TIGHT. REPLACE BEDDING IF IT BECOMES DISPLACED.

SEDIMENT CONTROL FILTER BAG



NOTE:
PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.

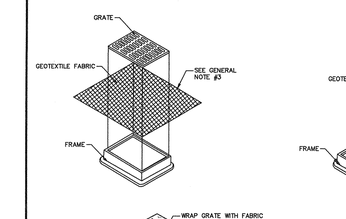
CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE 3" STONE (NYSDOT ITEM #623.11 SIZE DESIGNATION #2, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS

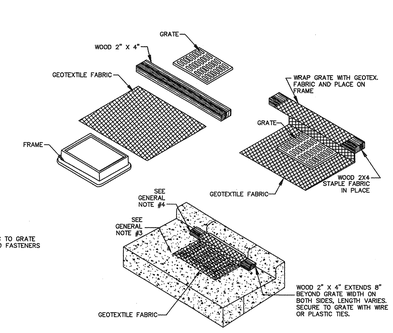
NTS

STABILIZED CONSTRUCTION ACCESS



YARD INLET PROTECTION

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



CURB INLET PROTECTION

GENERAL NOTES:

1. GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
6. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE USING A SEMI FLAP, AND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

EXISTING FABRIC INLET PROTECTION

CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
4. THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.

MAXIMUM DRAINAGE AREA 1 ACRE

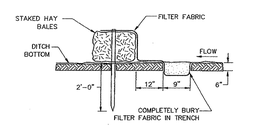
ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

NTS

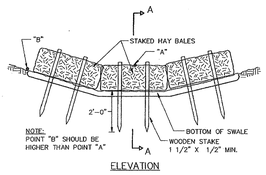
DROP CURB INLET PROTECTION

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DETAILS TO THE OWNER'S ENGINEER FOR REVIEW.

CONTRACTOR SUBMITTAL NOTE



SECTION "A-A"



ELEVATION

TOWN OF NEWBURGH, NEW YORK CONSOLIDATED WATER DISTRICT STANDARD WATER DISTRIBUTION DETAILS		
HAY BALE SILTATION CONTROL		
DATE: NOVEMBER 2001	BY: CLD	NO SCALE

CONTRACTOR SUBMITTAL NOTE

CONSTRUCTION SPECIFICATIONS

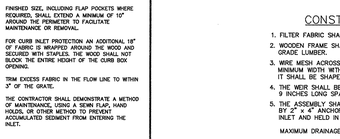
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.

MAXIMUM DRAINAGE AREA 2 ACRES.

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

NTS

ROCK CHECK DAM



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

NTS

SILT FENCE (REINFORCED)

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTYN

2/4/2019
DATE

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

DEC 0 6 2018

BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661-1

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NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
SOIL EROSION AND SEDIMENT CONTROL DETAILS

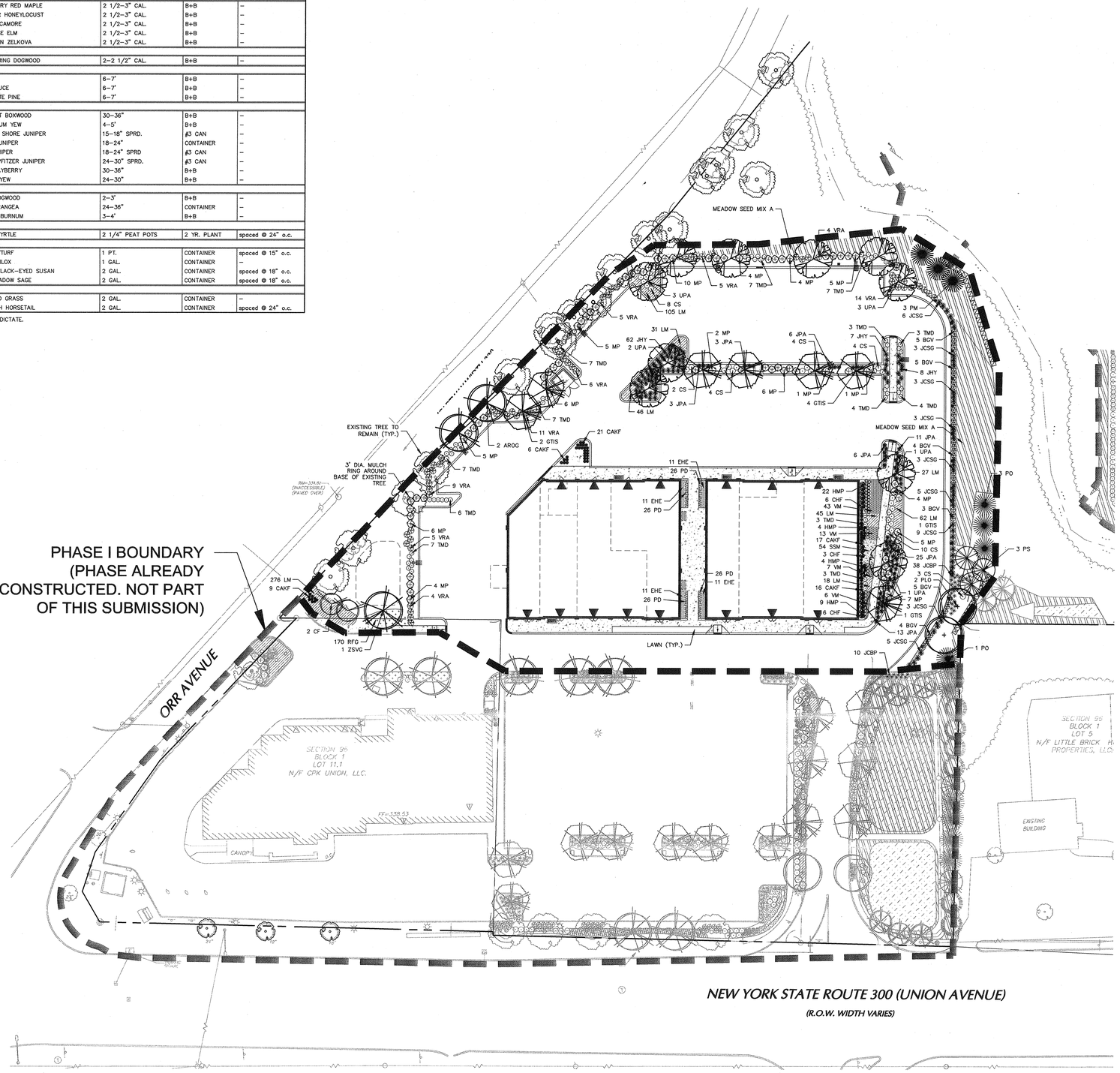
Project No. 9133101	Drawing No. 23.02
Date July 18, 2018	
Scale AS SHOWN	
Drn. By AEB	

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AROG	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	–
GTIS	7	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL.	B+B	–
PLO	2	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2 1/2-3" CAL.	B+B	–
UPA	10	ULMUS PARVIFOLIA 'ALLEE'	ALLEE CHINESE ELM	2 1/2-3" CAL.	B+B	–
ZSVG	1	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	2 1/2-3" CAL.	B+B	–
ORNAMENTAL TREE(S)						
CF	2	CORNUS FLORIDA	WHITE FLOWERING DOGWOOD	2-2 1/2" CAL.	B+B	–
EVERGREEN TREE(S)						
PM	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-7'	B+B	–
PO	4	PICEA OMORIKA	SERBIAN SPRUCE	6-7'	B+B	–
PS	3	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B	–
EVERGREEN SHRUB(S)						
BGV	34	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	30-36"	B+B	–
CHF	15	CEPHALOTAXUS HARRINGTONIA 'FASTIGIATA'	JAPANESE PLUM YEW	4-5'	B+B	–
JCBP	37	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	15-18" SPRD.	#3 CAN	–
JCSG	40	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18-24"	CONTAINER	–
JHY	77	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD	#3 CAN	–
JPA	67	JUNIPERUS X PFITZERIANA 'ARMSTRONGII'	ARMSTRONG PFITZER JUNIPER	24-30" SPRD.	#3 CAN	–
MP	77	MYRICA PENSYLVANICA 'SILVER SPRITE'	NORTHERN BAYBERRY	30-36"	B+B	–
TMD	68	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B	–
DECIDUOUS SHRUB(S)						
CS	35	CORNUS SERICEA 'ALLEMANS'	RED OSIER DOGWOOD	2-3'	B+B	–
HMP	39	HYDRANGEA MACROPHYLLA 'PIA'	BIGLEAF HYDRANGEA	24-36"	CONTAINER	–
VRA	63	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	ALLEGHANY VIBURNUM	3-4'	B+B	–
GROUND COVER						
VM	69	VINCA MINOR	PERIWINKLE/MYRTLE	2 1/4" PEAT POTS	2 YR. PLANT	spaced @ 24" o.c.
PERENNIAL(S)						
LM	610	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 PT.	CONTAINER	spaced @ 15" o.c.
PD	104	PHLOX DIVARICATA 'LONDON BLUE MOON'	WOODLAND PHLOX	1 GAL.	CONTAINER	–
RFG	108	RUDBECKIA FULGIDA "GOLDSTURM'	GOLDSTURM/BLACK-EYED SUSAN	2 GAL.	CONTAINER	spaced @ 18" o.c.
SSM	54	SALVIA SUPERBA 'MAYNIGHT'	MAYNIGHT MEADOW SAGE	2 GAL.	CONTAINER	spaced @ 18" o.c.
ORNAMENTAL GRASS(ES)						
CAKF	69	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER	–
EHE	44	EQUISETUM HYEMALE	SCOURINGRUSH HORSETAIL	2 GAL.	CONTAINER	spaced @ 24" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.



SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
Chairman
2/4/2019

NOTE: REFER TO SHEET 24.04 FOR LANDSCAPE NOTES AND DETAILS

PLANNING BOARD TRACKING NO. 2007-05

30 0 15 30
SCALE IN FEET

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

MICHAEL SZURA
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NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY **NEW YORK**

Drawing Title
LANDSCAPE PLAN

Project No. 9133101	Drawing No. 24.01
Date JULY 18, 2018	
Scale 1"=30'	
Drn. By GR	
DB	

Filename: \\langan.com\data\PAR\data1\9133101\Cadd Data – 9133101\Dwg\9133101 2401.dwg Date: 8/22/2018 Time: 10:26 User: grumoo Style Table: Langan.stb Layout: 24.01

GENERAL LANDSCAPE PLANTING NOTES

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
2. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
3. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.
4. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
5. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
7. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 – JUNE 15 OR AUGUST 15 – NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.
8. ALL FENCE AND GUIDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
10. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
11. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
12. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
13. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
14. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, MISSING, 25% OR MORE DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
16. DELIVERY, STORAGE, AND HANDLING
    A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
    B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
    C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
    D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
17. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
18. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
19. CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE DURATION OF THE GUARANTEED PERIOD. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
20. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
21. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24- HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
22. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
23. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST. MULCH SHALL BE A FIBROUS DOUBLE SHREDDED HARDWOOD MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
25. LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT, IF UNDER CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONFIRMATION IS RECEIVED THAT ALL PROPOSED LANDSCAPE ITEMS HAVE BEEN INSTALLED, OR DEFICIENCIES NOTED IN THE PRIOR PUNCH LIST REPORT HAVE BEEN CORRECTED. THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS.

PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.

2. PLANTING SOIL:

REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.

SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.

CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS. SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPAULIN UNTIL TIME OF ACTUAL USE.

ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.

A. THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
   a. PARTICLE SIZE ANALYSIS – LOAMY SAND: 70–85% SAND, 15–30% SILT AND CLAY
   b. FERTILITY ANALYSIS: pH (5.5–6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM
   c. ORGANIC MATTER CONTENT: 2.5–5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
   d. TOXIC SUBSTANCE ANALYSIS
   e. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED
   f. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE

3. SOIL AMENDMENT FOR PLANT MATERIAL:
IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6–8; MOISTURE CONTENT 35–55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.

A. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60–90% ORGANIC CONTENT BY WEIGHT. SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".

B. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.

C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
   a. GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
      – BRING pH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS
      – BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS
   b. TERRA-SORB BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.
   c. MYCOR-ROOT SAVER BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.

4. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.

5. CLEAN SOIL FILL IN LANDSCAPE AREAS:
LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 – 7.

6. SOIL PLACEMENT:
   A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
   B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
   C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.

7. SOIL CONDITIONING:
   A. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER pH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 88% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100 MESH SIEVE.
   B. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
   C. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):
      a. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
      b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
      c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

LAWN SEED MIX

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. THE FOLLOWING SEED MIX SHALL BE SOWN AT THE RATES AS DEPICTED:

RED FESCUE	1 1/2 LBS./1,000 SF
PERENNIAL RYEGRASS	1 LBS./1,000 SF
KENTUCKY BLUEGRASS	1 1/2 LBS./1,000 SF
SPREADING FESCUE	1 LBS./1,000 SF

3. SEEDED LAWN AREAS SHALL BE MULCHED TO PRESERVE SOIL MOISTURE AND PREVENT EROSION DURING THE ESTABLISHMENT PERIOD UNTIL A STAND OF COVER IS ACCEPTED BY THE OWNER. STANDARD MULCH MAY INCLUDE HYDROMULCH, SALT HAY OR SMALL GRAIN STRAW ANCHORED WITH TACKIFIER AS NECESSARY. AREAS PRONE TO EROSION SHALL BE PROTECTED AS NECESSARY WITH BIODEGRADABLE EROSION CONTROL MATERIALS IN ADDITION TO THE STANDARD MULCH. ALL MULCH MATERIALS AND HYDROSEED/MULCH MIX MUST BE REMOVED FROM ANY ADJACENT STRUCTURES, PAVING OR VEHICLES IMMEDIATELY.
4. SEEDING DATES FOR THIS MIXTURE SHALL BE AS FOLLOWS:
   SPRING: APRIL 1 – MAY 31
   FALL: AUGUST 16 – OCTOBER 31
5. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

LAWN WATERING SCHEDULE

THE FOLLOWING WATERING SCHEDULE COVERS ROUGHLY 8 WEEKS TO ESTABLISH A HEALTHY STAND OF GRASS FROM SEED. THE CONTRACTOR SHALL BE OBLIGATED TO ENSURE A HEALTHY STAND OF GRASS AT THE END OF THE MAINTENANCE/BOND PERIOD. ANY BARE OR DEAD AREAS IN THE LAWN SHALL BE PREPARED, RESEEDED AND REESTABLISHED PRIOR TO THE END OF THE MAINTENANCE/BOND PERIOD AND TO THE SATISFACTION OF THE PROJECT LANDSCAPE ARCHITECT AND THE OWNER.

IMPORTANT ASPECTS TO ATTAINING AND SUSTAINING A HEALTHY STAND OF GRASS ARE THE INSTALLATION OF TOPSOIL, SEED BED PREPARATION, ATTAINING OPTIMAL pH FOR THE INTENDED PLANT SPECIES, FERTILIZING, MULCH COVERING, AND SUFFICIENT WATERING PER THESE NOTES AND/OR PROJECT SPECIFICATIONS.

1. SEEDING SHALL BE DONE DURING THE SEASONS SPECIFIED IN THE LAWN SEED MIX NOTES AND/OR PROJECT SPECIFICATIONS.
2. AFTER THE SEEDBED IS PREPARED, SEED IS INSTALLED, AND MULCH IS APPLIED, WATER LIGHTLY TO KEEP THE TOP 2 INCHES OF SOIL CONSISTENTLY MOIST, NOT SATURATED. AT NO TIME SHOULD WATER BE APPLIED TO THE POINT OF RUNOFF OR THE DISPLACEMENT OF SEED.
3. DEPENDING ON SOIL TEMPERATURES, IT MAY TAKE SEVERAL WEEKS FOR GERMINATION TO OCCUR. DIFFERENT SPECIES WITHIN THE MIX GERMINATE AT DIFFERENT TIMES AND THEREFORE CONTRACTOR SHOULD CONTINUE THE LIGHT WATERING, AS DESCRIBED ABOVE, UNTIL THERE IS AT LEAST 2 INCHES OF GROWTH THROUGHOUT.
4. AT THIS POINT, WATERING FREQUENCY MAY BE REDUCED TO EVERY 3 TO 5 DAYS. WATER SHALL BE APPLIED TO WET A 6 INCH MINIMUM SOIL DEPTH TO PROMOTE HEALTHY DEEP ROOTS.
5. BEGIN MOWING ONCE PER WEEK AFTER THE GRASS HAS REACHED 3 INCHES HEIGHT. MOW TO A HEIGHT OF NO LESS THAN 2-½ INCHES. AFTER 2 TO 3 WEEKS OF MOWING, CONTINUE TO WATER TO A 6 INCH MINIMUM SOIL DEPTH AS NECESSARY PER WEATHER CONDITIONS, AND SOIL MOISTURE SENSORS IF APPLICABLE.

SOD SPECIFICATIONS (IF USED) :

1. SOD IS TO BE A FESCUE/BLUEGRASS BLEND APPROXIMATELY 70/30%. SOD IS TO BE INDIGENOUS TO THE AREA AND BE FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE.
2. PRIOR TO SODDING ALL AREAS ARE TO BE TOPSOILED, FINE GRADED, RAKED, WATERED LIGHTLY, AND FERTILIZED WITH A STARTER FERTILIZER.
3. ALL STONES GREATER THAN 2" DIAMETER SHALL BE REMOVED.
4. SOD TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOD STRIPS TO BE LAID OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.
5. SOD IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (1½") PER WEEK UNTIL ROOT MASS MENDS WITH SOIL. AFTER THIS HAS OCCURRED NORMAL WATERING OF AT LEAST ONE INCH (1") PER WEEK IS TO COMMENCE.
6. ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

COMPACTED SOIL LOOSENING NOTE

DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. LOOSEN SUBRADE SOILS TO A DEPTH OF 18 INCHES. IN ADDITION, IMPORTED OR AMMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.

MEADOW SEEDING NOTES:

1. MEADOW SEED MIX 'A' ERNST SEED MIX ERNMX-168 "NORTHEAST PERENNIAL & ANNUAL WILDFLOWER MIX"

8.0%	CENTAUREA CYANUS, TALL MIXED	BACHELOR'S BUTTON TALL MIXED/CONEFLOWER
6.0%	COREOPSIS LANCEOLATA	LANCE LEAVED COREOPSIS
6.0%	COREOPSIS TINCTORIA	PLAINS COREOPSIS
6.0%	LINUM GRANIFLORUM RUBRUM	SCARLET FLAX
5.0%	CHEIANTHUS ALLIONII	WALLFLOWER
5.0%	COSMOS BIPINNATUS	COSMOS
5.0%	COSMOS SUPHUREUS	SULPHUR COSMOS
5.0%	DELPHINIUM AJACIS	ROCKET LARKSPUR
5.0%	GYPSOPHILA ELEGANS	ANNUAL BABY'S BREATH
5.0%	HESPERIS MATRONALIS	DAME'S ROCKET
5.0%	LINARIA MORACCANA	SPURRED SNAPDRAGON-NORTHERN LIGHTS
5.0%	RUDBECKIA HIRTA	BLACK-EYED SUSAN
4.0%	CHRYSANTHEMUM MAXIMUM	SHASTA DAISY
4.0%	LINUM PERENNE LEWISII	LEWIS PERENNIAL BLUE FLAX
4.0%	PAPAVER RHOEAS, SHIRLEY MIX	CORN POPPY/SHIRLEY MIX
4.0%	SILENE ARMERIA	CATCHFLY
3.0%	ECHINACEA PURPUREA	PURPLE CONEFLOWER
3.0%	GAILLARDIA ARISTATA	PERENNIAL GAILLARDIA (BLANKET FLOWER)
3.0%	GAILLARDIA PULCHELLA	ANNUAL GAILLARDIA (INDIAN BLANKET)
2.0%	MONARA CITRIODORA	LEMON MINT
2.0%	RATIBIDA PINNATA	GREY HEADED CONEFLOWER
2.0%	RUDBECKIA TRILOBA	BROWN EYED SUSAN

NOTES:
1. SEED AT A RATE OF 20 LBS./ACRE OF 100% PURE LIVE SEED.
2. FOR SPRING SEEDING, APPLY A NURSE CROP OF OATS AT A RATE OF 20 LBS./ACRE.
3. FOR FALL SEEDING, APPLY A NURSE CROP OF BARLEY AT A RATE OF 20 LBS./ACRE.

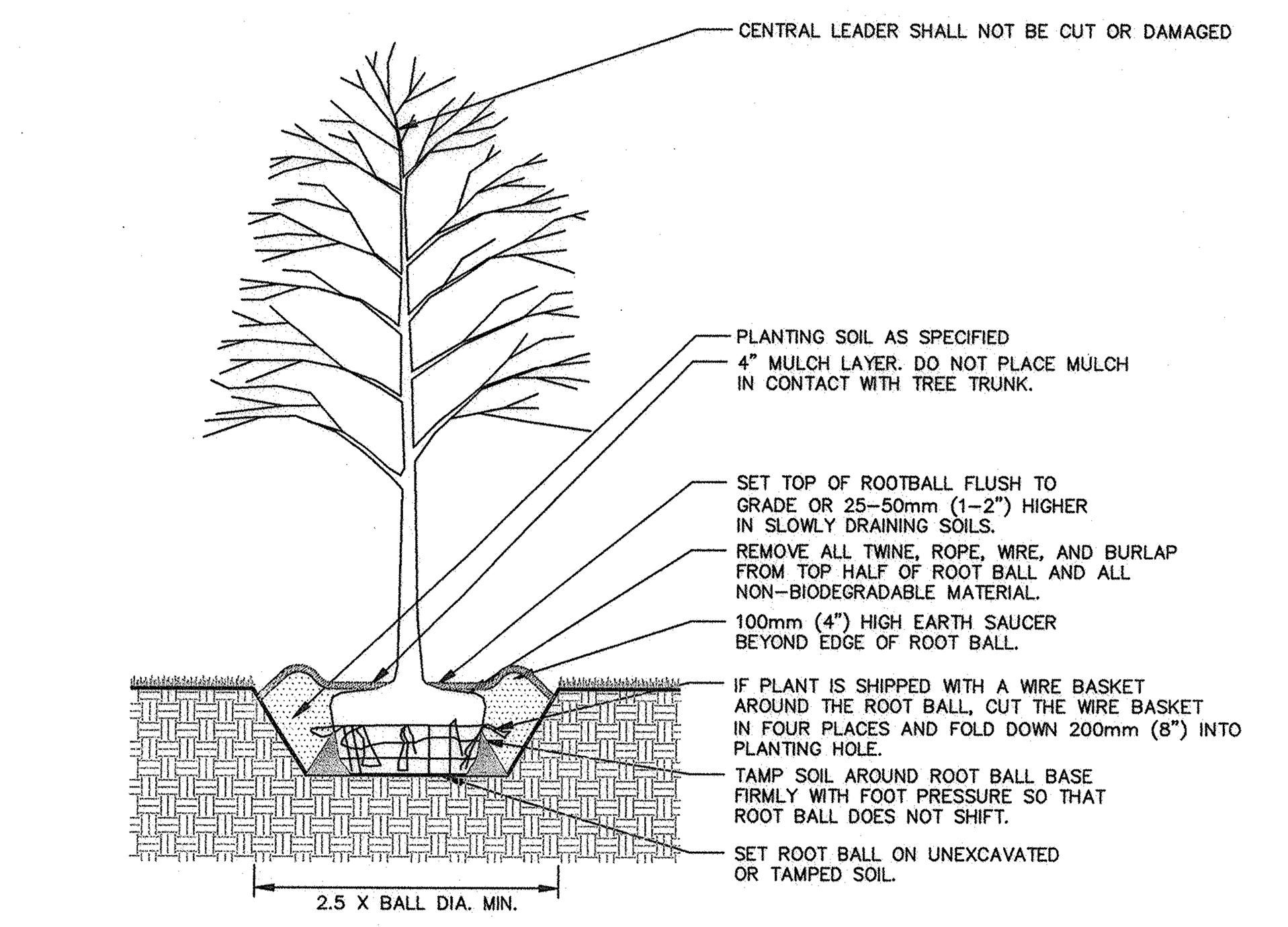
2. MEADOW SEED MIX 'B' ERNST SEED MIX ERNMX-127 "RETENTION BASIN FLOOR SEEDING MIX"

20% AGROSTIS STOLONIFERA	CREEPING BENTGRASS
25% ALOPECURUS ARUNDINACEUS	GARRISON CREEPING FOXTAIL
25% ELYMUS VIRGINICUS	VIRGINIA WILD RYE
5% FESTUCA RUBRA	CREEPING RED FESCUE
5% BIDENS CERNUA	NODDING BUR-MARIGOLD
4% SPARGANIUM EURYCARPUM	GIANT BUR-REED
4% SCIRPUS ATROVIRENS	GREEN BULRUSH
4% SCIRPUS POLYPHYLLUS	MANY LEAVED BULRUSH
3% VERBERA HASTATA	BLUE VERVAIN
3% SCIRPUS CYPERINUS	WOOLGRASS
1% MIMULUS RINGENS	MONKEY FLOWER
1% SOLIDAGO PATULA	ROUGH LEAF GOLDENROD

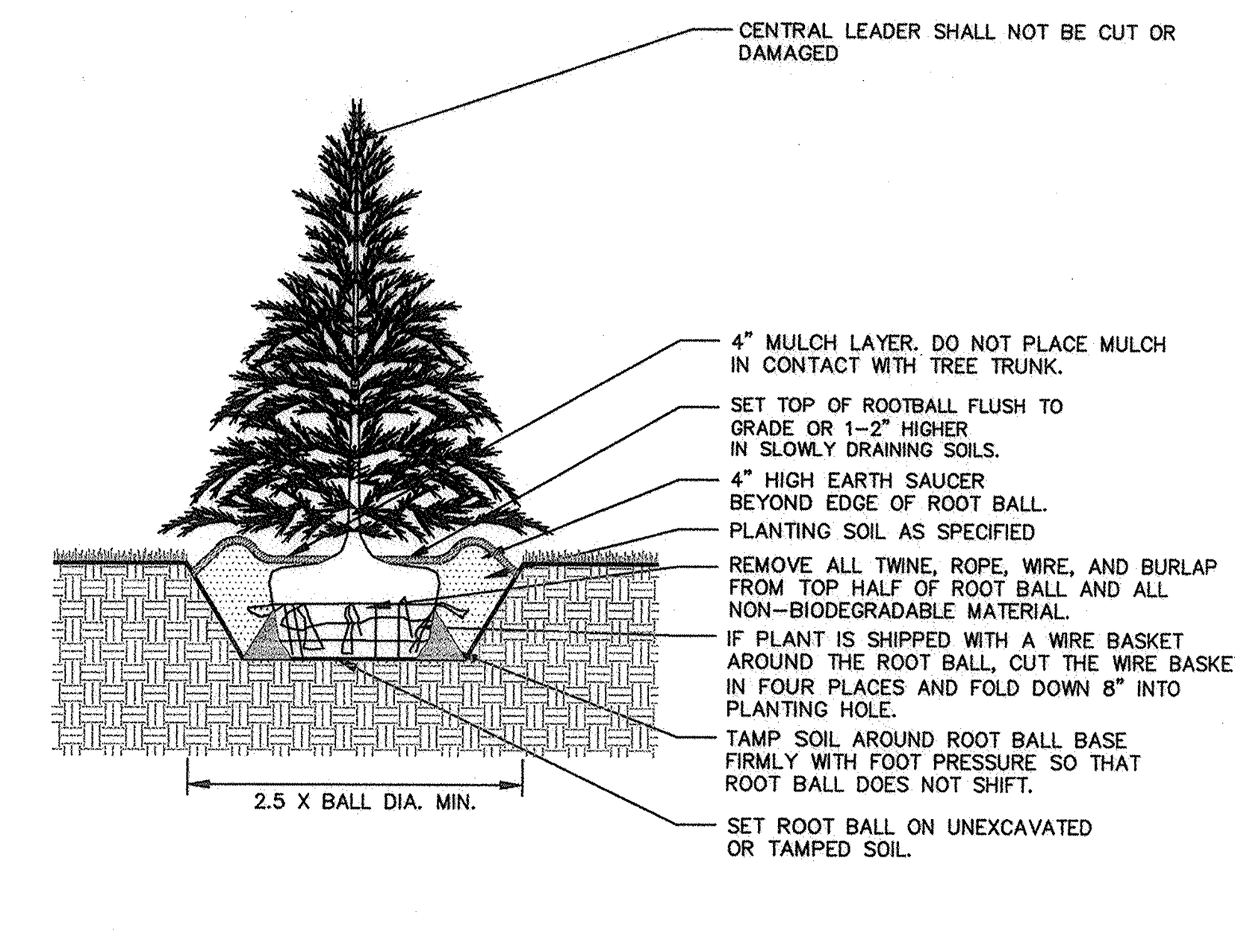
NOTES:
1. 90% ERNMX-127 :
2. 10% NURSE CROP OF ANNUAL RYEGRASS
3. APPLY ALL SEED AT A RATE OF 20 LBS./ ACRE OF 100% PURE LIVE SEED.

3. GENERAL SEEDING NOTES
   1. SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 1) OR THE FALL (SEPTEMBER 1 TO OCTOBER 1).
   2. ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A BROAD-SPECTRUM NON-SELECTIVE HERBICIDE PER MANUFACTURER'S SPECIFICATIONS.
   3. IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL WHERE APPLICABLE.
   4. CONTINUOUS MOISTURE FOR 4-6 WEEKS MUST BE INSURED TO ALLOW PROPER GERMINATION.

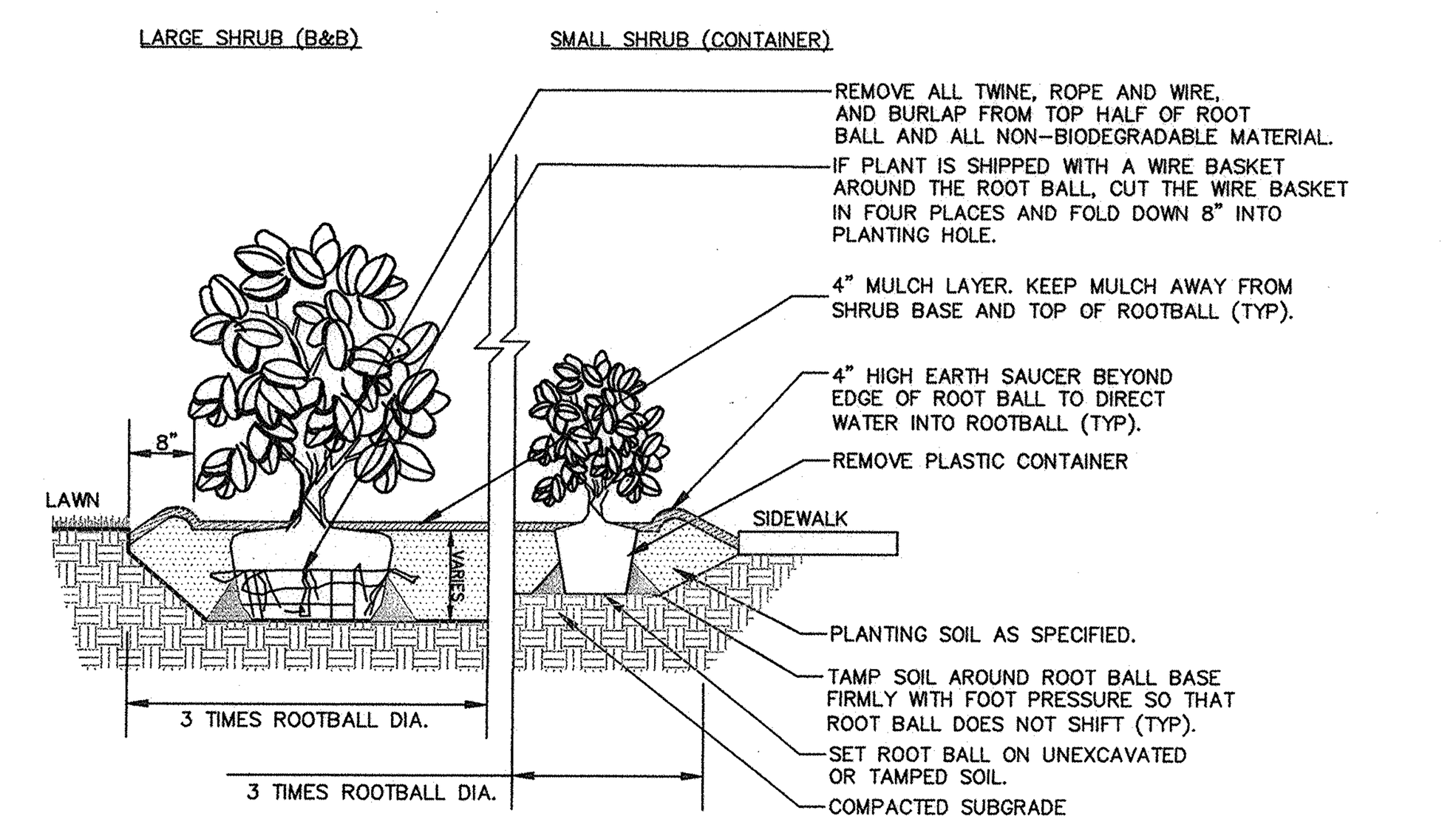
4. WEED CONTROL/MAINTENANCE NOTES:
   1. MOWING MEADOW AREAS SHALL BE DONE VIA STRING TRIMMER.
   2. DURING THE ESTABLISHMENT YEAR, CONTRACTOR SHALL MOW SEEDING IF WEED HEIGHT EXCEEDS MEADOW MIX HEIGHT. MOW AT A HEIGHT OF 8"-10". DO NO MOW CLOSE, AS SOME OF THE MEADOW MIX MAY BE DAMAGED.
   3. AFTER THE FIRST GROWING SEASON, AND IF MEADOW MIX IS WELL ESTABLISHED, THE MEADOW MIX SHALL BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WINTER DURING THE MONTH OF MARCH.
   4. MOW IN WETLAND AND WETLAND TRANSITION AREAS DURING DRIER SITE CONDITIONS WHEN SOIL DISTURBANCE WILL NOT OCCUR. MAINTENANCE FOR WETLAND AND WETLAND TRANSITION AREAS SHALL OCCUR DURING LATE SUMMER (JULY 1 TO AUGUST 15) WHEN THE WATER TABLE IS USUALLY AT ITS LOWEST POINT OF THE YEAR. DO NOT MOW IN WETLAND OR WETLAND TRANSITION AREAS ESTABLISHMENT OF MEADOW MIX.



1 DECIDUOUS TREE PLANTING
N.T.S



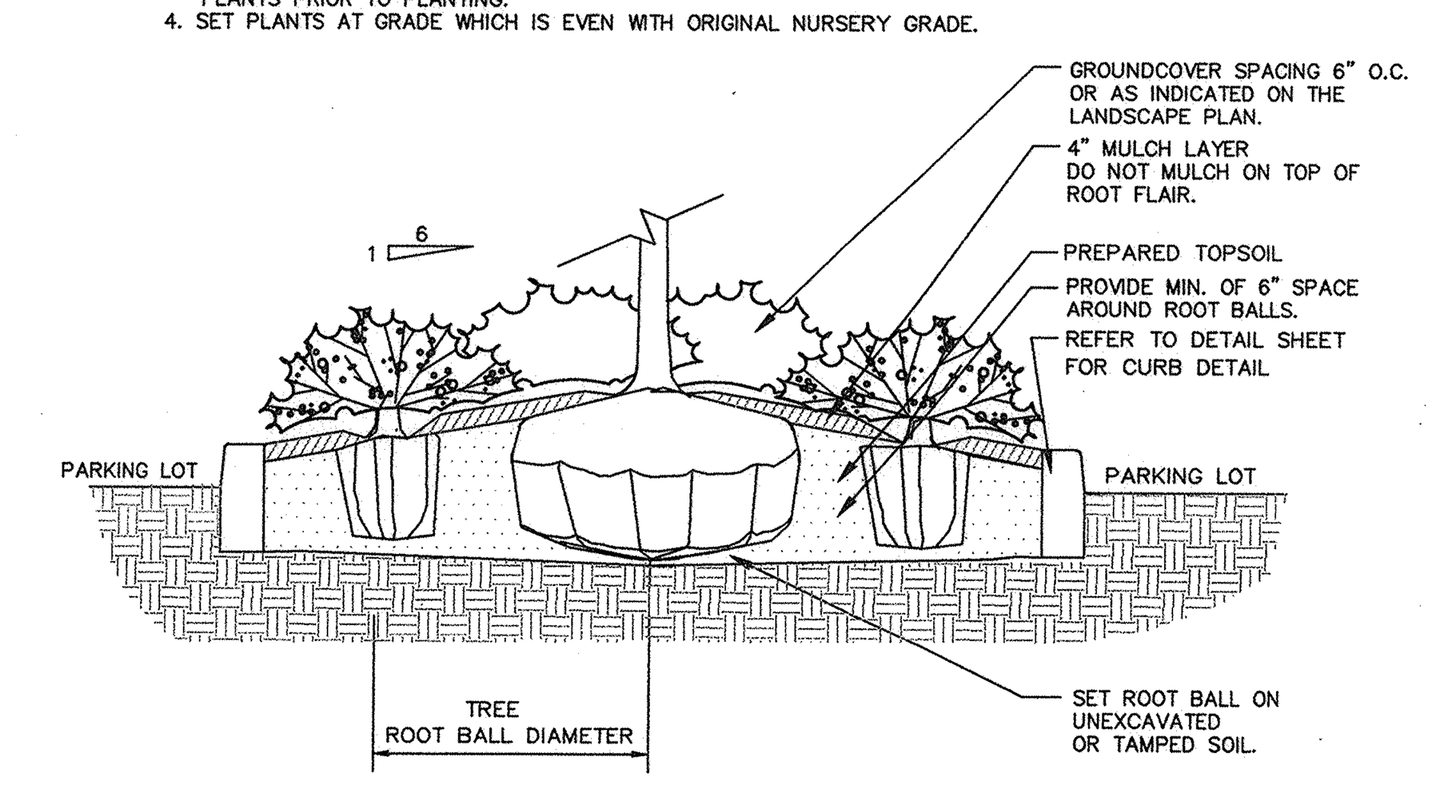
2 EVERGREEN TREE PLANTING
N.T.S



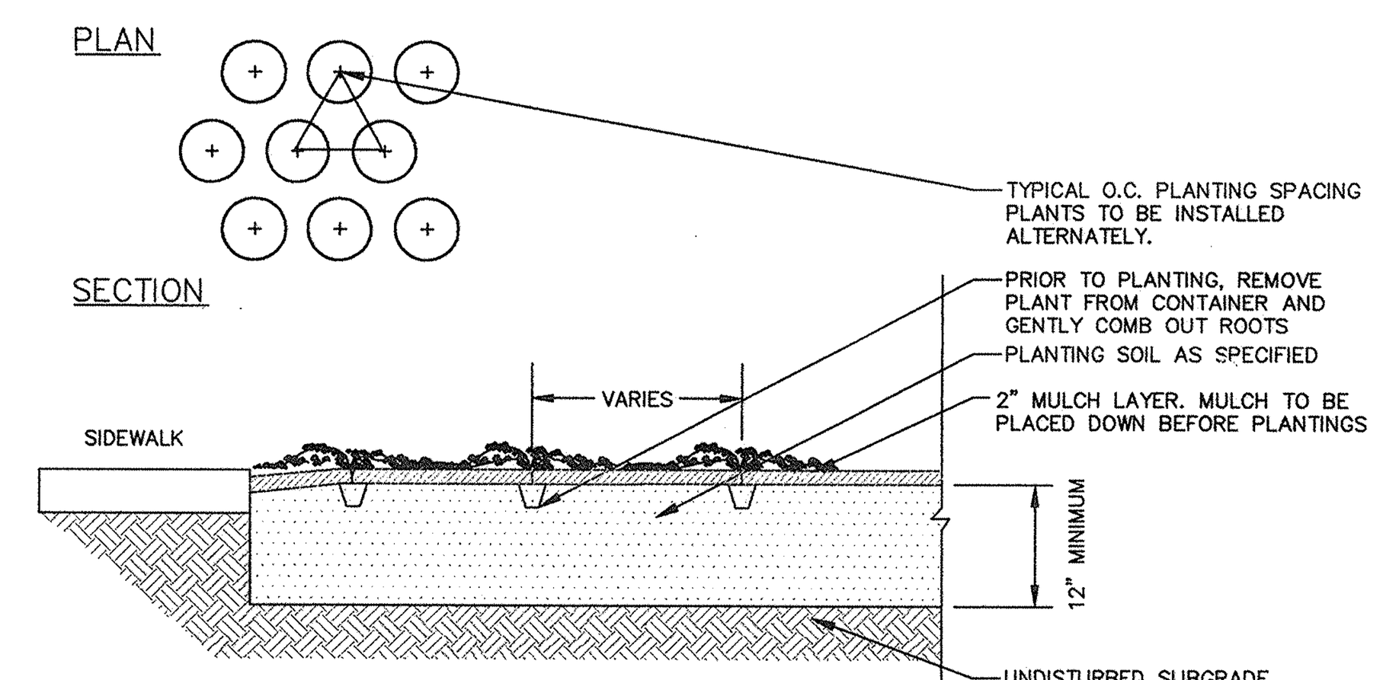
NOTES: 1. ALL SHRUBS TO BE SET PLUMB.
2. REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.
3. REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

3 SHRUB PLANTING
N.T.S

NOTES: 1. ISLAND AREAS TO BE FREE OF DEBRIS AND RUBBLE PRIOR TO PLANTING OPERATION.
2. MOUND PARKING ISLAND AS SHOWN.
3. REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.
4. SET PLANTS AT GRADE WHICH IS EVEN WITH ORIGINAL NURSERY GRADE.



4 PARKING ISLAND PLANTING
N.T.S



NOTES: 1. PLANTS ARE TO BE SPACED EQUIDISTANT FROM EACH OTHER.
2. REFER TO PLAN AND SCHEDULE FOR SPACING OF INDIVIDUAL PLANTS.
3. REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

5 GROUNDCOVER/PERENNIAL PLANTING
N.T.S

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
Chairman
2/4/2019

PLANNING BOARD TRACKING NO. 2007-05

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

MICHAEL SZURA
NY Registered Landscape Architect No. 001901-1

LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054

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NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
LANDSCAPE SCHEDULE, NOTES, AND DETAILS

Project No. 9133101	Drawing No.
Date JULY 18, 2018	24.04
Scale AS SHOWN	
Drn. By GR	
DB	

SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	LLF	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
▮	A	3	PHILIPS GARDCO	GULLWING LED GL18	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR – BLACK	20'-0"	160W LED 3000K	TYPE III	10,533	0.90	GL18-3-160LA -481A-NW-HS.IES	GL18-SW-1-3-160LA -481A-WW-VOLTS -BLP-HS	PHILIPS GARDCO	ROUND TAPERED ALUMINUM; COLOR: BLACK	20'-0"	TRA-CB-20H-D1 -BLP
▮	B	3	PHILIPS GARDCO	GULLWING LED GL18	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR – BLACK	20'-0"	105W LED 3000K	TYPE IV	8,316	0.90	GL18-4-105LA -4870-NW-HS.IES	GL18-SW-1-4-105LA -4870-WW-VOLTS -BLP-HS	PHILIPS GARDCO	ROUND TAPERED ALUMINUM; COLOR: BLACK	20'-0"	TRA-CB-20H-D1 -BLP
■	C	3	PHILIPS GARDCO	GULLWING LED GL18	WALL MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR – BLACK	16'-0" (COORDINATE EXACT HEIGHT WITH ARCHITECT)	200W LED 3000K	TYPE IV	15,967	0.90	GL18-4-200LA -9670-NW-HS.IES	GL18-SW-W-4-200L A -9670-WW-VOLTS -BLP-HS	–	–	–	–
■	D	2	PHILIPS GARDCO	GULLWING LED GL18	WALL MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR – BLACK	16'-0" (COORDINATE EXACT HEIGHT WITH ARCHITECT)	105W LED 3000K	TYPE IV	8,316	0.90	GL18-4-105LA -4870-NW-HS.IES	GL18-SW-W-4-105LA -4870-WW-VOLTS -BLP-HS	–	–	–	–

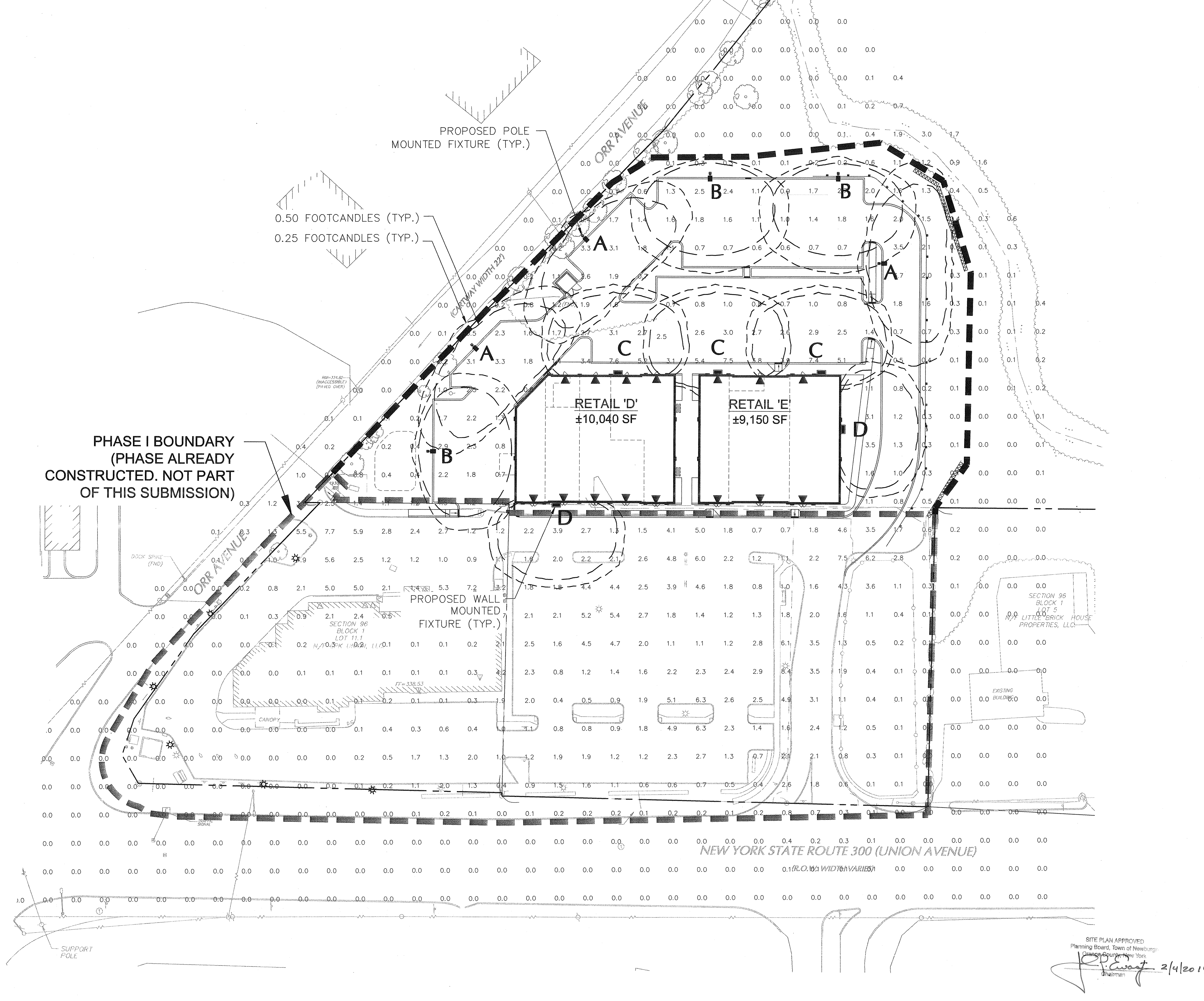
NOTES:
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES.
2. ALL FIXTURES SHALL BE FULL CUT OFF, EMITTING ZERO UP-LIGHT ABOVE THE 90°PLANE.
3. ALL POLES 20 OR MORE FEET TALL SHALL RECEIVE FACTORY INSTALLED VIBRATION DAMPENERS.

STATISTICS

DESCRIPTION	AVG.	MAX.	MIN.	MAX./MIN.	AVG./MIN.
PHASE 2 CAR PARKING	2.2fc	7.6fc	0.6fc	12.7:1	3.7:1
PROPERTY LINE	0.1fc	0.4fc	0.0fc	N/A	N/A

NOTES:
LIGHTING PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

NOTE:
AT LEAST 3 DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY CONTACT: "CALL BEFORE YOU DIG" 1-800-962-7962.



SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
[illegible] 2/4/2019
Chairman

30 0 15 30
SCALE IN FEET

NOTE: REFER TO SHEET 25.02 FOR LIGHTING SCHEDULE, NOTES, AND DETAILS

PLANNING BOARD TRACKING NO. 2007-05

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

REGISTERED LANDSCAPE ARCHITECT MICHAEL SZURA STATE OF NEW YORK

MICHAEL SZURA
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NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
LIGHTING PLAN

Project No. 9133101
Date JULY 18, 2018
Scale 1"=30'
Drn. By YZ
DB
Drawing No. 25.01

LIGHTING NOTES:

GENERAL

1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/ DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS.NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
2. LIGHT LEVEL POINT SPACING IS 20 FT. LEFT TO RIGHT AND 20 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

COMPLIANCE

3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

COORDINATION

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

POLES AND FOOTINGS

10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
13. ALL POLES HIGHER THAN 25 FT. SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

WALL MOUNTED FIXTURES

14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

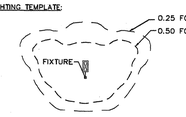
ADJUSTMENT AND INSPECTION

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

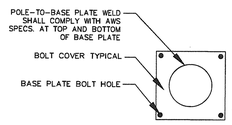
REQUIREMENTS FOR ALTERNATES

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
   A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.
   B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOOTCANDLE, THE SYSTEM'S PERFORMANCE.
   C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
   D. POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
   E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
   F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

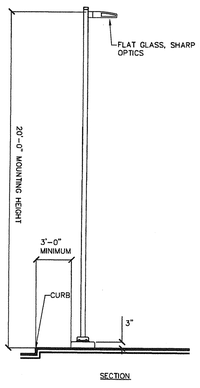
PHOTOMETRIC LIGHTING TEMPLATE:



NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS LIGHT THROW FOR EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT COMING FROM OTHER SOURCES.

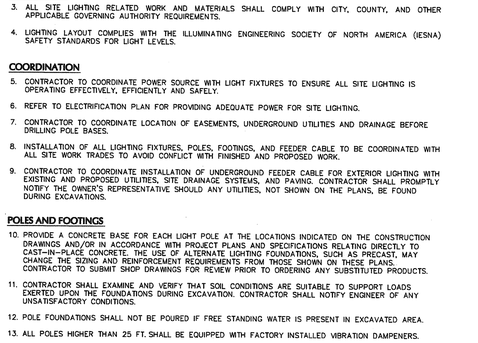


PLAN



SECTION

LIGHT FIXTURE AND POLE



PLAN SECTION

MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	VERTICAL REINFORCEMENT	'H'
20'-0"	4'-6"	2'-0"	6 #5 BARS	3"

NOTES:

1. SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
2. EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 250-86, N.E.C.
3. CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
4. POLE BASE SHALL BE ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND-RUBBED SMOOTH.
5. CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT.
6. THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST ESTIMATE PURPOSES. LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAILED BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS AND MANUFACTURERS RECOMMENDATIONS.

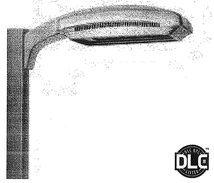
LIGHT POLE BASE

PHILIPS
GARDCO

Site & Area

Gullwing LED

Large, GL18



LED

DLC

Project:
Location:
Cat.No:
Type:
Qty:
Notes:

Philips Gardco Gullwing LED luminaires combine LED performance excellence and advanced Gardco LED thermal management technology with the distinct Gullwing style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing.

Ordering guide **Example:** GL18-APD-1-4-80LA-4853-NW-120-BRP-LF

Prefix	Controls	Mounting	Optical System[3]	Wattage	LED Color	Voltage	Finish	Options
GL18 18" Gullwing LED Luminaire Constant Wattage **GL18-RK** 18" Gullwing LED Retrofit Kit	— Gullwing Standard Luminaire **GL18-DIM** 18" Gullwing LED with 0-10V Dimming **GL18-APD**[1] 18" Gullwing LED with Automatic Profile Dimming **GL18-MRSO**[2,3,4] 18" Gullwing LED with Motion Response - 50% Low (pole mounted sensor) **GL18-APD-MRO**[3,5,6] 18" Gullwing LED with APD with Motion Response Override (pole mounted sensor) **GL18-MRI**[3,6] 13" Gullwing LED with Motion Response at 50% Low (luminaire mounted sensor) **GL18-APD-MRI**[3,6] 13" Gullwing LED with APD with Motion Response Override (luminaire mounted sensor) **Wireless systems** (Remote wireless controller available.) **LLC2**[3,4,7] #2 lens for 8' mounting heights **LLC3**[3,4,7] #3 lens for 9-20' mounting heights **LLC4**[3,4,7] #4 lens for 21-40' mounting heights **Network system (SiteWise)** **SW** Integral module[8,9] **SW-MRI3** luminaire mounted sensor option Type 3 **SW-MRI7** luminaire mounted sensor option Type 7 **SW-MRO** pole mounted sensor option	**1** Single **2** 2 @ 180° **2@90** 2 @ 90° **3** 3@90° **3@120** 3@120° **4** 4@90° **W** Wall Mount, Recessed J-Box **WS** Wall Mount, Surface Conduit	**2** Type 2 **2-90** Type 2@90° **2-270** Type 2@270° **3** Type 3 **3-90** Type 3@90° **3-270** Type 3@270° **4** Type 4 **4-90** Type 4@90° **4-270** Type 4@270° **5** Type 5	**50LA-4835** 48 LEDs, 350mA **80LA-4853** 48 LEDs, 530mA **105LA-4870** 48 LEDs, 700mA **160LA-4814** 48 LEDs, 1A **180LA-6490** 64 LEDs, 900mA **210LA-6414** 64 LEDs, 1A **200LA-9670** 96 LEDs, 700mA **230LA-9680** 96 LEDs, 800mA **265LA-9690** 96 LEDs, 900 mA **310LA-9614** 96 LEDs, 1A	**NW** Neutral White 4000K, 70 min. CRI **CW** Cool White 5700K, 70 min. CRI **WW** Warm White 3000K, 70 min. CRI	**120** 120 **208** 208 **240** 240 **277** 277 **347** 347 **480** 480 **UNV** (120-277V) **HVU** (347-480V)	**BLP** Black Paint **WP** White Paint **BRP** Bronze Paint **NP** Natural Aluminum Paint **OC** Optional Color *Specify optional color or RAL ex: OC-LGP or OC-RAL7024.* **SC** Special Color Specify. *Must supply color chip. Requires factory quote.*	**F**[1] Fusing **LF**[4] In-Line/In-Pole Fusing **PC**[4,5,7] Photocontrol and Receptacle (includes PCR5) **PCR5**[4,5,7] Photocell Receptacle only with 2 dimming connections **PCR7**[4,5,6,7] Photocell Receptacle only with 2 dimming and 2 auxiliary connections **HS** External Houseside Shield **IS** Internal Houseside Shield (types 2, 3, 4 only) **CLR**[6] Clear Glass Lens (reduces performance) **RPA**[1] 3" Round Pole Adapter Required for 3" O.D. round or tapered round poles where top O.D. is less than 4" **RPA**[1] 4" and 5" Round Pole Adapter Required for 4"- 5" O.D. round poles **MA** Mast Arm Fitter - Mounts to a 2-3/8" O.D. mast arm. **TR1**[10] Single Transition **TR2**[10] Twin Transition **PTF2**[1] Pole Top Fitter 2 3/8" - 3" Dia. Tenon **PTF3**[1] Pole Top Fitter 3" - 3 1/2" Dia. Tenon **PTF4**[1] Pole Top Fitter 3 1/2" - 4" Dia. Tenon **SQPTF**[2] Square Pole Fitter

1. Available **120-277V** only.
2. Available **120** or **277V** only.
3. **MRSO** and **APD-MRO** luminaires require one motion sensor per pole, ordered separately. See page 2 for accessories.
4. Not available with Retrofit Kits (**GL18-RK**).
5. **LLC2**/**LLC3**/**LLC4**/**LLP** wireless system not configurable with **PC**/**PCR5**/**PCR7** Options. See pages 5-6 for more info.
6. Luminaire door frame and optic assembly provided standard without glass lens. Specify **CLR** option for clear glass lens.
7. Works with 3-pin or 5-pin NEMA photocell/dimming device.
8. If ordered with **DIM**, **APD**, **MRI**, **MRSO**, **APD-MRI**, **APD-MRO**, dimming will not be connected to NEMA receptacle.
9. Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).
10. Mounts to a 2-3/8" Top Tenon. Specify a round pole with a 4.50" O.D. for a smooth transition.
11. Not available in 120° mounting configurations.
12. Requires a 2-3/8"O.D. x 4" tenon or a 2.4" round pole top O.D. Specify Drilling (1, 2, 2@90, 3 or 4 only.)
13. **SW** option is not available with any other control options with the exception of **SW-MRI3**, **SW-MRI7** and **SW-MRO** motion response options.

1 LIGHT FIXTURE A, B, C AND D

Job:
Type:
Notes:

Poles

Tapered Round Aluminum - Cast Base

The Philips Gardco TRA tapered round aluminum pole consists of a one-piece design fabricated aluminum tubing circumferentially welded to a structural quality hot rolled carbon steel plate. The poles are finished with either Architectural Class I anodizing or electrostatically applied TGIC polyester powdercoat. All poles include anchor bolts, hand hole, ground lug and top cap.

PREFIX	BASE	HEIGHT	DRILLING	FINISH	OPTIONS

Enter the order code into the appropriate box above. Note: Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX

TRA

BASE

CB Fixed Cast Base

HEIGHT

8' **10'** **12' L,M**[1] **14' L,M**[1] **16' L,H**[1] **20' M,H**[1] **25' L,H**[1] **28' L,H**[1] **30' L,H**[1] **35' L,H**[1] **39' L,H**[1]

1. Refers to relative strength based on wind load factors. L=Light; M = Medium; H = Heavy.

DRILLING

D1 1 Way
D2 2 Way
D2@90 2 Way at 90°
D3 3 Way
D3@120 3 Way at 120°
D4 4 Way
T2 2 3/8" OD Tenon
T4 4" OD Tenon

FINISH

BRP Bronze Paint
BLP Black Paint
WP White Paint
NP Natural Aluminum Paint
BRA Bronze Anodized
BLA Black Anodized
NA Natural Anodized
OC Optional Color Paint
Specify Optional Color or RAL ex: OC-LGP or OC-RAL7024.
SC Special Color Paint
Specify. Must supply color chip.

OPTIONS

DR Duplex Receptacle
GFCI Ground Fault Receptacle
VDA Vibration Dampener

Nipples and Couplings

Indicate size (1 1/2", 3/4", 1", 1 1/4", 1 1/2".) Indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.

NL Nipple - External thread
CL Coupling - Internal thread

Single Mount Bullhorn Brackets

Indicate height above base and orientation to hand hole. See Pole Orientation Information on Page 4.

A15BH-19 Single - 1.9" OD
A15BH-24 Single - 2.4" OD
A215BH-19 2-Tenon - 1.9" OD
A215BH-24 2-Tenon - 2.4" OD

Motion Response Provisions

GMR Provision for Gardco HID Motion Response System
Minimum Pole Height is 18', Includes a 1/2" coupling placed 180° to the hand hole, 12' above the pole base.
MSM Motion Sensor Mounting Provision for LED Luminaires available with Motion Response
Minimum Pole Height is 18'. Includes a special hand hole with 1/2" coupling placed in the cover plate, 180° to the hand hole, 15' above the pole base.

1611 Clovis Barker Road, San Marcos,TX 78666
(800) 227-0758 (512) 753-1000 FAX:(512) 753-7855 sitelighting.com

79415-24/0611

PHILIPS
GARDCO

2 LIGHT POLE

Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

MICHAEL SIURA
NY Registered Landscape Architect No. 001901-1

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300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE
PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

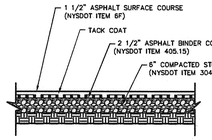
Drawing Title
LIGHTING SCHEDULE, NOTES, AND DETAILS

Project No.	9133101	Drawing No.
Date	JULY 18, 2018	25.02
Scale	AS SHOWN	
Drn. By	YZ	
	--	

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
Chairman 2/4/2019

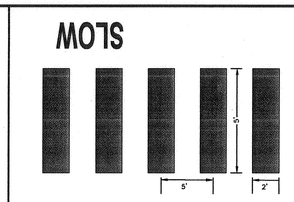
PLANNING BOARD TRACKING NO. 2007-05

Filename: \\langan.com\data\PAR\data1\9133101\Cadd Data - 9133101\Dwg\9133101 2502.dwg Date: 8/20/2018 Time: 16:01 User: yzhu Style Table: Langan.stb Layout: 25.02



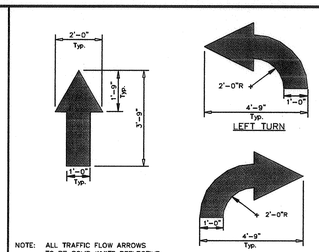
NOTE:
PAVEMENT THICKNESS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER

ASPHALT PAVEMENT NTS



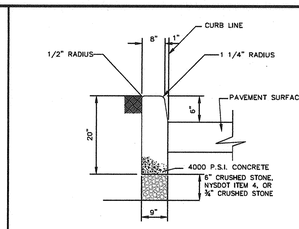
NOTE: CROSSWALK STRIPING TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT.

CROSSWALK MARKINGS



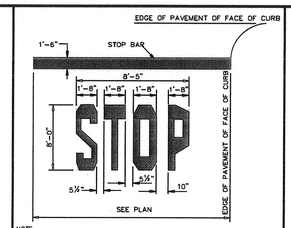
NOTE: ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.

TRAFFIC FLOW ARROW



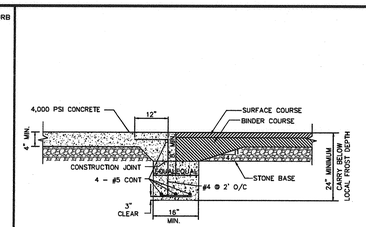
NOTE: CONCRETE TO TEST 4,000 P.S.I. MINIMUM ON 28 DAY TEST. AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3" MAXIMUM. CONCRETE MUST BE STANDARD CONCRETE.

CONCRETE CURB DETAIL NTS

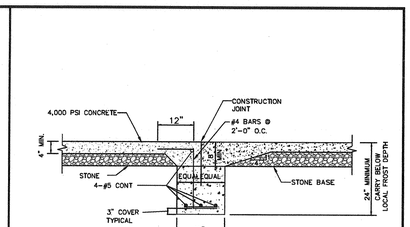


NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE TRAFFIC PAINT.

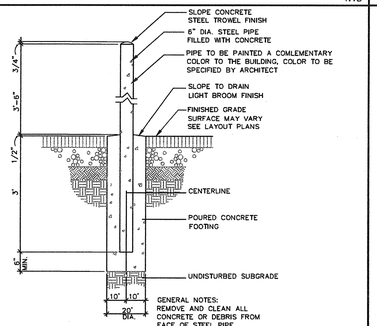
STOP BAR NTS



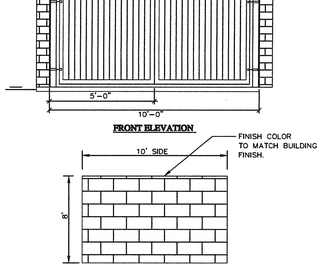
ASPHALT / CONCRETE JOINT

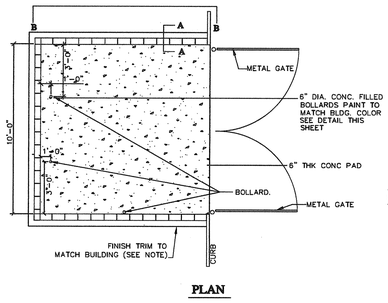


BUILDING SLAB / CONCRETE JOINT

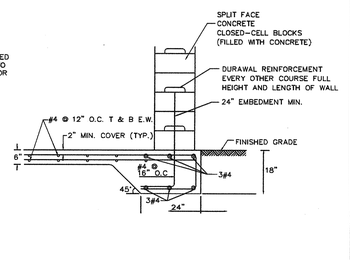


BOLLARD DETAIL NTS

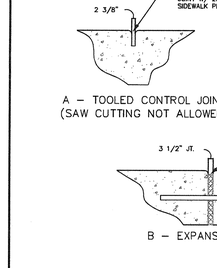




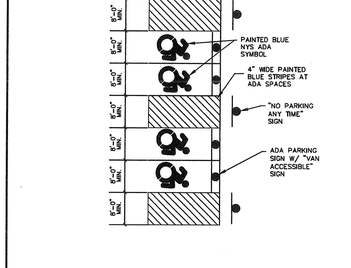
NOTE: COORDINATE WITH ARCHITECTURAL PLANS FOR FINISHES AND HARDWARE SPECIFICATIONS/DETAILS.



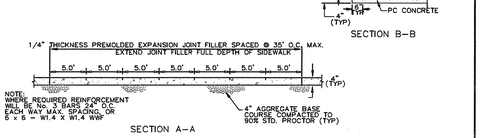
TRASH ENCLOSURE NTS



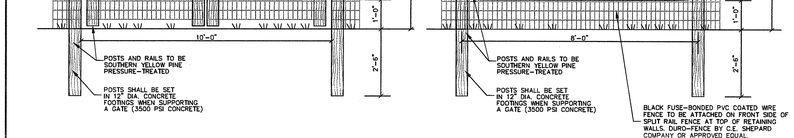
JOINTS AT SIDEWALK NTS



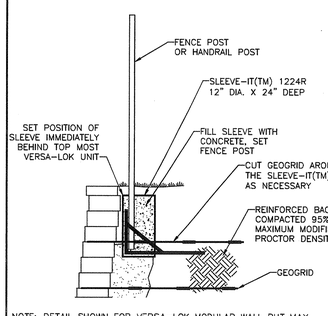
ADA PARKING DETAIL NTS



CONCRETE SIDEWALK NTS

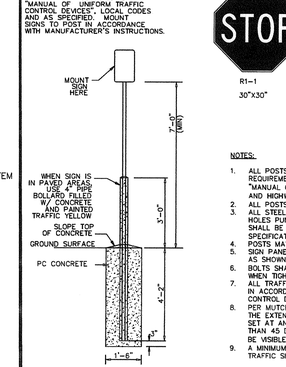


SPLIT-RAIL FENCE & GATE NTS

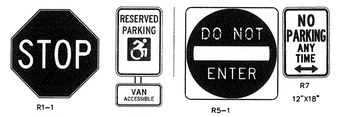


NOTE: DETAIL SHOWN FOR VERSA-LOK MODULAR WALL BUT MAY VARY IF APPROVED EQUAL WALL SYSTEM IS USED.

RETAINING WALL POST DETAIL NTS



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

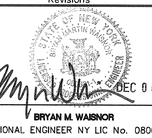


NOTES:
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS"
2. ALL POSTS SHALL BE DRIVEN 4'–0" MINIMUM BELOW GRADE.
3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123–78 (OR LATEST REVISED).
4. POSTS MAY BE STEEL, ALUMINUM, OR TWO PIECE U–POST.
5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
7. ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.
8. PER MUTCD "WHEN SIGNS WITH ARROWS ARE USED TO INDICATE THE EXTENT OF THE RESTRICTED ZONES, THE SIGNS SHOULD BE SET AT AN ANGLE OF NOT LESS THAN 30 DEGREES OR MORE THAN 45 DEGREES WITH THE LINE OF TRAFFIC FLOW IN ORDER TO BE VISIBLE TO APPROACHING TRAFFIC."
9. A MINIMUM 7'–0" CLEARANCE MUST BE PROVIDED AT ALL TRAFFIC SIGN POSTS INCLUDING THOSE WITH MULTIPLE SIGNS.

TYPICAL TRAFFIC SIGN NTS

No.	Description	Date
2.	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	12/6/2018
1.	REVISED PER TOWN COMMENTS	8/22/2018

Revisions



BRYAN M. WARNOR
PROFESSIONAL ENGINEER NY LIC No. 080661–1

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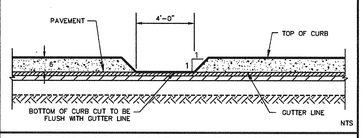
NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
DETAIL SHEET

Project No. 9133101	Drawing No. 28.01
Date July 18, 2018	
Scale AS SHOWN	
Drn. By AEB	

STRUCTURES SHOWN ON THESE DRAWINGS INCLUDING BUT NOT LIMITED TO, DRAINAGE STRUCTURES (INLETS, CATCH BASINS AND MANHOLES), SANITARY MANHOLES, METER PITS AND UNDERGROUND VAULTS ARE NOT STRUCTURALLY DESIGNED. THE DETAILS PROVIDE TYPICAL DIMENSIONS, LOCATIONS OF THE PIPE PENETRATIONS, PIPE INVERTS AND GROUND ELEVATIONS AT THE STRUCTURE RIM OR GRATE ONLY. THE STRUCTURAL DESIGN INCLUDING WALL AND SLAB THICKNESS AS WELL AS REINFORCING SHALL BE THE RESPONSIBILITY OF THE PRECAST MANUFACTURER TO MEET DEPARTMENT OF TRANSPORTATION STANDARDS AND HS-20 OR HS-25 LOADING REQUIREMENTS WHEN POSITIONED IN TRAVELED WAYS.



NTS

FLUSH CURB OPENING

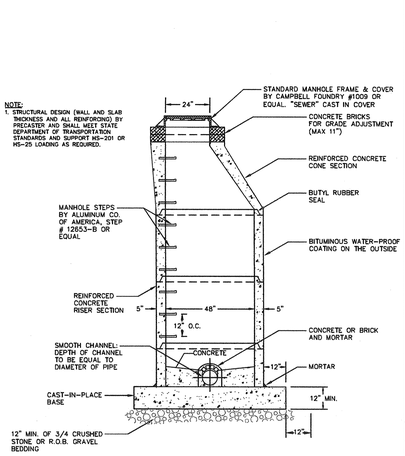
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DETAILS TO THE OWNER'S ENGINEER FOR REVIEW.

CONTRACTOR SUBMITTAL NOTE

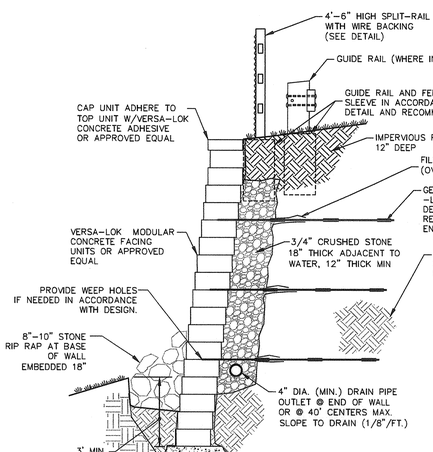
WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

PLANNING BOARD CHAIRPERSON _____ DATE _____
JOHN P. EWASUTYN

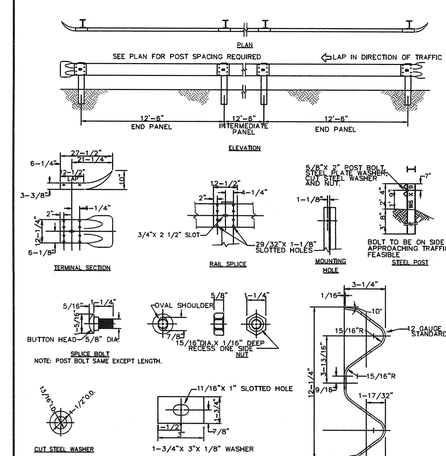


DOGHOUSE MANHOLE



NOTE:
1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN, FOR ALL WALLS IN EXCESS OF 4 FEET HEIGHT, SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL BY TOWN OF NEWBURGH CODE DEPARTMENT PRIOR TO WALL CONSTRUCTION.
3. COLORS OF RETAINING WALL ARE TO BE EARTHTONE.

RETAINING WALL NTS



STEEL GUIDE RAIL NTS

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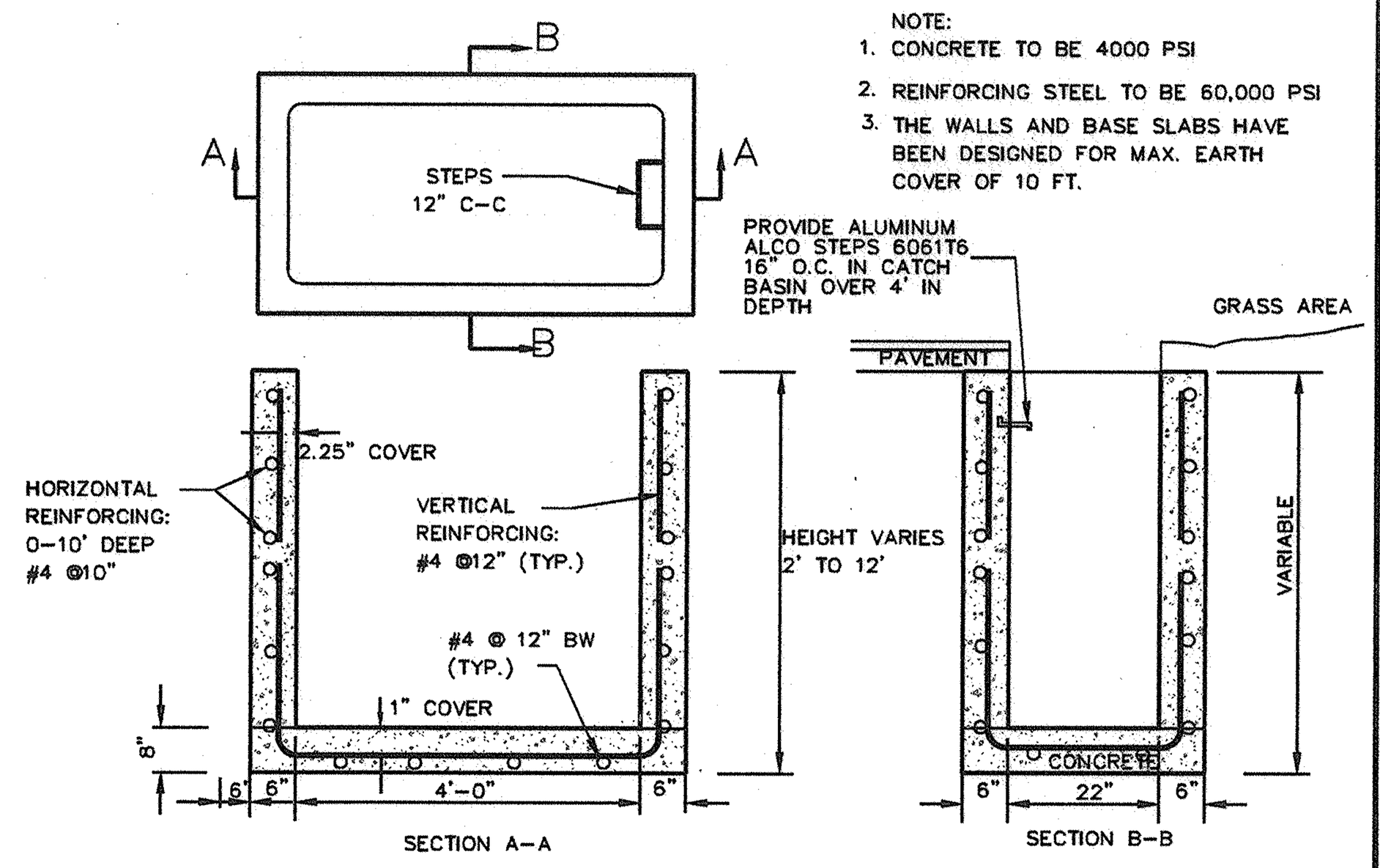
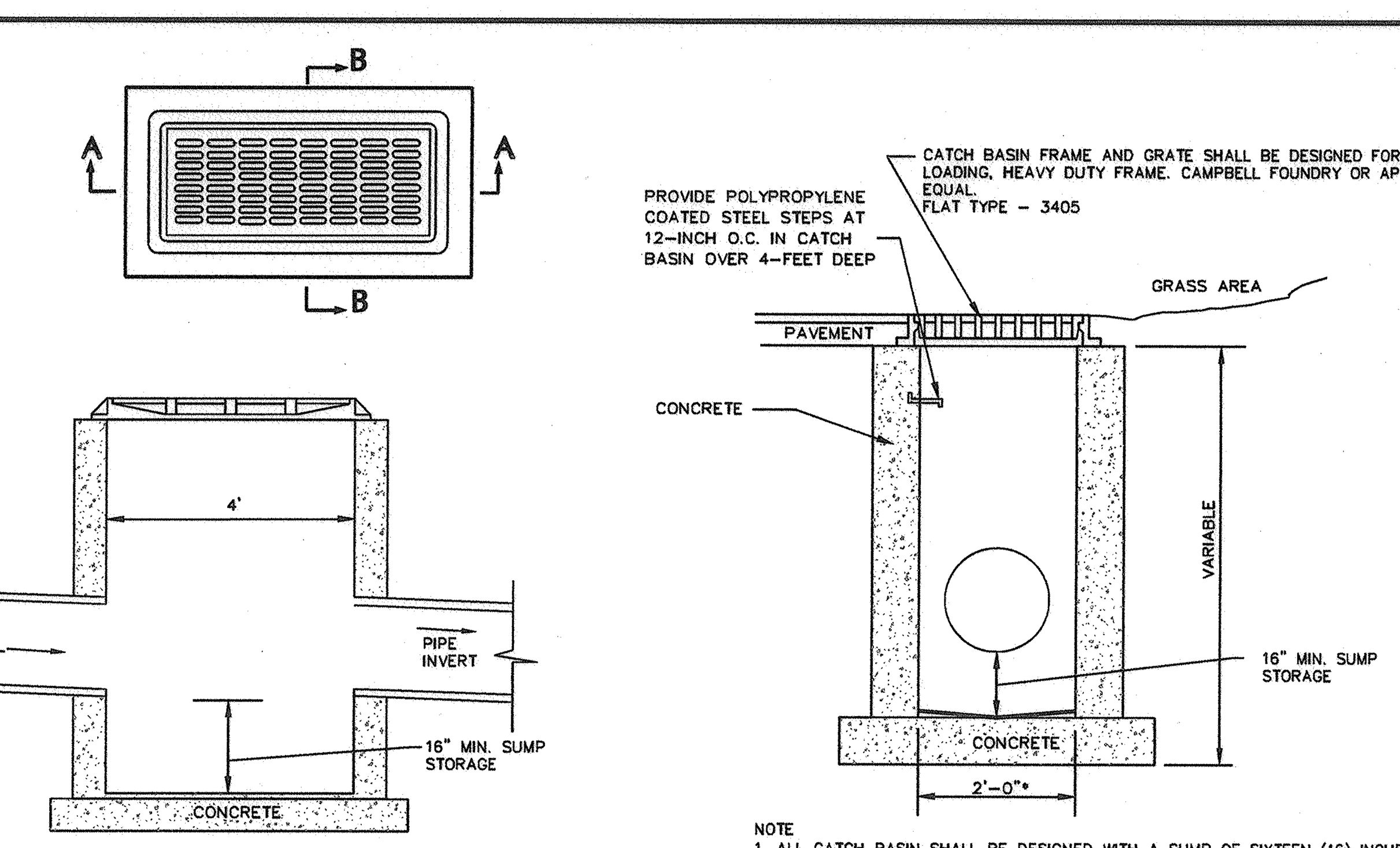


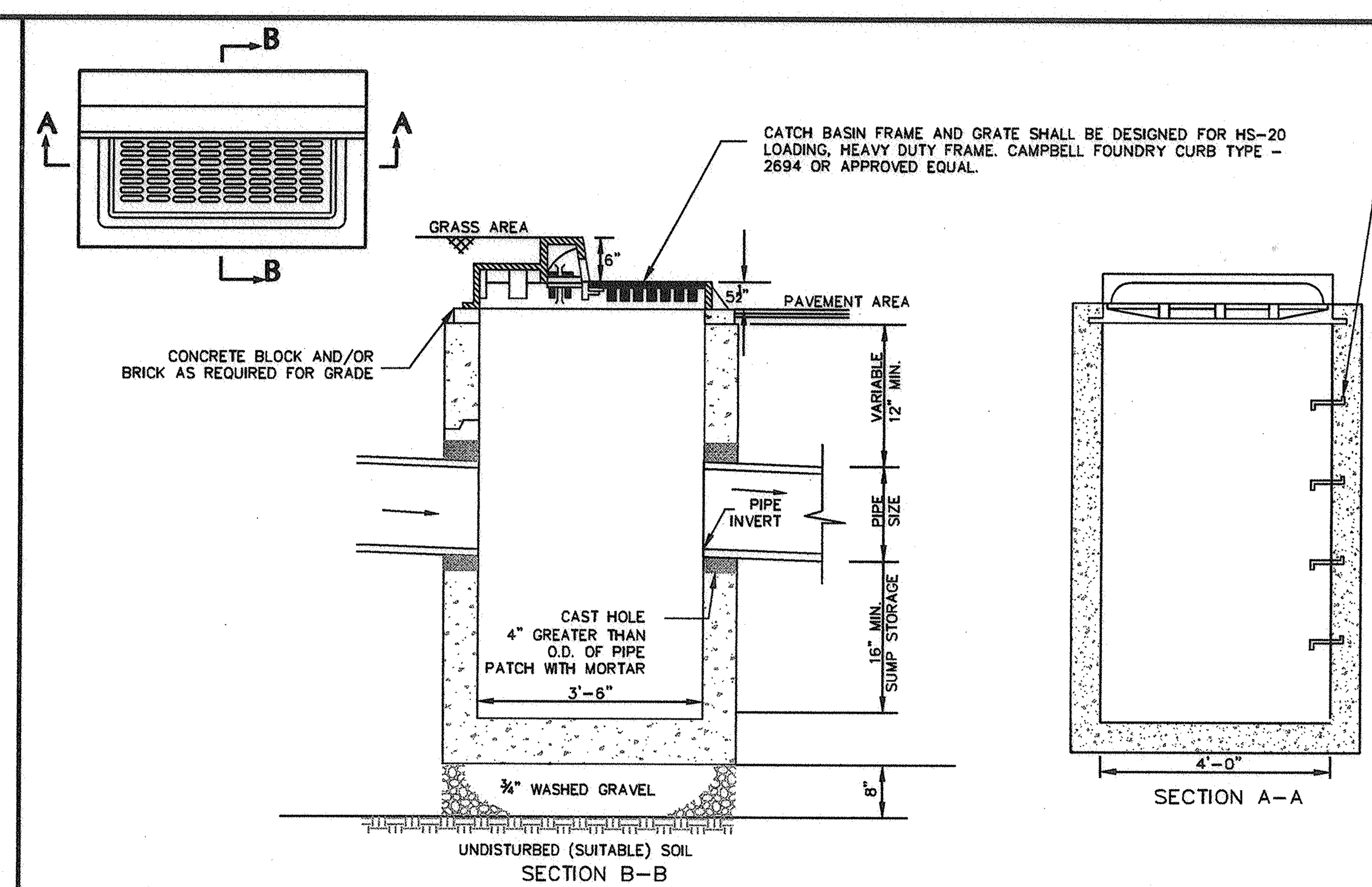
NOTE:
1. CONCRETE TO BE 4000 PSI
2. REINFORCING STEEL TO BE 60,000 PSI
3. THE WALLS AND BASE SLABS HAVE BEEN DESIGNED FOR MAX. EARTH COVER OF 10 FT.

ELECTRIC PULL BOX



NOTE
1. ALL CATCH BASIN SHALL BE DESIGNED WITH A SUMP OF SIXTEEN (16) INCHES.
2. STRUCTURAL DESIGN (WALL AND SLAB THICKNESS AND ALL REINFORCING) BY PRECASTER AND SHALL MEET STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SUPPORT HS–20 OR HS–25 LOADING AS REQUIRED.

STORMWATER INLET - FLAT TYPE



NOTE
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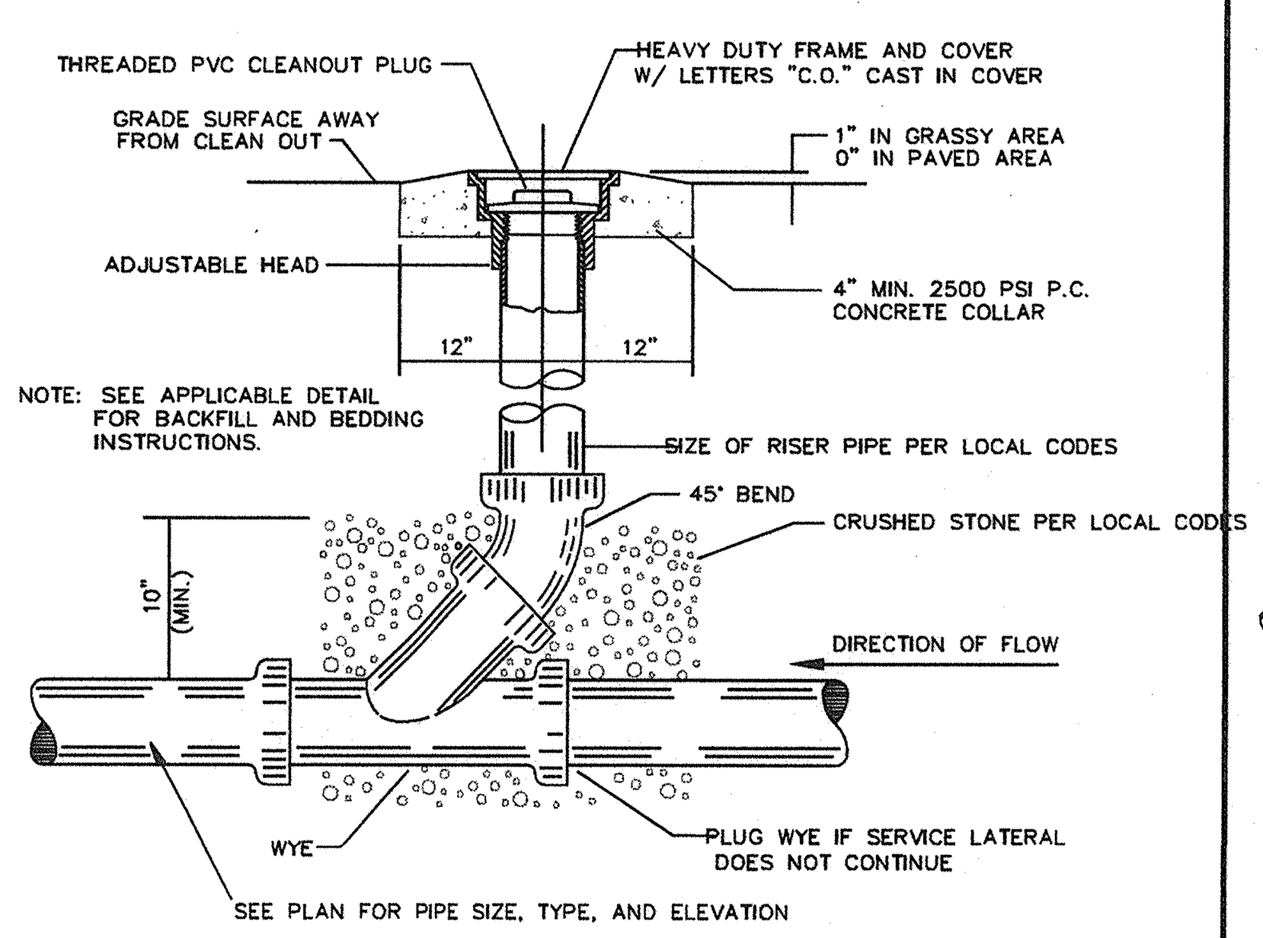
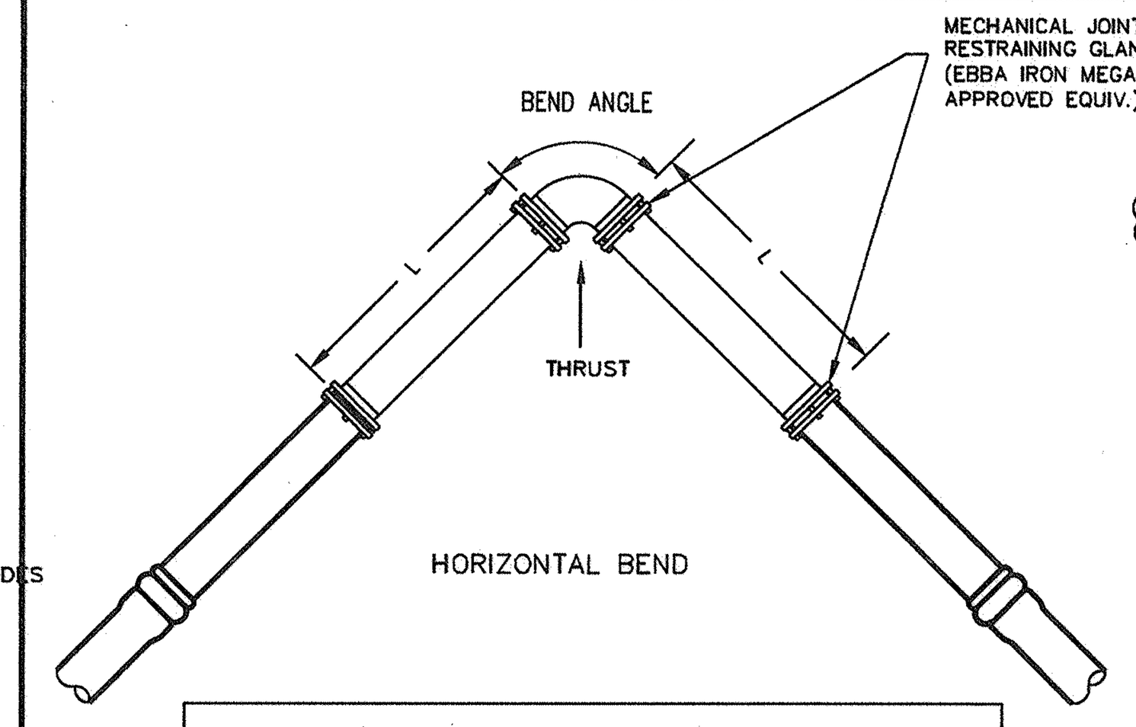
2. STRUCTURAL DESIGN (WALL AND SLAB THICKNESS AND ALL REINFORCING) BY PRECASTER AND SHALL MEET STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SUPPORT HS–20 OR HS–25 LOADING AS REQUIRED.

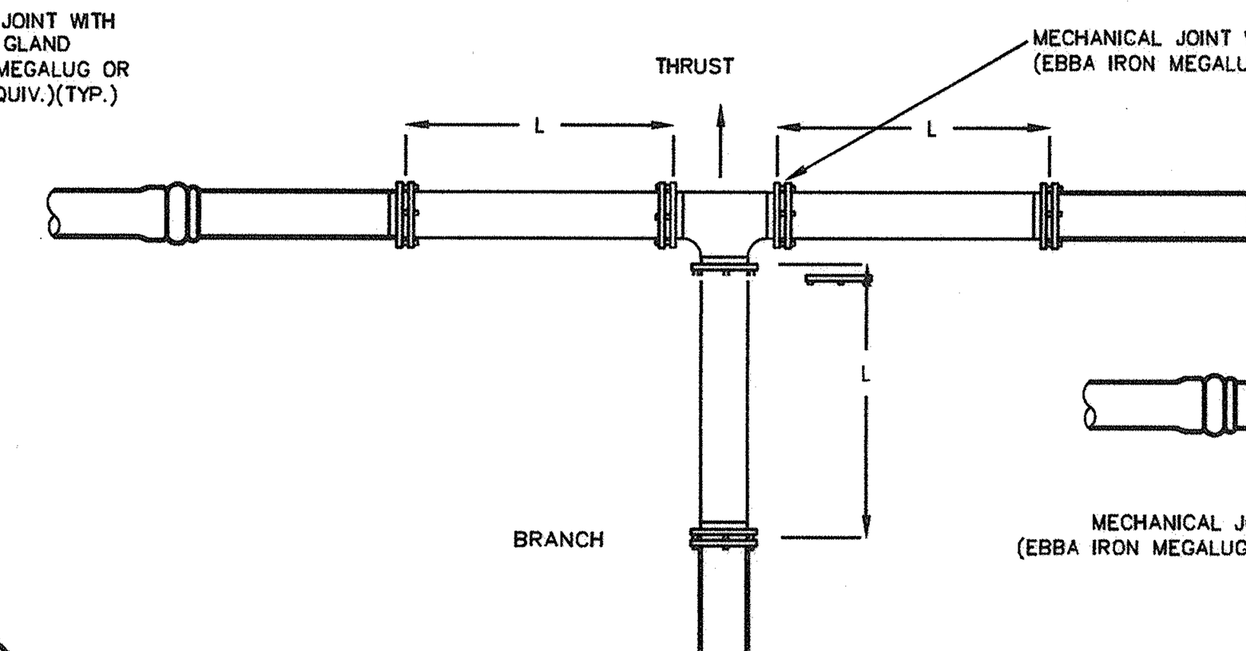
STORMWATER INLET - CURB TYPE



SANITARY SEWER CLEAN-OUT

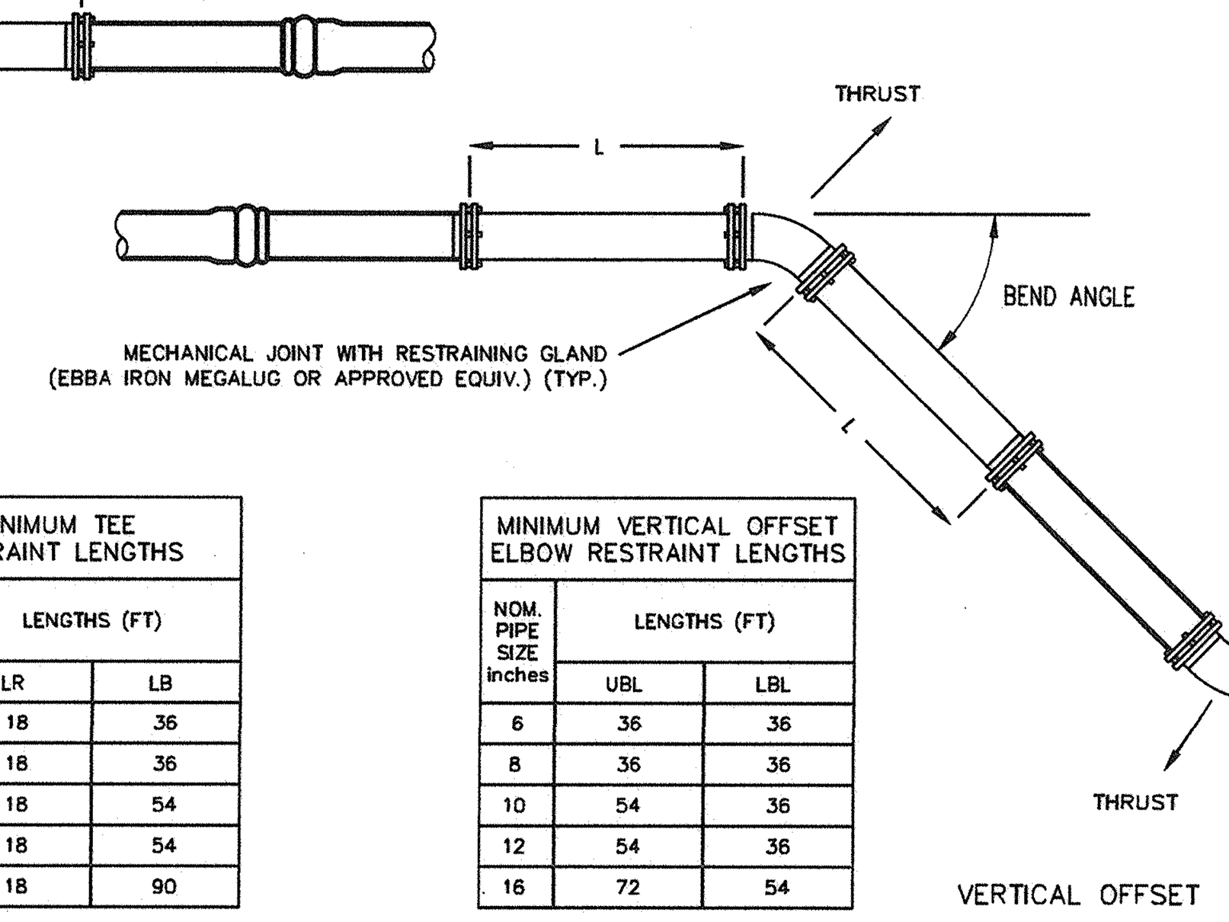


MINIMUM HORIZONTAL ELBOW RESTRAINT LENGTHS					
NOM. PIPE SIZE inches	L (FT)				CLOSED VALVES, & DEAD ENDS
	11 ¼°	22 ½°	45°	90°	
6	18	18	36	54	56
8	18	18	36	54	73
10	18	18	36	54	88
12	18	18	36	72	104
16	18	18	36	90	134



MINIMUM TEE RESTRAINT LENGTHS		
NOM. PIPE SIZE inches	LENGTHS (FT)	
	LR	LB
6	18	36
8	18	36
10	18	54
12	18	54
16	18	90

TEE

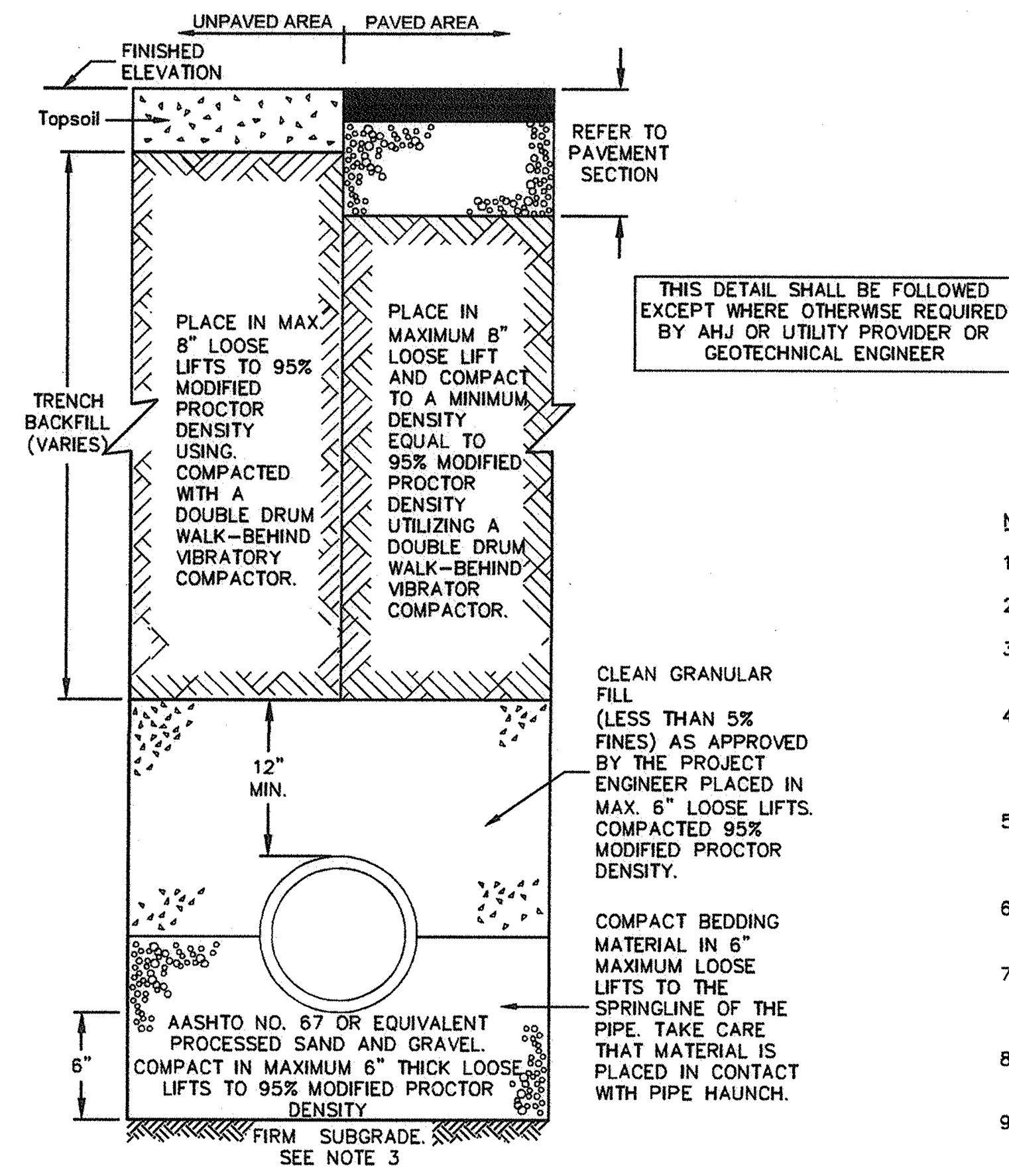


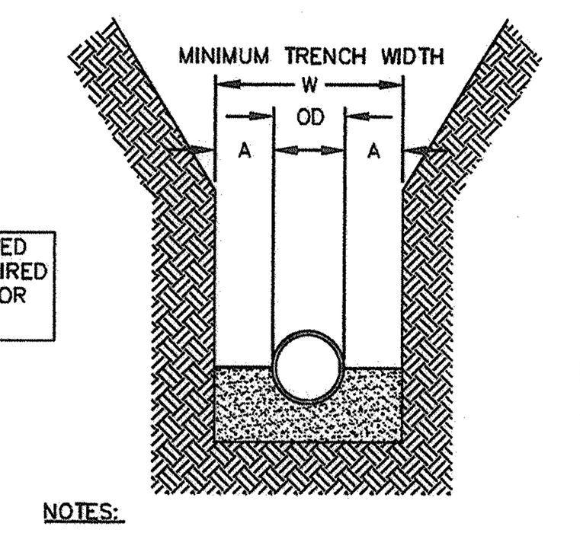
MINIMUM VERTICAL OFFSET ELBOW RESTRAINT LENGTHS		
NOM. PIPE SIZE inches	LENGTHS (FT)	
	UBL	LBL
6	36	36
8	36	36
10	54	36
12	54	36
16	72	54

VERTICAL OFFSET

NOTES:
1. ALL RESTRAINING GLANDS TO BE IN ACCORDANCE WITH TOWN OF NEWBURGH STANDARDS
2. ALL RESTRAINED JOINTS TO BE MECHANICAL JOINT FITTINGS.
3. ALL JOINTS THAT FALL WITHIN THE MINIMUM LENGTH "L" BEFORE AND AFTER THE ELBOW MUST BE RESTRAINED. IF NO JOINTS ARE ENCOUNTERED WITHIN THIS DISTANCE, THE NEXT CLOSEST JOINT DOES NOT NECESSARILY HAVE TO BE RESTRAINED.
4. MINIMUM LENGTH "L" MAY CHANGE DUE TO VARYING SOIL CONDITIONS OR AT THE DISCRETION OF THE ENGINEER.
5. THE FOLLOWING MUST BE RESTRAINED IN ALL APPLICATIONS:
   (A) BEND (INLET & OUTLET)
   (B) TEE (OUTLET BRANCH)
   (C) WYE (OUTLET BRANCH)
   (D) OFFSETS (INLET & OUTLET)
   (E) CAPS & PLUGS

WATERLINE PIPE THRUST RESTRAINING DETAIL





Pipe Diameter "D"	Maximum "A"
6" to 15"	8"
16" to 21"	10"
24" to 30"	12"
33" to 42"	15"
48" & Larger	18"

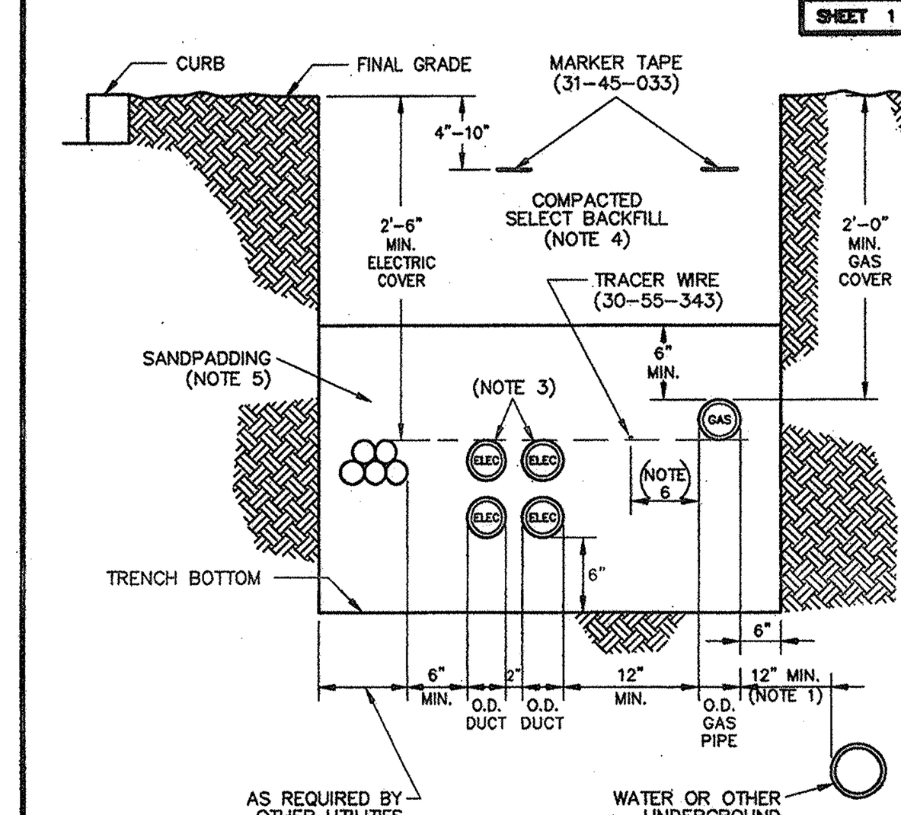
NOTE:
1. MAXIMUM TRENCH WIDTH "W" TAKEN AT TOP OF PIPE.

NOTES:
1. ALL TRENCH EXCAVATIONS ARE TO BE DONE IN COMPLIANCE WITH OSHA REGULATIONS.
2. MINIMUM TRENCH WIDTHS TO BE IN ACCORDANCE WITH THE CHART ABOVE.
3. IF SOFT SOIL IS ENCOUNTERED AT BEDDING SUBGRADE, THE SOFT SOIL IS TO BE REMOVED (TO A MAXIMUM DEPTH OF 2 FT) AND REPLACED WITH ¾" CLEAN CRUSHED STONE.
4. TRENCH BACKFILL SHALL BE PREDOMINANTLY GRANULAR FILL MATERIAL AS APPROVED BY THE PROJECT ENGINEER. MATERIAL EXCAVATED FROM THE TRENCH MAY BE USED FOR BACKFILL PROVIDED IT IS PREDOMINATELY SAND AND IS AT WATER CONTENT THAT THE MATERIAL CAN BE READILY COMPACTED TO THE DENSITY REQUIRED.
5. WITHIN PUBLIC RIGHT OF WAY BENEATH PAVEMENT, THE BACKFILL MATERIAL SHALL BE CLEAN CRUSHED STONE EQUIVALENT TO AASHTO NO. 67 OR ¾" STONE, UNLESS AUTHORITY HAVING JURISDICTION REQUIRES OTHERWISE.
6. IF APPLICABLE, MAGNETIC UNDERGROUND MARKING TAPE TO BE PROVIDED FOR PLASTIC WATER, AND SANITARY FORCE MAINS. BURY 18" FROM FINISHED GRADE.
7. IN AREAS WHERE THERE IS NOT SUFFICIENT WIDTH FOR A DOUBLE DRUM WALK BEHIND VIBRATORY COMPACTOR THE LIFT THICKNESS SHALL BE DECREASED AS NECESSARY TO ACHIEVE COMPACTION WITH APPROPRIATE EQUIPMENT.
8. MAXIMUM PARTICLE SIZE FOR TRENCH BACKFILL SHALL BE 4 INCHES UNLESS APPROVED OTHERWISE BY PROJECT ENGINEER.
9. BACKFILL CONTAIN NO DELETERIOUS OR CONTAMINATED MATERIAL.

NTS

PIPE TRENCH DETAIL FOR SANITARY SEWER, AND STORM SEWER PIPE

FIG. 11
SHEET 1 OF 1

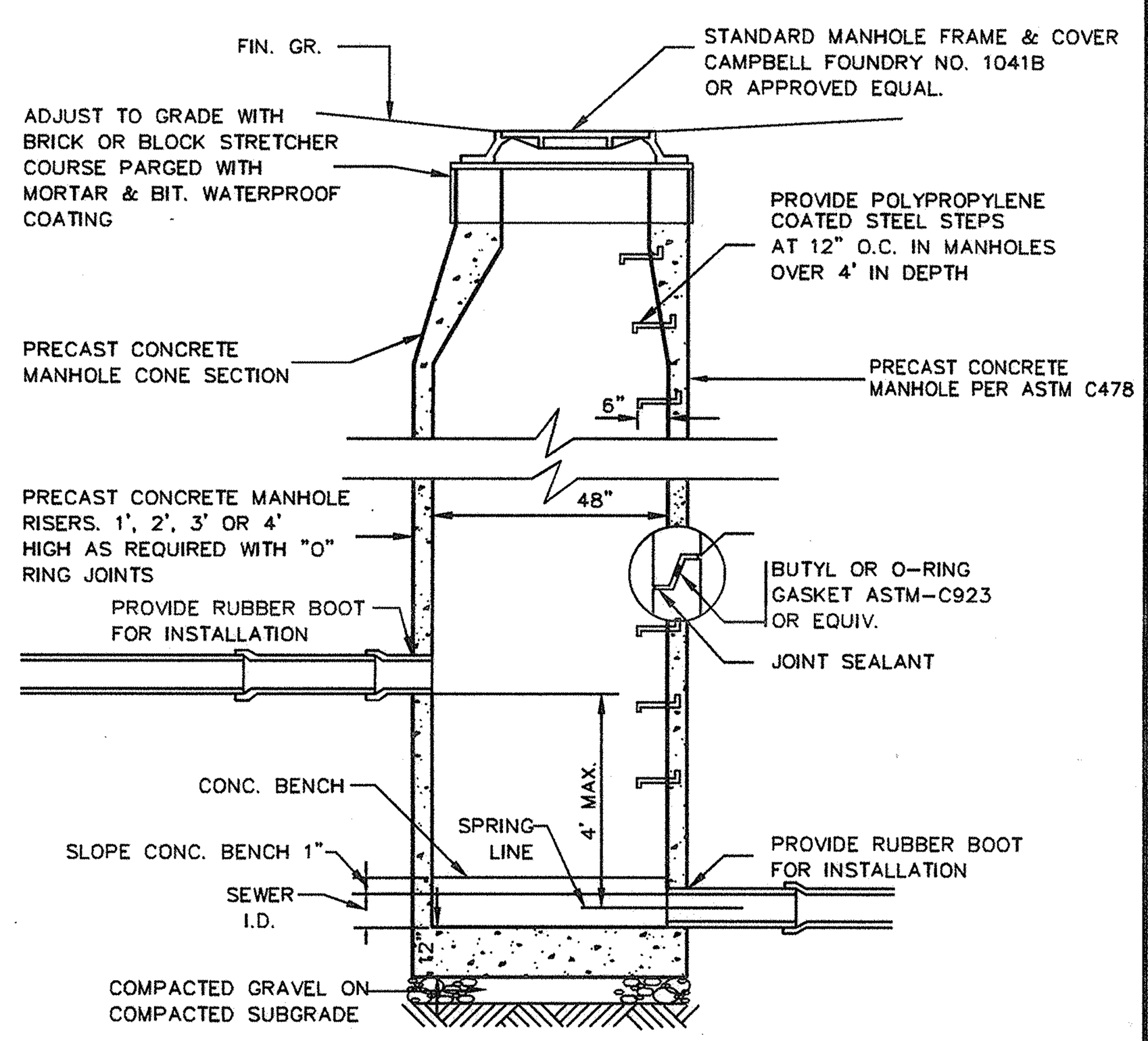


NOTES:
1. THE MINIMUM CLEARANCE FROM GAS TO OTHER UTILITIES SUCH AS WATER & SEWER SHALL BE 12". CONSULT WITH OTHER UTILITIES OR REVIEW LOCAL ORDINANCES FOR ADDITIONAL CLEARANCE REQUIREMENTS. IF 12" CLEARANCE IS NOT POSSIBLE, REFER TO FIGURE 19 OF THE SPECIFICATIONS AND REQUIREMENTS OF GAS INSTALLATIONS.
2. GAS SHALL BE INSTALLED ON THE FIELD SIDE OF THE ELECTRIC.
3. SPACING SHALL BE MAINTAINED FOR CONCRETE ENCASED DUCTS.
4. COMPACTED SELECT BACKFILL MAY BE ON–SITE MATERIAL PROVIDED IT CONTAINS NO ROCKS OR STONES OVER 6" IN DIAMETER, ROOTS, STUMPS OR CONSTRUCTION DEBRIS.
5. REFER TO FIGURE 20 FOR DEFINITION OF SANDPADDING.
6. LOCATE TRACER WIRE A SUFFICIENT DISTANCE FROM PLASTIC PIPE TO MINIMIZE TRACER WIRE TO PIPE CONTACT.

ELECTRIC STANDARDS	CENTRAL HUDSON GAS & ELECTRIC CORP.	DATE 6/1/06
DRAWN.	TYPICAL COMMON TRENCH CONFIGURATION ELECTRIC DUCTS W/GAS MAIN AND OTHER UTILITIES	ISSUE
CLEAR		APP.
ENGR.		APP.
APP.		

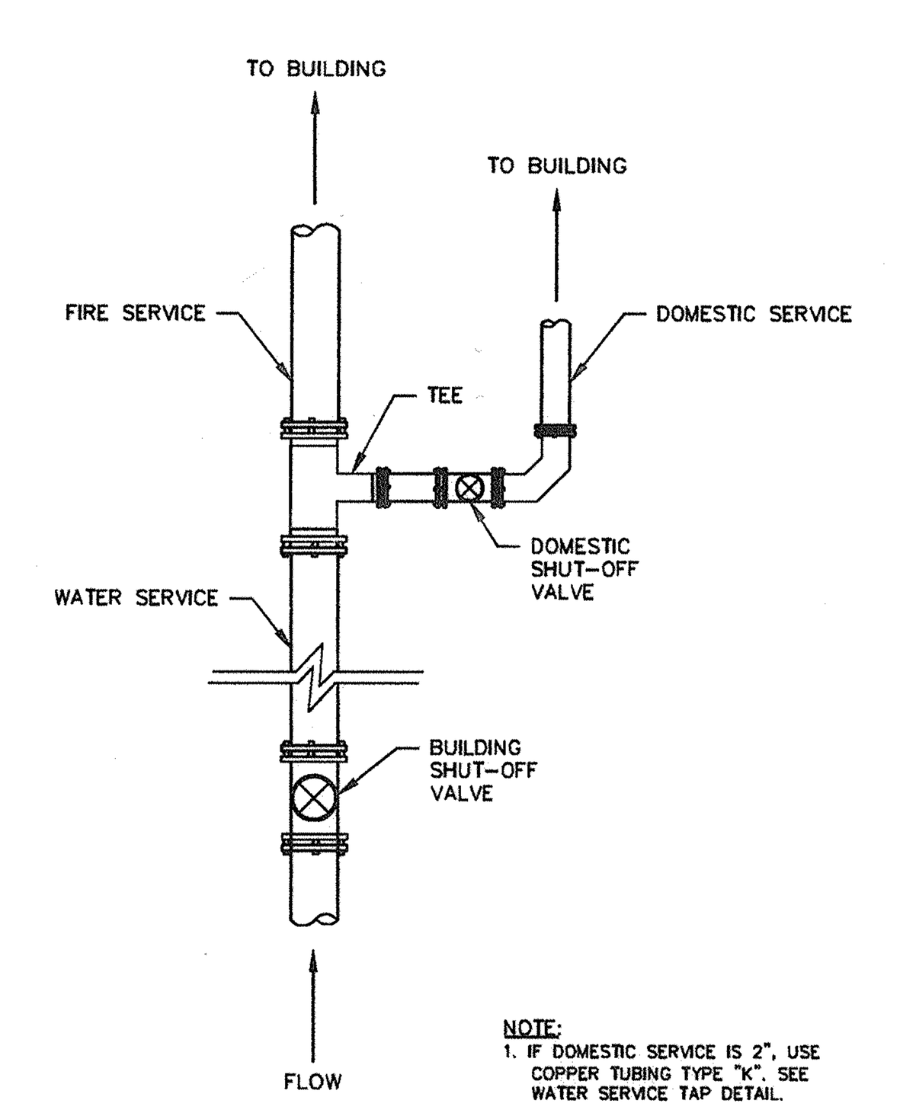
CAD DRAWING DO NOT REVISE MANUALLY

TYPICAL TRENCH CONFIGURATION FROM CENTRAL HUDSON GAS & ELECTRIC



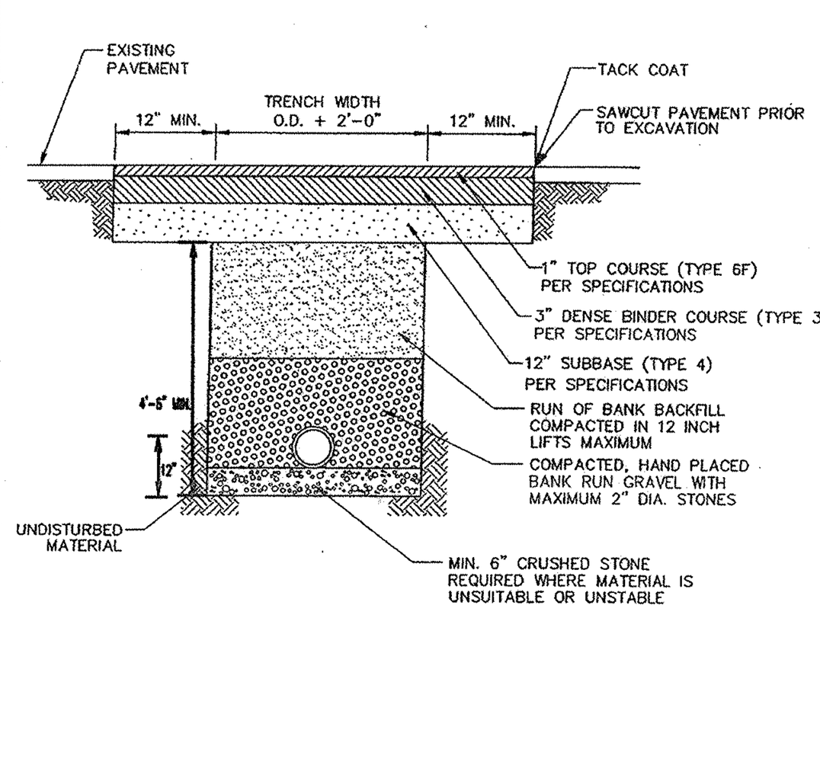
NOTE:
1. PRECAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH LATEST ASMTM DESIGNATION C–478.
2. SOIL CONDITIONS BELOW MANHOLE FOOTINGS ARE DEEMED UNSUITABLE BY FIELD ENGINEER SHALL BE EXCAVATED TO SUITABLE MATERIAL OR A MAXIMUM OF TWO ADDITIONAL FEET AND FILLED WITH 3/4" STONE.
3. PRECAST CHANNELS SHALL NOT BE USED FOR BENDS GREATER THAN 45°. POURED CONCRETE LONG RADIUS CHANNELS SHALL BE CONSTRUCTED
4. STRUCTURAL DESIGN (WALL AND SLAB THICKNESS AND ALL REINFORCING) BY PRECASTER AND SHALL MEET STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SUPPORT HS–20 OR HS–25 LOADING AS REQUIRED.

PRE-CAST SANITARY SEWER MANHOLE



NOTE:
1. IF DOMESTIC SERVICE IS 2", USE COPPER TUBING TYPE "K". SEE WATER SERVICE TAP DETAIL.

FIRE/POTABLE WATER SERVICE

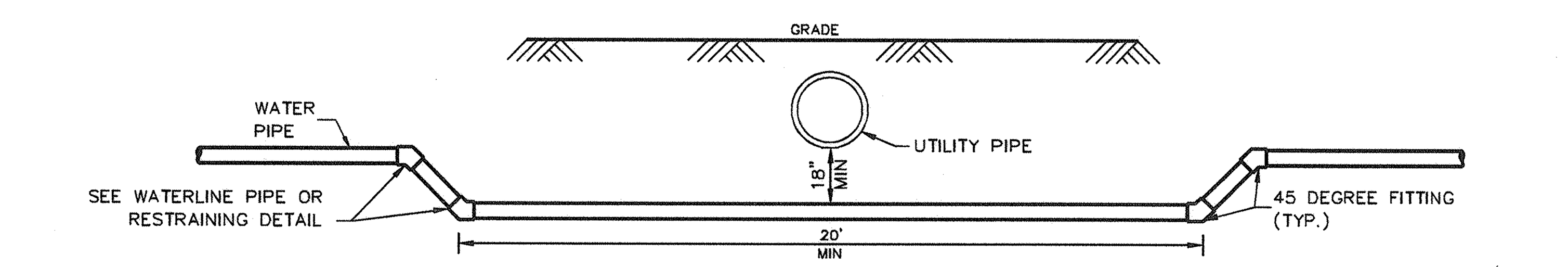


1) NOTE: MAXIMUM DEPTH OF COVER NOT TO EXCEED 6' WITHOUT APPROVAL OF THE TOWN WATER SUPERINTENDENT.
2) ALL SOIL COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL SPECIFICATIONS

TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
WATERMAIN TRENCH EXCAVATION AND BACKFILL (UNDER PAVEMENT)
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DETAILS TO THE OWNER'S ENGINEER FOR REVIEW.

CONTRACTOR SUBMITTAL NOTE



NOTE:
ONE FULL LENGTH OF WATER PIPE SHOULD BE CENTERED UNDER THE CROSS PIPE SO THAT ALL JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE

WATER SERVICE

TOWN OF NEWBURGH APPROVAL BOX
TOWN PROJECT #

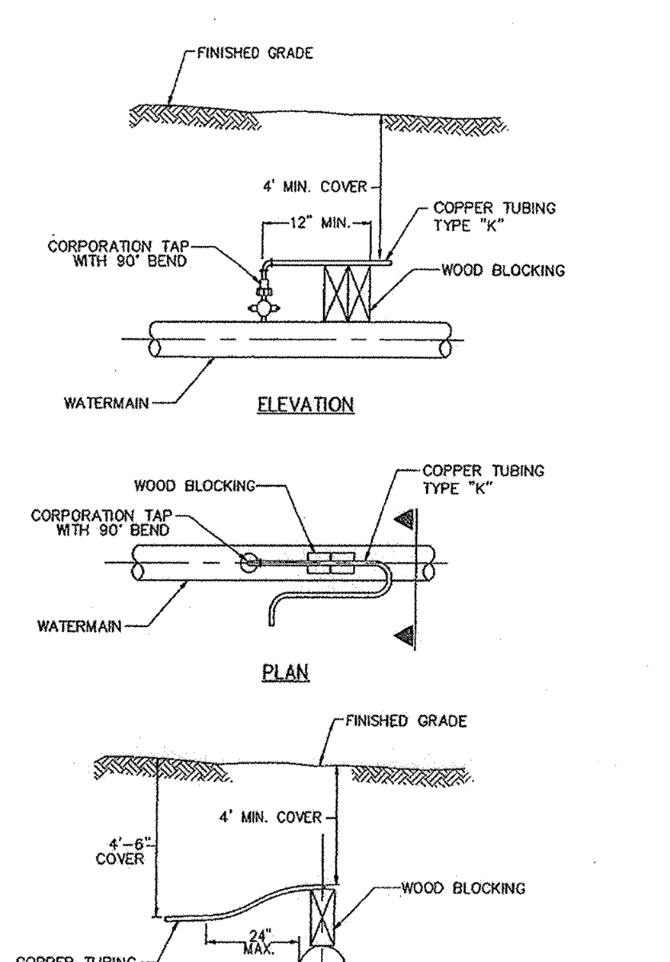
PLANNING BOARD CHAIRPERSON
JOHN P. EWASUTYN
DATE

WARNING:
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

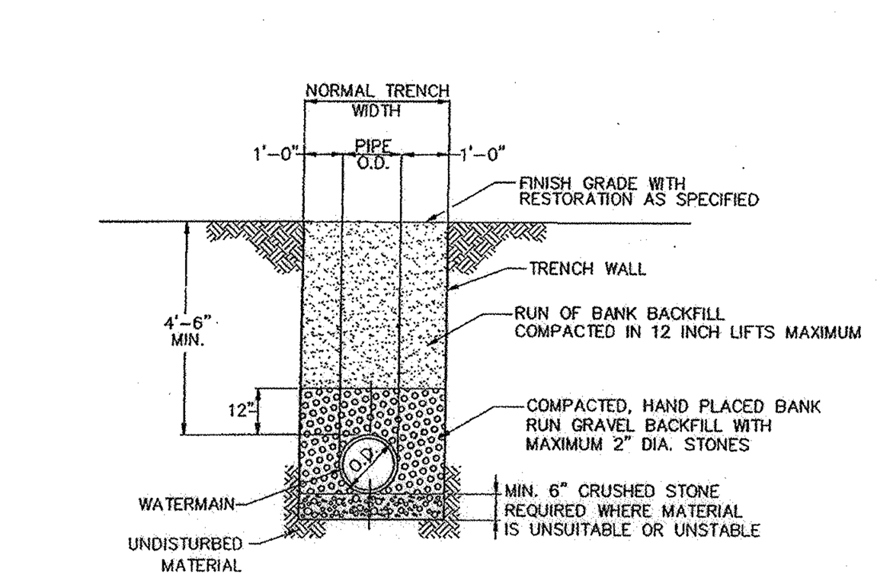
Date	Description	No.
12/6/2018	REVISED FOR FINAL TOWN SIGN-OFF AND ORANGE COUNTY DEPT. OF HEALTH COMMENTS	2.
8/22/2018	REVISED PER TOWN COMMENTS	1.

Revisions

STATE OF NEW YORK BRYAN MARTIN WAISNOR PROFESSIONAL ENGINEER
[illegible]
DEC 0 6 2018
BRYAN M. WAISNOR
PROFESSIONAL ENGINEER NY LIC No. 080661–1

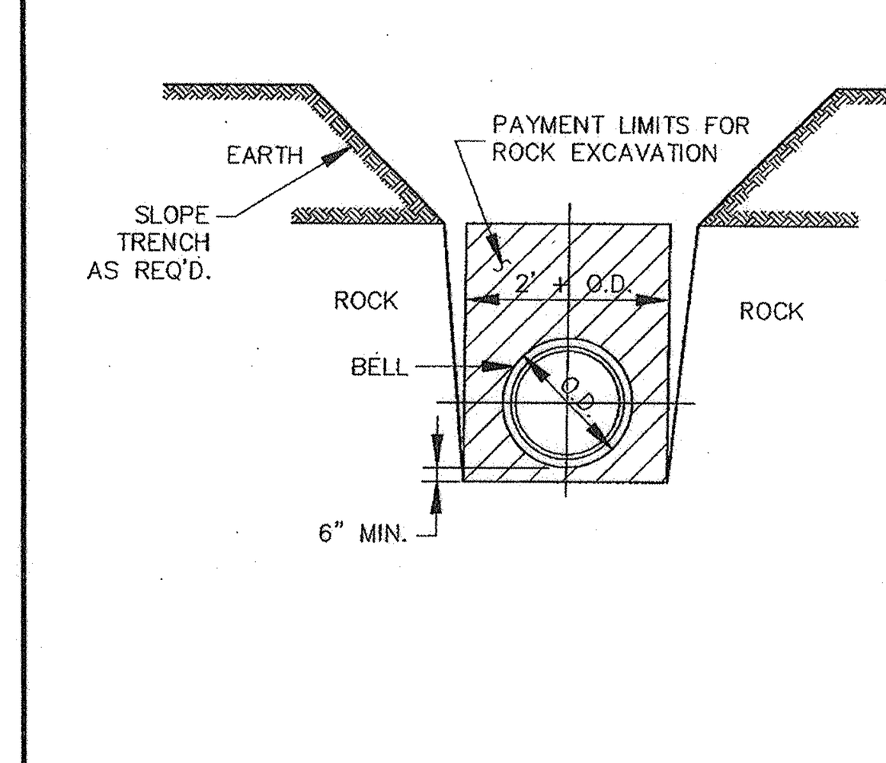


TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
WATER SERVICE TAP
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE

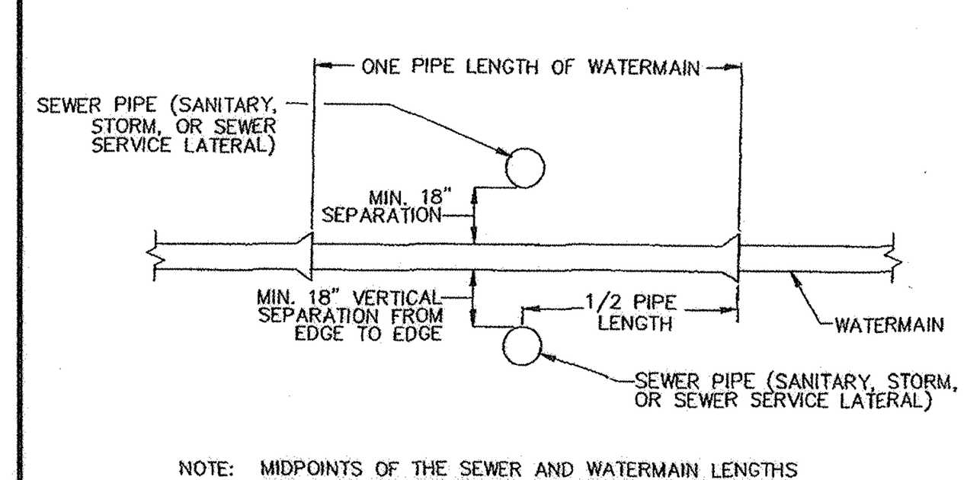


1) NOTE: MAXIMUM DEPTH OF COVER NOT TO EXCEED 6' WITHOUT APPROVAL OF TOWN WATER SUPERINTENDENT.
2) ALL SOIL COMPACTION TO BE IN ACCORDANCE WITH GEOTECNICAL SPECIFICATIONS

TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
WATERMAIN TRENCH EXCAVATION AND BACKFILL (OUTSIDE OF PAVEMENT)
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE

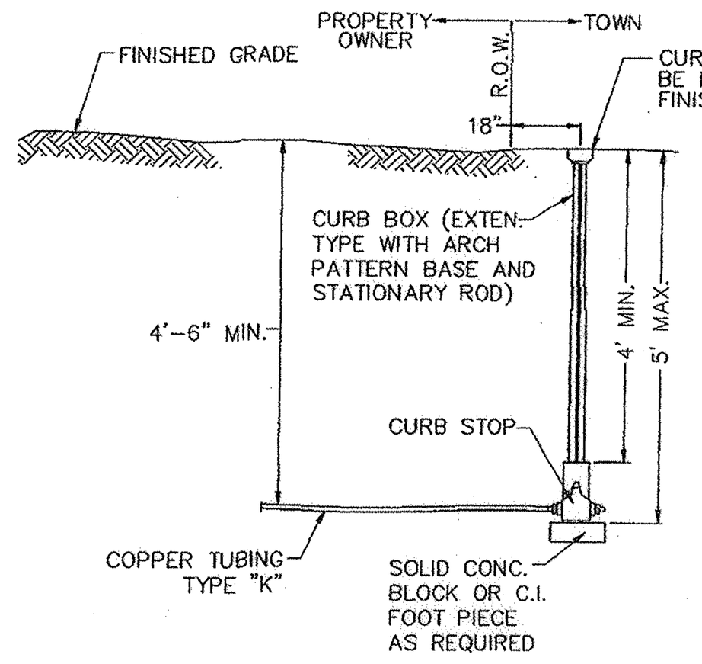


TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
TRENCH WITH ROCK EXCAVATION
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE



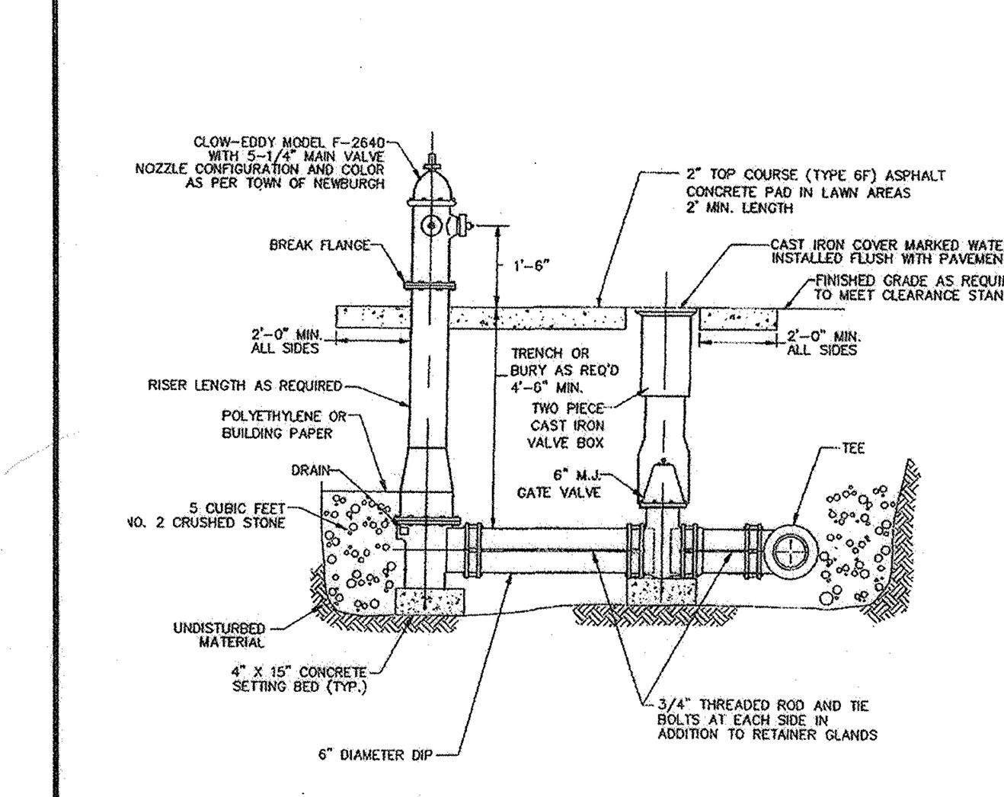
NOTE: MIDPOINTS OF THE SEWER AND WATERMAIN LENGTHS SHALL BE POSITIONED AT THE POINT OF CROSSING.

TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
WATERMAIN/SEWER CROSSING
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE



NOTE: PROPOSED LOCATIONS OF CURB BOXES TO BE FIELD LOCATED (STAKED) AND APPROVED BY WATER SUPERINTENDENT PRIOR TO INSTALLATION.

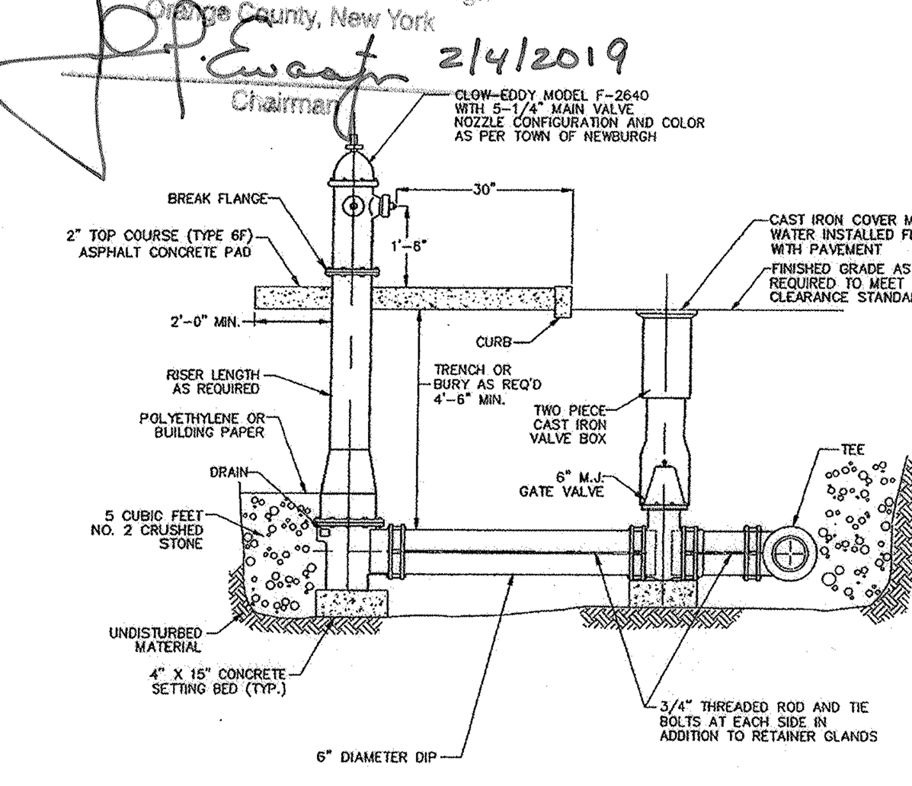
TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
WATER SERVICE CURB BOX
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE



NOTES:
1. PROPOSED LOCATIONS OF HYDRANTS TO BE FIELD LOCATED (STAKED) AND APPROVED BY WATER SUPERINTENDENT PRIOR TO INSTALLATION.
2. HYDRANT TO BE INSTALLED WITHIN RIGHT–OF–WAY.
3. HYDRANT WITH PROPER RISER LENGTH (DEPTH OF BURY) SHALL BE INSTALLED AS REQUIRED TO MEET THE 2" MIN. TO 4" MAX. CLEARANCE BETWEEN THE CENTER OF THE BREAK FLANGES AND THE ASPHALT CONCRETE PAD.

TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
HYDRANT AND VALVE ASSEMBLY INSTALLATION
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE

SITE PLAN APPROVED
Planning Board, Town of Newburgh
Orange County, New York
[illegible] 2/4/2019
Chairman



NOTES:
1. PROPOSED LOCATIONS OF HYDRANTS TO BE FIELD LOCATED (STAKED) AND APPROVED BY WATER SUPERINTENDENT PRIOR TO INSTALLATION.
2. HYDRANT TO BE INSTALLED WITHIN RIGHT–OF–WAY.
3. HYDRANT WITH PROPER RISER LENGTH (DEPTH OF BURY) SHALL BE INSTALLED AS REQUIRED TO MEET THE 2" MIN. TO 4" MAX. CLEARANCE BETWEEN THE CENTER OF THE BREAK FLANGES AND THE ASPHALT CONCRETE PAD.

TOWN OF NEWBURGH, NEW YORK
CONSOLIDATED WATER DISTRICT
STANDARD WATER DISTRIBUTION DETAILS
HYDRANT AND VALVE ASSEMBLY INSTALLATION (ADJACENT CURB)
DATE: NOVEMBER 2001 | BY: CLD | NO SCALE

LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
300 Kimball Drive
Parsippany, NJ 07054

T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project
THE SHOPPES AT UNION SQUARE PHASE II
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title
DETAIL SHEET

Project No. 9133101	Drawing No.
Date July 18, 2018	28.02
Scale NTS	
Drn. By AEB	

Filename: \\langan.com\data\PAR\data1\9133101\Cadd Data – 9133101\Dwg\9133101 2802 – Phase 2.dwg Date: 8/10/2018 Time: 11:21 User: rsurma Style Table: Langan.stb Layout: 28.03