



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

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WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: CBPS REALTY
PROJECT NO.: 18-20
PROJECT LOCATION: SECTION 35, BLOCK 1, LOT 21.2
REVIEW DATE: 14 NOVEMBER 2019
MEETING DATE: 21 NOVEMBER 2019
PROJECT REPRESENTATIVE: FUSCO ENGINEERING

1. A well has been located on the plan sheet to provide water service for the site. The site is located in the Town's Consolidated Water District 1. Comments from Town Engineer, Jim Osborne, concerning the installation of a well within the water district to service a commercial property should be received.
2. The project has applied to the Town of Newburgh Bureau of Fire Prevention for a waiver for sprinklers on the building. Status of the request should be addressed with the Board.
3. The DOT details should be revised to reflect the repair overlay rather than the full section pavement identified.
4. The landscaping along the easterly portion of the site appears to conflict with proposed fencing. It is unclear if the landscaping is inside or outside the fence.
5. Submission to County Planning is required.
6. A Public Hearing is required for the proposed site plan.
7. This office would recommend a Negative Declaration based on recent revision to the plans and submission of appropriate reports.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/JLC

FUSCO ENGINEERING

LAND SURVEYING, P.C.

Consulting Engineers



Alfred A. Fusco, Jr., P.E., Principal

Alfred A. Fusco, III, General Manager

▪ 233 East Main Street
Middletown, NY 10940
Phone: (845) 344-5863
Fax: (845) 956-5865

▪ 19 Waywayup Lane
Port Jervis, NY 12771
Phone: (845) 956-5866

November 12, 2019

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Attn: John Ewasutyn, Chairman

Re:

CBPS Realty, LLC Self Storage
Section 35, Block 1, Lot 21.2
North Plank Road
Town of Newburgh
Orange County, NY
Our File #17-448

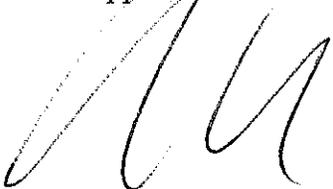
Dear John,

As per our conversation, enclosed please find 14 sets of revised plans and attachments to depict the following revisions per the previous planning board meeting and the two consultants workshop meetings:

1. The zoning boundary lines have been made much clearer on the plans. As a result, one of the buildings had to be shifted to allow for a minimum of 60 feet as required for the appropriate landscaped buffer.
2. Attached please find email correspondence from Siby of the NYSDOT. The email notes that the existing entrance was previously permitted and approved. However, we will need to repair the potholes, mill and repave as per the NYSDOT detail provided on the plan. A note to this effect has been added to the plans.
3. Attached please find correspondence from the Cronomer Valley Fire Department. The existing hydrant at the intersection of North Plank road and Weyant's Lane is close to our site development and will provide adequate fire protection. Therefore, the plans now show a proposed well on-site for minimal water usage required. In addition, the NYSDOT doe does not want to open North Plank road as it has been recently paved.
4. We have removed any proposal to store paving equipment, mulch, disposal of spoil pavement and/or contractor supplies as this would create two different uses on the parcel. Also, the landscape buffer requirements are much more stringent and prohibit this use with the limited area for development.
5. Please note the plans have been submitted to the Town of Newburgh Bureau of Fire Prevention for a waiver on fire sprinklers.

6. The lighting plan has been revised to reflect the new site layout as required with new light fixtures and isolux curves.
7. The tree line has been corrected on the revised plans.
8. The landscaping plan has been significantly improved. This includes a mixture of Green giant arborvitae, red maple and white pine for buffer landscaping as well as some internal plantings for decorative landscaping.
9. The proposed perimeter fence has been labeled as "black vinyl coated" chain link fence at the request of the board.
10. The sand has been specified as C-33 for the elgen detail as requested.
11. The SDS has been modified so that there is no significant fill in the area of the proposed SDS.
12. The fence now shows two 15' automatic gates opening in two directions to prevent it from opening onto adjoining lands.
13. The plans now show aquatic species and seeding mix for the micropool ponds.
14. Landscaping symbols have been clarified on the plans as required.
15. The fence has been pushed back further to allow more room for snow storage.
16. Plantings are now provided around the existing sign as requested.
17. The plans now show seed mix, mulch and topsoil around all ground cover outside of pavement and buildings.

Please provide us with your comments and concurrence as necessary to proceed further with the planning board and approvals.



Thank you in advance.

Very truly yours,

Alfred A. Fusco, Jr., P.E.
Fusco Engineering
& Land Surveying, P.C
AAF/cam

Cc: CBPS, LLC Realty

Jennifer Higinson

From: Zachariah, Siby (DOT) <Siby.Zachariah@dot.ny.gov>
Sent: Thursday, November 07, 2019 2:06 PM
To: mattconsorti@gmail.com; noseengineering@hotmail.com; jmh@fuscoengineering.com
Cc: codecompliance@townofnewburgh.org; phines@MHEPC.com
Subject: Existing Driveway for CBPS Realty Self Storage Project, North Plank Road, Route 32, Town of Newburgh
Attachments: Typical Commercial Driveway.pdf

Good afternoon Matt,

This email is to inform you that the Department previously issued a Highway Work Permit to the former owner of the subject property. At that time, the prior owner had constructed the commercial access according to the current NYSDOT specifications denoted on the permit. Those specifications still apply currently. The existing driveway is also located at an acceptable location within the frontage of the property.

The Department has revisited the site and inspected the current condition of the access. We found that although the concrete curbs were satisfactory, there were a couple of small sections that were spalled and breaking apart. We also noted that the asphalt pavement was deteriorating and potholes had developed. Therefore, the Department will require that you at least reconstruct the pavement in the access driveway. Please note that the shoulder area in front of the curbs shall also be paved, as per the Typical Commercial Driveway specifications.

I have attached the Typical Commercial Driveway Detail for your use. Please note that any improvements within NYSDOT right-of-way shall require a HWP prior to construction.

Thank you,
Siby

Siby Mary Zachariah-Carbone
Permit Field Engineer

New York State Department of Transportation, East Orange County Residency
112 Dickson Street, Newburgh, NY 12550
(845) 562-8368 | (845) 562-4020 Siby.Zachariah@dot.ny.gov
www.dot.ny.gov



Department of
Transportation



Cronomer Valley Fire Department

296 North Plank Road
Newburgh, NY 12550
Station - (845) 564-2020
Fax - (845) 564-4451



October 23, 2019

Fusco Engineering & Land surveying, P.C.
233 East Main Street
Middletown, NY 10940

Att: Al Fusco

Re: CBPS Realty, LLC

Al,

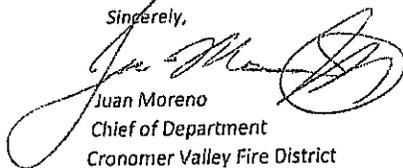
In regards to the proposed development of the parcel on North Plank Road opposite Weyants Lane, we have reviewed the submitted site plan and accompanying information.

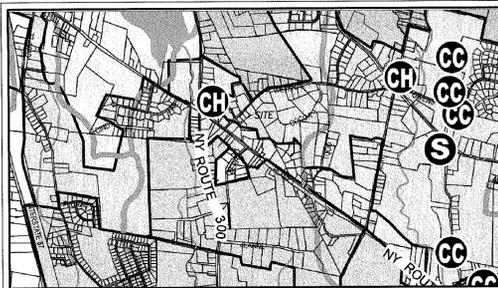
It is understood that this storage facility has been designed as such to allow for exterior access to the individual storage units which are to be of steel construction, unheated and have no habitable space. It is also understood that any office area for the management of the storage business would be occupied only during normal business hours and not have any residential facilities incorporated. For these reasons, we would not be against granting a waiver for the sprinkler system requirement.

Furthermore, we feel that the fire hydrant located at the corner of North Plank Rd and Weyants Lane would be sufficient to handle any incident at the proposed facility and would be designated the primary water source used by this Department due to the larger water main size that exists along that corridor.

If you have any further questions, please advise.

Sincerely,


Juan Moreno
Chief of Department
Cronomer Valley Fire District



ZONING MAP
N.T.S.

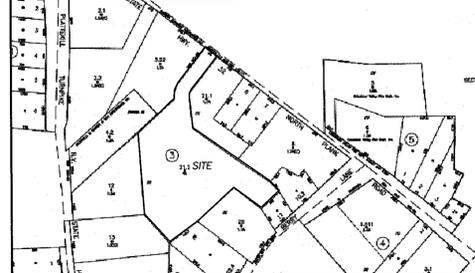
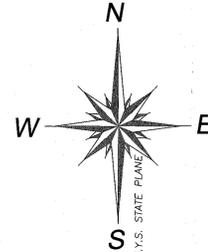
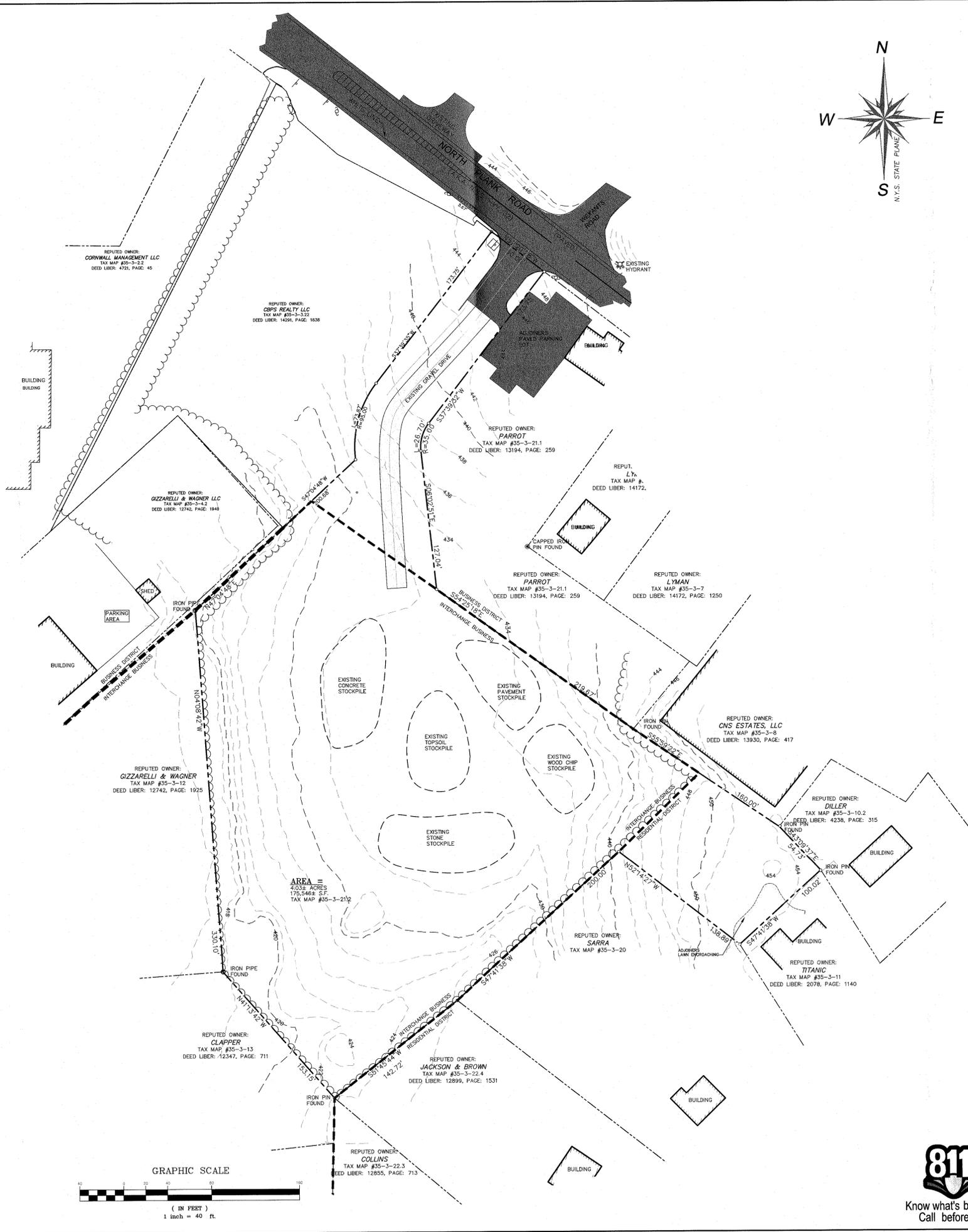
THE OFFSETS FROM PROPERTY LINES SHOWN HEREON ARE NOT INTENDED TO GUIDE IN THE ERECTION OF POLES, FENCES, RETAINING WALLS, BUILDING ADDITIONS, OR ANY OTHER STRUCTURES OR PLANTINGS AND SHOULD NOT BE USED FOR SUCH PURPOSES.

ISSUING OF A NEW TITLE POLICY OR REDATING OF AN EXISTING POLICY REFERRING THIS SURVEY WITHOUT THE BENEFIT OF AN UPDATE OF THIS SURVEY BY FUSCO ENGINEERING AND LAND SURVEYING, P.C. SHALL TERMINATE ANY LIABILITY EXPRESSED OR IMPLIED HEREON.

TO: CONSORTI BROS;

I HEREBY CERTIFY THAT THIS IS AN ACTUAL SURVEY COMPLETED IN THE FIELD ON JANUARY 31, 2019.

ERNEST W. LINDEN, L.S., 50041



TAX MAP
SECTION 35, BLOCK 3, LOT 21.2

REFERENCE
DEED LIBER 14291, PAGE 1838
A MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC, LOT LINE CHANGE" AND FILED IN THE ORANGE COUNTY CLERKS' OFFICE ON DECEMBER 23, 2005 AS MAP NUMBER 983-05.
A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC" AND FILED IN THE ORANGE COUNTY CLERKS' ON JUNE 8, 2011 AS MAP NUMBER 136-11
THE TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A SURVEY PERFORMED IN THE FIELD ON MARCH 29, 2019

GENERAL NOTES:
SUB-SURFACE STRUCTURES WHERE NOT VISIBLE OR READILY APPARENT, WILL NOT BE SHOWN AND THEIR EXTENT WILL NOT BE CERTIFIED.
SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS.

OWNER OF RECORD
CBPS REALTY CORP.
208 SOUTH PLANK RD.
NEWBURGH, N.Y. 12550

- LEGEND**
- UTILITY POLE
 - UNDERGROUND UTILITIES
 - ✱ EXISTING HYDRANT
 - PROPERTY LINE
 - ADJOINER PROPERTY LINE
 - EXISTING TREELINE
 - EXISTING CONTOUR LINE MAJOR
 - EXISTING CONTOUR LINE MINOR
 - EXISTING STOCKPILES
 - EXISTING PAVED ROAD/DRIVE
 - EXISTING GRAVEL DRIVE

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYORS SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 8 OF 8

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.

RESERVED FOR TOWN OF NEWBURGH PLANNING BOARD APPROVAL STAMP

SYMB	DATE	ISSUED FOR
4	9/24/19	REVISED AS PER WORKSHOP COMMENTS
3	8/22/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 7/24/19
2	7/2/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 4/29/19
1	3/14/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 11/9/19

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FUSCO ENGINEERING & LAND SURVEYING, P.C.
CONSULTING ENGINEERS

283 EAST MAIN ST.
MIDDLETOWN, NY 10940
PHONE: (845) 344-5863
FAX: (845) 958-5865

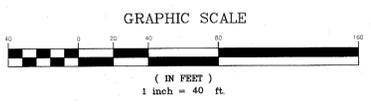
PROJECT TITLE: CBPS REALTY, LLC.

DRAWING TITLE: EXISTING CONDITIONS AND

TOWN OF NEWBURGH: COUNTY OF ORANGE

APPROVED BY: SCALE: AS SHOWN
DESIGNED BY: REVISION DATE: 9/24/19
DRAWN BY: DATE: 01/31/18

REFERENCE NUMBER: 17-448
SHEET NUMBER: 1
PAGE 1 OF 8



IB ZONING DISTRICT (D-15)

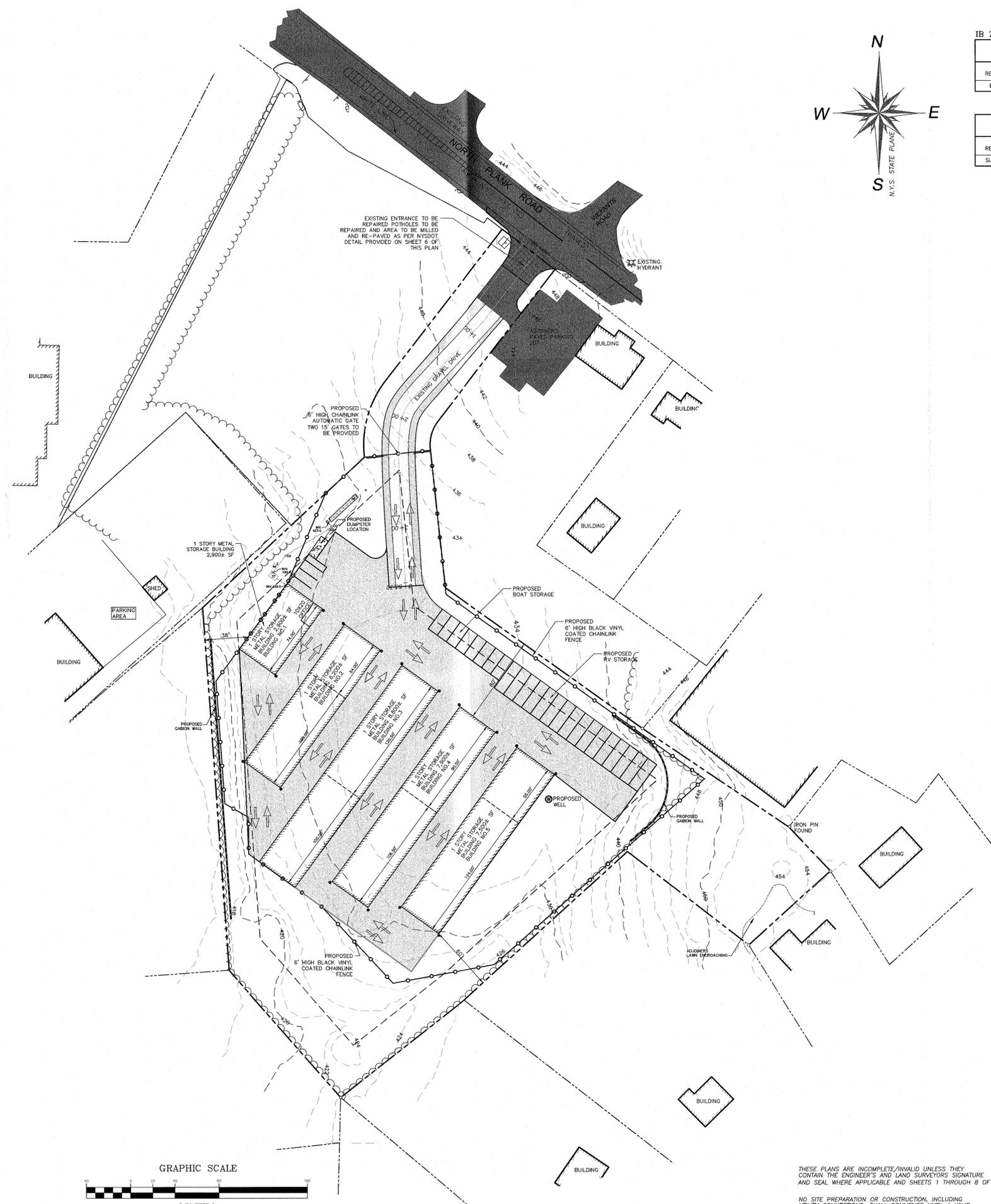
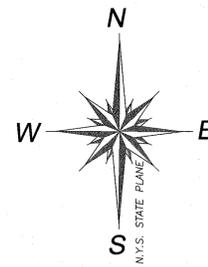
TABLE OF ZONING REQUIREMENTS

MINIMUM REQUIREMENTS	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YARD	ONE SIDE YARD	BOTH SIDE YARDS	REAR YARD	SURFACE COVERAGE	BUILDING COVERAGE
EACH LOT	3 AC	100'	125'	80'	30'	60'	40'	60%	30%

LOT & BUILDING AS SHOWN

MINIMUM REQUIREMENTS	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YARD	ONE SIDE YARD	BOTH SIDE YARDS	REAR YARD	SURFACE COVERAGE	BUILDING COVERAGE
SUBJECT LOT	4.03 AC	573'	684'	373'	35'	394'	38'	55%	18%

NOTES:
 PERMITTED ACTIVITIES. ONLY DEAD STORAGE ACTIVITIES SHALL BE PERMITTED. FOR THE PURPOSES OF THIS SECTION, "DEAD STORAGE" SHALL MEAN THE KEEPING OF GOODS NOT IN USE AND NOT ASSOCIATED WITH ANY OFFICE, RETAIL OR OTHER BUSINESS ACTIVITY CONDUCTED ON THE PREMISES. CONDUCTING AN OFFICE, RETAIL OR OTHER BUSINESS USE OR SALES FROM A STORAGE UNIT SHALL BE PROHIBITED. ONE OFFICE FACILITY SHALL BE PERMITTED WITHIN THE SITE IN APPROPRIATELY DESIGNED STRUCTURES, IF INCLUDED.
 INSIDE STORAGE REQUIRED. OUTSIDE STORAGE SHALL BE PROHIBITED EXCEPT FOR BOATS AND CAMPERS, WHICH MAY BE STORED IN A SPECIAL PARKING AREA NOT IN A REQUIRED FRONT YARD. STORAGE OF ALL OTHER PROPERTY SHALL BE INSIDE A BUILDING. VEHICLE PARKING SHALL BE PROVIDED FOR TENANTS AND EMPLOYEES ONLY WHILE THEY ARE ON THE PREMISES. EXCEPT FOR STORAGE OF BOATS AND CAMPERS, MOTOR VEHICLES SHALL NOT BE PARKED OVERNIGHT OR OTHERWISE STORED OUTDOORS ON THE SITE.
 HAZARDOUS MATERIALS PROHIBITED. STORAGE OF GASOLINE OR OTHER VOLATILE PETROLEUM PRODUCTS, RADIOACTIVE MATERIALS, EXPLOSIVES AND FLAMMABLE OR HAZARDOUS CHEMICALS SHALL BE PROHIBITED, AND THE OPERATOR OF THE SELF-STORAGE CENTER SHALL INCLUDE A PROVISION TO THAT EFFECT IN ANY LEASE USED TO RENT THE STORAGE UNITS.



LEGEND

- UTILITY POLE
- UNDERGROUND UTILITIES
- ⊗ EXISTING HYDRANT
- PROPERTY LINE
- ADJOINER PROPERTY LINE
- EXISTING TREELINE
- EXISTING CONTOUR LINE MAJOR
- EXISTING CONTOUR LINE MINOR
- EXISTING STOCKPILES
- EXISTING PAVED ROAD/DRIVE
- EXISTING GRAVEL DRIVE
- PROPOSED CULVERT PIPE
- PROPOSED PAVED DRIVEWAY
- PROPOSED SILT FENCE
- MAJOR CONTOUR LINE PROPOSED
- MINOR CONTOUR LINE PROPOSED
- PROPOSED WATERLINE
- ⊗ PROPOSED TREE
- ⊙ PROPOSED WELL
- EXISTING ENTRANCE TO BE REPAIRED & RESURFACED

RESERVED FOR TOWN OF NEWBURGH
 PLANNING BOARD APPROVAL STAMP

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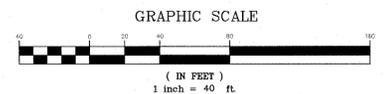
FUSCO ENGINEERING & LAND SURVEYING, P.C.
 CONSULTING ENGINEERS
 233 EAST MAIN ST.
 MIDDLETOWN, NY 10940
 PHONE: (845) 344-5865
 FAX: (845) 356-5865

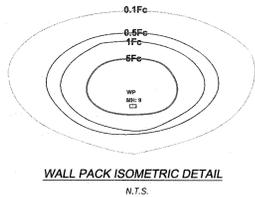
PROJECT TITLE:		SITE PLAN	
CBPS REALTY, LLC.		STATE OF NEW YORK	
DRAWING TITLE:	TOWN OF NEWBURGH	APPROVED BY:	SCALE:
		AAF	AS SHOWN
PREPARED FOR:	CONSORTI BROS.	DESIGNED BY:	REVISION DATE:
	208 SOUTH PLANK ROAD	AAF	9/24/19
	NEWBURGH, NY 12550	DRAWN BY:	DATE:
		SDB	01/31/18
			2
			17-448
			17-448
			2
			2

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYOR'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 8 OF 8
 NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.



Know what's below.
 Call before you dig.



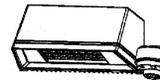


101L Wall sconce LED
Wall Mount

Infrared Motion Response and Wireless Controls Sensor Coverage Patterns

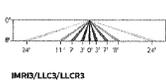
LLC2/S Luminaire Mounted Controller

Controller attached to luminaire and includes radio, photoeye and motion sensor with #2 or #3 lens for 8'-20' mounting heights.



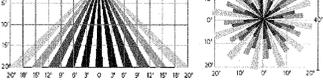
IMR2/LLC2/LCR2

Controlled by luminaire and includes radio, photoeye and motion sensor with #2 or #3 lens for 8'-20' mounting heights.



IMR3/LLC3/LCR3

Controlled by luminaire and includes radio, photoeye and motion sensor with #2 or #3 lens for 8'-20' mounting heights.



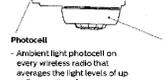
Remote Mount Wireless Controller

Used to extend the communication on site, to extend motion response and add other luminaires that are not pole mounted. Consult factory for more information.



Controller

Used to extend the communication on site, to extend motion response and add other luminaires that are not pole mounted. Consult factory for more information.



Wireless Radio

1.8 Watts max (no load draw)
Operating voltage: 120-277 VAC RMS
Communicates using the ZigBee protocol
Carries out dimming commands from Gateway
Reports ambient light readings to 1500 Fc Cd
Transmission Systems Operating within the band 2400-2483.5MHz
FCC/IC/ETL Compliant

Photoeye

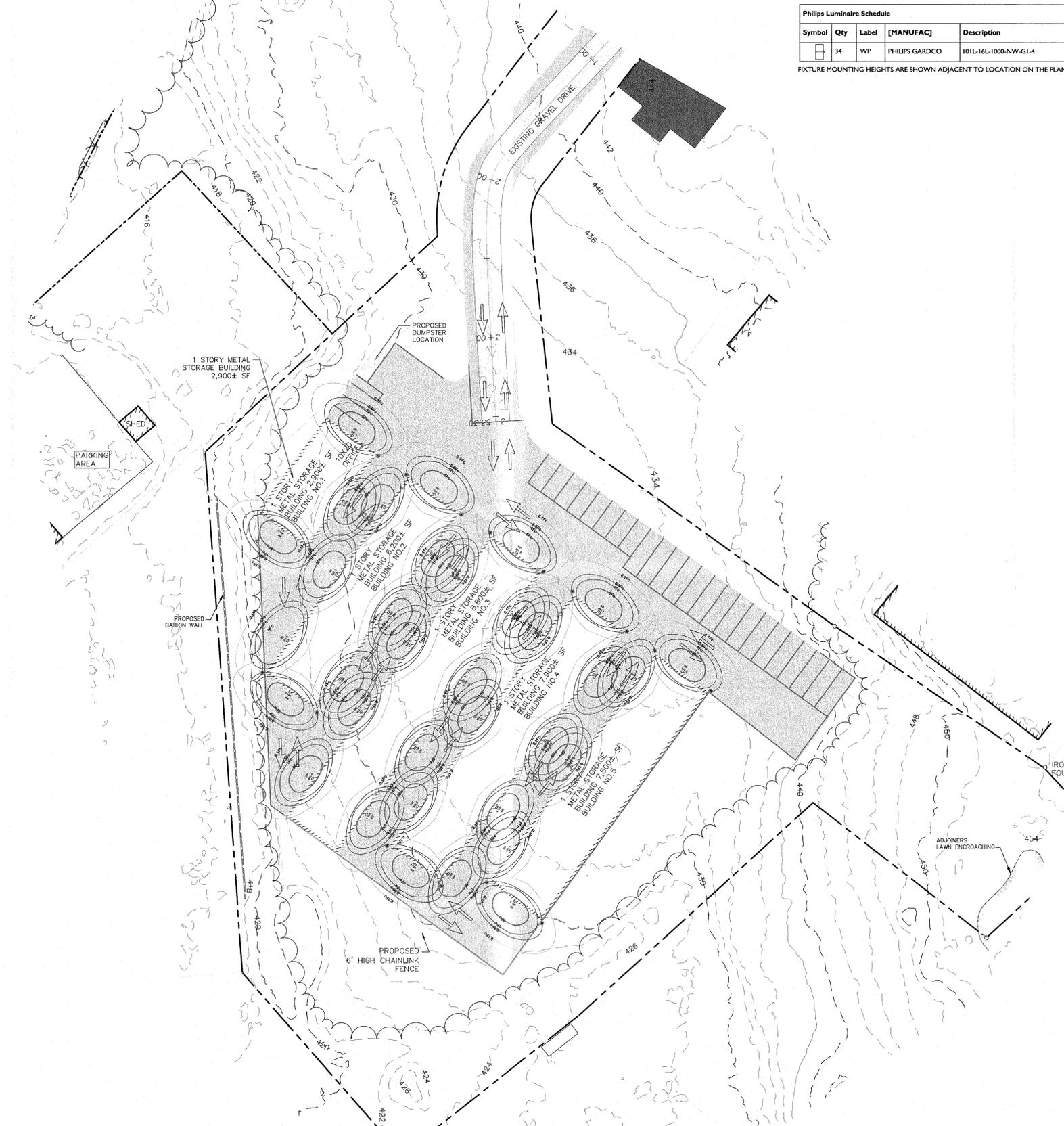
Ambient light photoeye on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
Reports ambient light readings to 1500 Fc.

Motion Response

Detects motion through passive infrared sensing technology with three different lens configurations.
Motion sensor coverage can be adjusted from a narrow to a wide detection range, which helps reduce false triggers to further increase energy savings.
Sensing profiles can be updated to adapt to activity levels in the environment, such as occupancy level, wind, and mounting height.

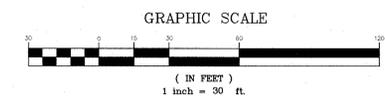
Symbol	Qty	Label	[MANUFAC]	Description	Lum. Lumens	Lum. Watts	LLF	Total Watts	Arrangement	BUG Rating
WP	34	WP	PHILIPS GARDCO	101L-16L-1000-NW-G1-4	4,106	67	1,000	134	SINGLE	BI-U0-G1

FIXTURE MOUNTING HEIGHTS ARE SHOWN ADJACENT TO LOCATION ON THE PLAN



LEGEND

- UTILITY POLE
- UNDERGROUND UTILITIES
- PROPERTY LINE
- - - ADJOINER PROPERTY LINE
- ~ ~ ~ EXISTING TREELINE
- - - EXISTING CONTOUR LINE MAJOR
- - - EXISTING CONTOUR LINE MINOR
- EXISTING STOCKPILES
- █ EXISTING PAVED ROAD/DRIVE
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- - - PROPOSED CULVERT PIPE
- ▨ PROPOSED PAVED DRIVEWAY



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FUSCO ENGINEERING & LAND SURVEYING, P.C.
CONSULTING ENGINEERS

223 EAST MAIN ST
MIDDLETOWN, NY 10940

PHONE: (845) 344-5883
FAX: (845) 956-5886

PROJECT TITLE: CBPS REALTY, LLC.

DRAWING TITLE: LIGHTING PLAN

TOWN OF NEWBURGH

APPROVED BY: AAF
SCALE: AS SHOWN

DESIGNED BY: AAF
REVISION DATE: 8/22/19

DRAWN BY: SDB
DATE: 01/31/18

STATE OF NEW YORK
COUNTY OF ORANGE
REFERENCE NUMBER: 17-448
SHEET NUMBER: 5
PAGE 5 OF 8

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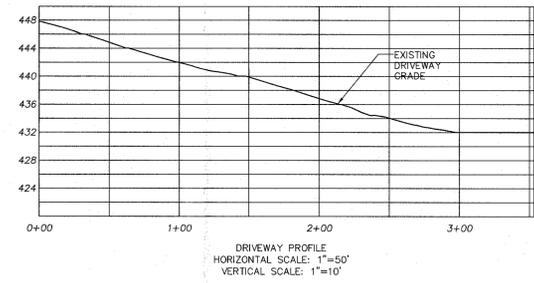
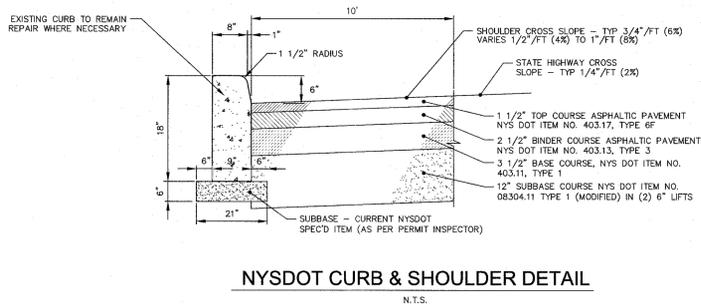
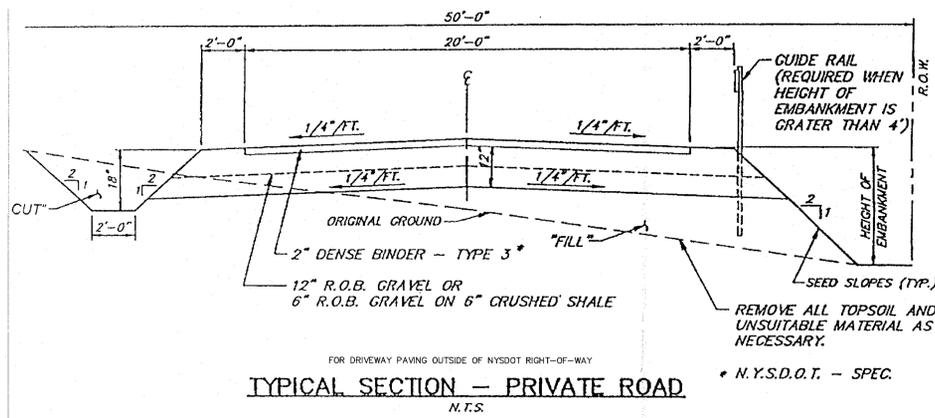
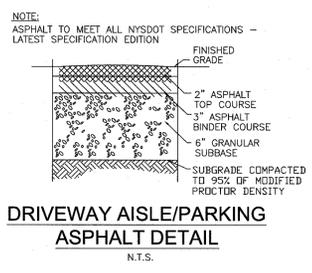
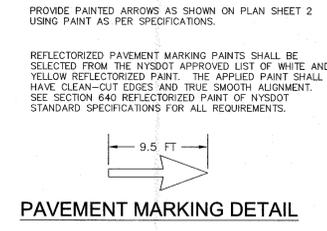
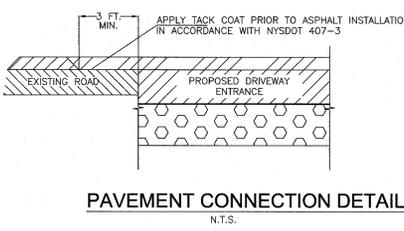
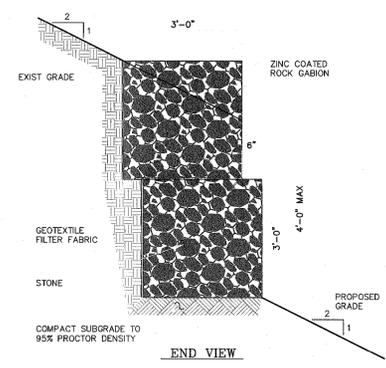
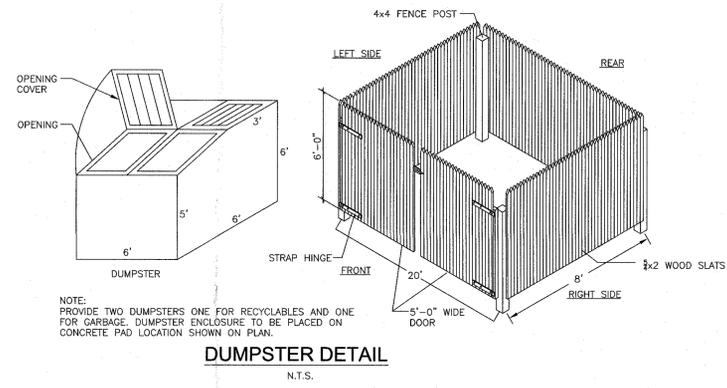
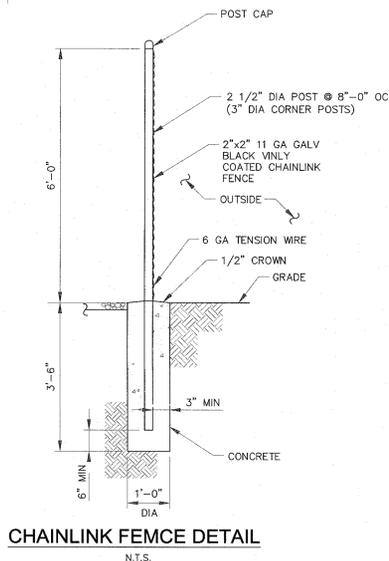
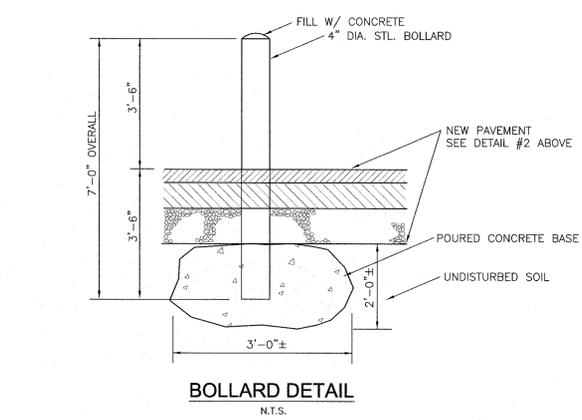


FIGURE 1
TOWN OF NEWBURGH - ORANGE COUNTY - NEW YORK



GABION DETAIL
(NOT TO SCALE)



THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYOR'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 8 OF 8

NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.

RESERVED FOR TOWN OF NEWBURGH PLANNING BOARD APPROVAL STAMP

4	9/24/19	REVISED AS PER WORKSHOP COMMENTS
3	8/22/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 7/24/19
2	7/2/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 4/29/19
1	3/14/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 11/9/19
SYMB	DATE	ISSUED FOR

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FUSCO ENGINEERING & LAND SURVEYING, P.C.
CONSULTING ENGINEERS

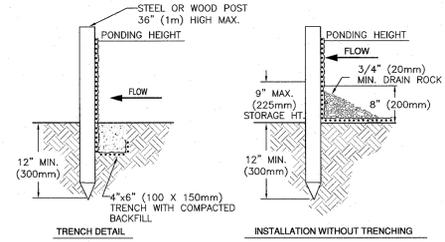
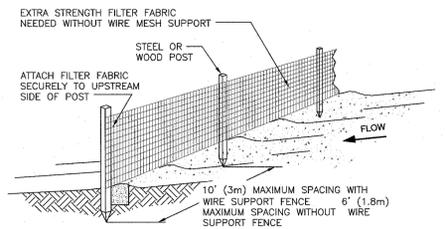
233 EAST MAIN ST.
MIDDLETOWN, NY 10940
PHONE: (845) 344-5863
FAX: (845) 956-5865

PROJECT TITLE: CBPS REALTY, LLC.

TOWN OF NEWBURGH	SITE DETAILS	STATE OF NEW YORK
PREPARED FOR:	APPROVED BY:	AS SHOWN
CONSORTI BROS.	AAAF	17-448
209 SOUTH PLANK ROAD	DESIGNED BY:	REVISION DATE:
NEWBURGH, NY 12550	AAAF	9/24/19
	DRAWN BY:	DATE:
	SOB	01/31/18

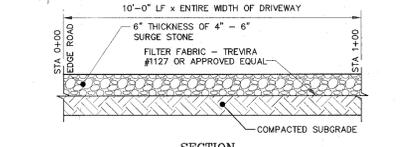
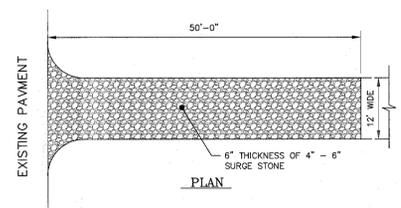
SHEET NUMBER: 6
PAGE 6 OF 8





- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

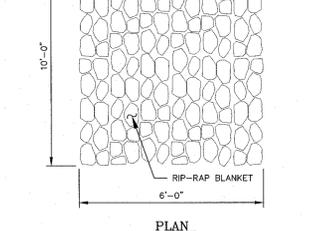
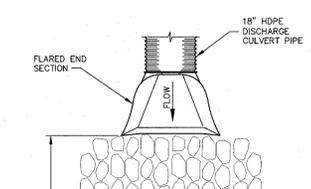
SILT FENCE DETAILS
(NOT TO SCALE)



- NOTES:
- ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT INTO PUBLIC RIGHTS OF WAY.
 - ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
 - A CRUSHED STONE, VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 4"-6" SURGE STONE, WILL BE AT LEAST 45' X 100' AND SHOULD BE PLACED ON COMPACTED SUBGRADE.
 - ALL DRIVEWAYS MUST BE STABILIZED WITH 1"-1 1/2" CRUSHED STONE OR SUBGRADE DURING CONSTRUCTION.
 - PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
 - ALL CATCH BASIN INLETS WILL BE PROTECTED WITH CRUSHED STONE OR HAYBALE FILTER.
 - ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

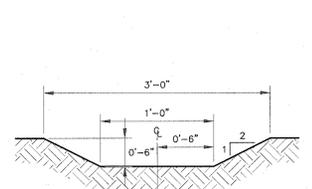
STABILIZED CONSTRUCTION

ENTRANCE DETAIL
(NOT TO SCALE)



- NOTES:
- A RIP-RAP DISSIPATOR APRON SHALL BE PLACED AT PIPE DISCHARGE AREAS TO PROTECT AGAINST EROSION.
 - ROCK RIP-RAP SHALL BE A MINIMUM OF 3" THICK, WELL GRADED WITH 50% BY WEIGHT LARGER THAN 1/2" (#4 MAXIMUM) IN SIZE.

RIP-RAP OUTLET PROTECTION DETAIL
N.T.S.



1. THE SWALES ARE TO BE MAINTAINED WITH STONE CHECK DAMS. AS SITE IS BUILT AND NEARING COMPLETION THE SWALES SHALL BE SEEDED WITH GRASS SEED AND MAINTAINED AS A GRASSY SWALE.

DIVERSION SWALE DETAIL
(NOT TO SCALE)

EROSION CONTROL NOTES

- SITE DISTURBANCE TO BE LIMITED ONLY TO NECESSARY GRADING ON ROADS, BUILDING LOCATIONS, PARKING AREAS, DRIVEWAYS AND AREAS AS CALLED FOR ON THE PLAN. TEMPORARY SEEDING WITH ANNUAL RYE GRASS AT 1 1/2 LB. PER 1,000 S.F. AND MULCHING 100-140 LBS. OF STRAW PER 1,000 S.F. TO BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN ONE MONTH.
- AFTER GRADING, BERMS AND SWALES WILL BE CREATED TO DIVERT RUNOFF FROM NEWLY GRADED AREAS TO PREVENT EROSION UNTIL GRASS COVER HAS DEVELOPED.
- HAY BALES SHALL BE PLACED AS SHOWN BELOW, AT BOTTOM EDGE OF CUT AND FILL SLOPES TO PREVENT SILTATION ON LANDS OF OTHERS, AND IN DRAINAGEWAYS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
- COMPLETE FINE GRADING OF DISTURBED AREAS AND RIGHT-OF-WAY EMBANKMENTS; AMEND SOILS AS REQUIRED AND SEED, STABILIZE WITH MULCH, JUTE NETTING OR HYDROSEED.
 - FINE GRADE AND STABILIZE ROADWAYS.
 - REMOVE SEDIMENT FROM TEMPORARY SEDIMENT BASINS BEFORE FILLING. ALLOW SEDIMENT BASIN SUBGRADE TO DRY BEFORE PLACING FILL.
 - COMPLETE SURFACING OF ROADWAY.
 - UPON FINAL GRADING AND PLACEMENT OF RIP-RAP LINE CHANNEL AND ESTABLISHMENT OF VEGETATIVE SLOPE STABILIZATION, REMOVE EROSION CONTROL MEASURES BEGINNING AT THE MOST UPSTREAM POINTS THEN WORKING DOWNSTREAM.
 - PERFORM ANY FINE GRADING AND SEEDING AS REQUIRED, MAINTAIN AND REPAIR WASHOUTS AS REQUIRED AND AFTER EACH STORM EVENT UNTIL ALL EROSION CONTROL AND WATER QUALITY MEASURES ARE FULLY ESTABLISHED.
 - ALL EROSION AND SEDIMENT CONTROLS ARE TO BE FLUSHED CLEAN OF ALL SILT AND SEDIMENT AFTER THE SITE IS COMPLETE AND ALL CONSTRUCTION DISTURBANCE HAS BEEN STABILIZED. REMOVE ALL SILT FROM PERMANENT STORMWATER CONTROL STRUCTURES.
 - CONVERT TEMPORARY SEDIMENT BASIN 1 TO THE PERMANENT DRAIN BASIN. REMOVE ALL ACCUMULATED SEDIMENT AND DISPOSE OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS AND REGULATIONS.
 - AFTER ALL DISTURBED AREAS ARE STABILIZED, SILT FENCE MAY BE REMOVED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, THE OWNER, OR THE ENGINEER TO REDUCE THE POTENTIAL FOR DISCHARGE OF SILT LADEN RUNOFF FROM THE PROJECT SITE.
 - CONTRACTOR SHALL PROVIDE SURPLUS HAY MULCH ON-SITE AND APPLY AS NEEDED TO TEMPORARILY STABILIZE DISTURBED AREAS.
 - THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
 - ALL NON-ACTIVE DISTURBED AREAS SHALL RECEIVE TEMPORARY OR PERMANENT STABILIZATION. NON-ACTIVE DISTURBED AREAS SHALL NOT REMAIN FALLOW FOR LONGER THAN 14 DAYS WITHOUT BEING STABILIZED.
 - ANY BORROW OR WASTE PITS LOCATED ON SITE OR OFF-SITE MUST BE STABILIZED AND MAINTAINED PER THE REQUIREMENT OF THE GENERAL CONSTRUCTION PERMIT AND THE SWPPP FOR THIS PROJECT.

EROSION CONTROL SEQUENCE:

- A PRE-CONSTRUCTION MEETING WITH TOWN REPRESENTATIVES, OWNER, ARCHITECT, ENGINEER (IF CONSTRUCTION OBSERVATION AND/OR AS-BUILTS ARE TO BE PREPARED BY ENGINEER) AND CONTRACTOR PRESENT WILL BE HELD A MINIMUM OF ONE WEEK PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SECURE ALL APPROVALS AND PERMITS.
- DELINEATE THE LIMITS OF DISTURBANCE. TREES TO BE SAVED SHALL BE PROTECTED WITH PERIMETER SNOW FENCE.
- INSTALL SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE.
- STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND CHANNEL PROTECTION MEASURES PER EROSION CONTROL PLAN.
- PERFORM CLEARING AND GRUBBING ACTIVITIES AS REQUIRED FOR CONSTRUCTION OF ROADWAY IMPROVEMENTS. SITE DISTURBANCE SHALL NOT EXCEED BEYOND THE DISTURBANCE LIMIT LINE DEPICTED ON THE SUBDIVISION PLAN.
- STRIP AND STOCKPILE TOPSOIL. STABILIZE WITH RYEGRASS SEED AND ADD PERIMETER SILT FENCING.
- COMPLETE ROUGH GRADING OF ROAD. PLACE CRUSHED STONE TO STABILIZE ROAD SURFACE. INSTALL ROLLED EROSION CONTROL PRODUCTS ON CUT AND/OR FILL SLOPES.
- CONSTRUCT TEMPORARY SEDIMENT BASINS 2 AND 3 AS WORK PROGRESSES.
- COMPLETE PROPOSED STORMWATER CONVEYANCE SYSTEMS, CONSISTING OF CATCH BASINS, STORM SEWER PIPING, OPEN CHANNEL AND CULVERT CROSSINGS. INSTALL RIP-RAP AND CHANNEL PROTECTION AS APPROPRIATE.
- STABILIZE DISTURBED AREAS. PROVIDE INLET SEDIMENT TRAPS AT ALL CATCH BASINS OR OTHER STRUCTURES WITH GRATE-INLETS.
- COMPLETE FINE GRADING OF DISTURBED AREAS AND RIGHT-OF-WAY EMBANKMENTS; AMEND SOILS AS REQUIRED AND SEED, STABILIZE WITH MULCH, JUTE NETTING OR HYDROSEED.
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EROSION CONTROL NOTES:

- ALL AREAS DISTURBED BY SITE GRADING THAT WILL NOT BE CONSTRUCTED UPON FOR 30 DAYS SHALL BE ESTABLISHED WITH TEMPORARY VEGETATION.
- ALL UNVEGETATED OR DISTURBED AREAS, ON SLOPES 5% OR GREATER, SHALL BE PROTECTED FROM EROSION BY PLACING TEMPORARY SEEDING OF FAST GERMINATING RYE AT A RATE OF 10 TO 15 POUNDS PER 1,000 S.F.
- PRIOR TO COMMENCEMENT OF GRADING FOR BUILDING CONSTRUCTION, THE LIMIT OF DISTURBANCE SHALL BE DELINEATED IN ACCORDANCE WITH THE APPROVED PLAN UTILIZING TEMPORARY SILT FENCING. FENCING SHALL BE MAINTAINED IN GOOD ORDER UNTIL ALL EXPOSED SOILS ARE STABILIZED THROUGH ESTABLISHMENT OF HEAVY VEGETATIVE COVER.
- GRADED AREAS ARE TO BE PROTECTED BY PROVIDING TEMPORARY INTERCEPTING DRAINAGE SWALES AT 1% MINIMUM SLOPE AND AS REQUIRED TO DIRECT RUNOFF AWAY FROM DOWNSTREAM CONSTRUCTION. DISCHARGE AREA SHALL BE PROTECTED WITH SEDIMENTATION CONTROL BARRIERS.
- ALL AREAS OF SOIL DISTURBANCE RESULTING FROM THIS PROJECT SHALL BE SEEDED WITH AN APPROPRIATE PERENNIAL GRASS SEED AND MULCHED WITH HAY OR STRAW WITHIN ONE WEEK OF FINAL GRADING. MULCH SHALL BE MAINTAINED UNTIL A SUITABLE VEGETATIVE COVER IS ESTABLISHED.
- IF SEEDING IS IMPRACTICABLE DUE TO THE TIME OF YEAR, A TEMPORARY MULCH SHALL BE APPLIED DURING PROLONGED RAINFALL. REQUIRED REPAIRS WILL BE PERFORMED IMMEDIATELY. SHOULD THE SILT FENCE BECOME INEFFECTIVE PRIOR TO THE END OF ITS EXPECTED USABLE LIFE, IT WILL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT BUT UNDER NO CIRCUMSTANCES SHOULD THE SEDIMENT DEPOSITS EXCEED ONE HALF THE HEIGHT OF THE BARRIERS. ALL SILT FENCES WILL BE MAINTAINED UNTIL ALL UPSLOPE SOILS ARE PERMANENTLY STABILIZED BY VEGETATION.
- TEMPORARY SEEDING REQUIREMENTS: MIXTURE OF PERENNIAL RYE, KENTUCKY BLUE AND
 - * RED FESCUE GRASSES (EQUAL PORTIONS) AT 20 TO 25 POUNDS PER 1,000 SQUARE FEET. STRAW MULCHING AT 5 POUNDS PER 1,000 SQ. FT.
 - * FERTILIZER (5-10-5) AT 5 POUNDS PER 1,000 SQ. FT.
- INSTALL EROSION CONTROL NETTING ON ALL GRADES 10% OR GREATER.
- PROVIDE PERIODIC WATERING OF THE NEWLY SEEDED AREAS UNTIL GRASS IS MOWABLE.
- RESEED ANY WASHED OUT AREAS AS REQUIRED AND UNTIL ALL DISTURBED AREAS HAVE A SATISFACTORY STAND OF GRASS.

- SEEDING REQUIREMENTS FOR ALL AREAS OUTSIDE OF PAVEMENT: MIXTURE OF PERENNIAL RYE, KENTUCKY BLUE AND
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NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.

RESERVED FOR TOWN OF NEWBURGH PLANNING BOARD APPROVAL STAMP

SYMB	DATE	ISSUED FOR
3	8/22/19	REVISED AS PER MCGOY REVIEW LETTER DATED 7/24/19
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FUSCO ENGINEERING & LAND SURVEYING, P.C.
CONSULTING ENGINEERS

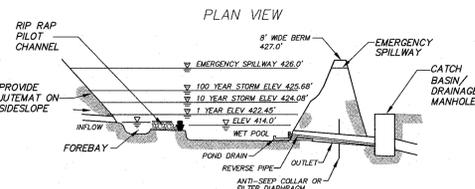
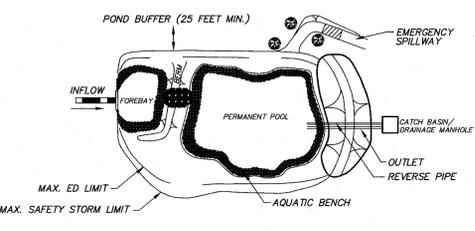
233 EAST MAIN ST.
MIDDLETOWN, NY 10940
PHONE: (846) 344-0863
FAX: (845) 956-0866

PROJECT TITLE: CBPS REALTY, LLC.

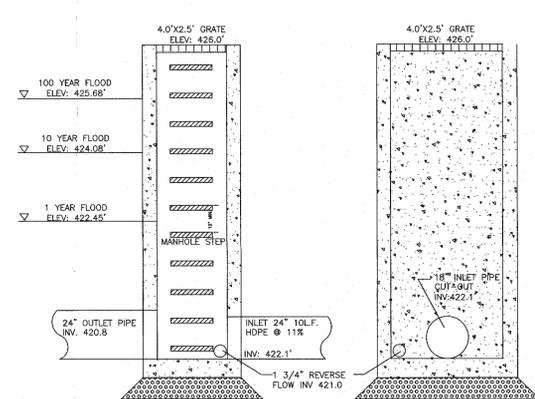
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TOWN OF NEWBURGH
PREPARED FOR: CONSORTI BROS.
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

APPROVED BY: AAF
DESIGNED BY: AAF
DRAWN BY: SDB

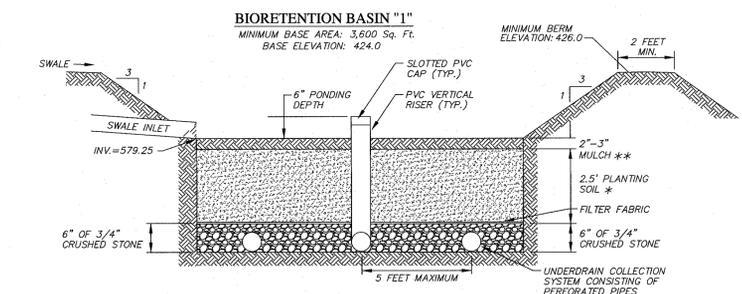
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REVISION DATE: 01/31/18
SHEET NUMBER: 7
PAGE 7 OF 8



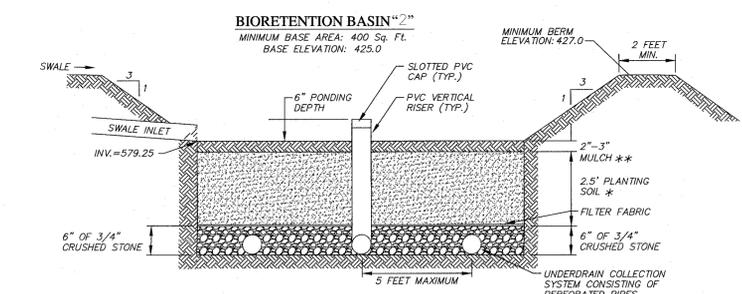
PROFILE POND
N.T.S.



OUTLET CONTROL STRUCTURE PDA-1
N.T.S.



BIORETENTION AREA "1" DETAIL
NOT TO SCALE



BIORETENTION AREA "2" DETAIL
NOT TO SCALE

* PLANTING SOIL SHALL BE A SANDY LOAM, LOAMY SAND, LOAM OR A LOAM/SAND MIX (CONTAINING 60-70% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHALL BE LESS THAN 5% BY VOLUME. SOILS SHALL FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5" HOUR) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER AND BRUSH OR SEEDS FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHALL BE IN LIFTS OF 12" TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).

THE SOIL SPECIFICATIONS ARE AS FOLLOWS:

PARAMETER	VALUE
PH RANGE	5.2 TO 7.0
ORGANIC MATTER	1.5 TO 4.0%
MAGNESIUM	35 lbs./ACRE, MIN.
PHOSPHORUS	75 lbs./ACRE, MIN.
POTASSIUM	85 lbs./ACRE, MIN.
SOLUBLE SALTS	500 PPM
CLAY	0 TO 5%
SILT	25 TO 40%
SAND	60 TO 70%

** THE MULCH LAYER SHALL BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE, SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHALL BE WELL AGED (STOCKPILE OR STORED FOR AT LEAST 12 MONTHS), AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, ROOTS, ECT.

AQUATIC PLANT & SEEDING MIX:
N.T.S.

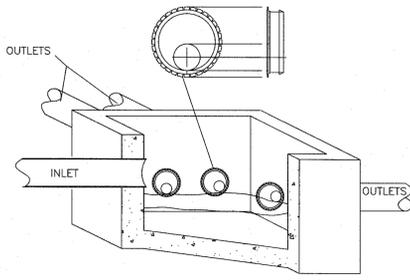
SYMBOL	SCIENTIFIC NAME	COMMON NAME	NUMBER
	CATTAIL	TYPHA SP.	7
	ARROW ARUM	PELTANDRA VIRGINICA	7
	BLUE FLAG IRIS	IRIS VERSICOLOR	7
	BUSHY BEARDGRASS	ANDROPOGON GLOMERATUS	6
	MARSH HIBISCUS	HIBISCUS MOSCHEUTOS	6
	SWEET FLAG	ACORUS CALAMUS	6
	WOOL GRASS	SCIRPUS CYPERINUS	6

PLANTS TO BE SPACED IN A 2 PLANTS EVERY 8 FEET FOR A TOTAL OF 90 PLANTS.



SEPTIC SYSTEM NOTES:

- ALL SEWAGE DISPOSAL SYSTEMS ARE TO BE LOCATED AT LEAST 100 FEET FROM STREAMS AND AT LEAST 35 FEET FROM DRAINAGE EASEMENTS.
- NO MORE THAN ONE (1) SINGLE FAMILY DWELLING PER LOT.
- NO DRIVEWAYS OR PARKING AREAS ARE TO BE LOCATED OVER THE SEWAGE DISPOSAL SYSTEM.
- ALL TREES ARE TO BE CUT AND REMOVED FROM THE AREA OF THE SEWAGE DISPOSAL SYSTEM IN A MANNER THAT WILL NOT SIGNIFICANTLY DISTURB THE VIRGIN SOIL.
- NO ROOF, CELLAR, OR FOOTING DRAINS ARE TO BE DISCHARGED INTO THE AREA OF THE SEWAGE DISPOSAL SYSTEM, OR TOWARD THE WELL.
- WATER SAVING DEVICES ARE TO BE USED ON ALL WATER FIXTURES.
- SEPTIC TANKS SHALL BE PRECAST CONCRETE AND SHALL BE MANUFACTURED TO WOODARD'S CONCRETE PRODUCTS SPECIFICATIONS, OR AN APPROVED EQUAL.
- SEWAGE DISPOSAL SYSTEMS MUST BE DESIGNED BY, LAID OUT IN THE FIELD, SUPERVISED AND INSPECTED DURING CONSTRUCTION AND CERTIFIED AS COMPLETE IN ACCORDANCE WITH THE APPROVED PLANS AND NEW YORK STATE STANDARDS BY A PROFESSIONAL ENGINEER LICENSED IN NEW YORK STATE.
- THIS SEPTIC DISPOSAL SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JUICIFY TYPE SPA TUBS (OVER 100 GAL.) OR WATER SOFTENERS, AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SEPTIC DISPOSAL SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
- NO GRADING CUTS ARE TO BE MADE IN THE AREA OF THE SEWAGE DISPOSAL SYSTEM. NO FILL IS TO BE PLACED IN THE AREA OF THE SEWAGE DISPOSAL SYSTEM, UNLESS SO INDICATED ON THE PLANS.
- PROPOSED SEWER LATERALS ARE TO BE LAID OUT AND CONSTRUCTED PARALLEL WITH EXISTING GROUND CONTOURS.
- HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELD EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF THE CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION SO AS TO AVOID ANY UNDESIRABLE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
- THE DESIGN OF THE SANITARY FACILITIES (WELL AND SEPTIC SYSTEM) SHALL NOT BE CHANGED OR RELOCATED FROM THE APPROVED PLAN WITHOUT PRIOR APPROVAL FROM THE TOWN OF WALLKILL BUILDING DEPT.
- NO LOT SHALL BE FURTHER SUBDIVIDED WITHOUT APPROVAL FROM THE TOWN OF WALLKILL PLANNING BOARD.
- SEPTIC SYSTEMS SHALL NOT BE LOCATED IN AREAS THAT EXCEED 15% IN SLOPE.
- ALL WELLS AND SEPTIC SYSTEMS WITHIN 200 FEET OF THE PROPOSED PROJECT HAVE BEEN LOCATED IN THE FIELD AND HAVE BEEN SHOWN HEREON.
- THE PURCHASER OF THE LOT SHALL BE SUPPLIED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT PLAN OF ALL EXISTING SANITARY FACILITIES.
- NO SWIMMING POOLS, DRIVEWAYS, OR ANY OTHER STRUCTURE THAT CAN COMPACT THE SOIL SHALL NOT BE LOCATED OVER ANY PORTION OF ABSORPTION FIELD.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY AND WATER TREATMENT) AND SEWAGE DISPOSAL FACILITIES AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE HOUSE, THE ENGINEER SHALL CERTIFY TO THE AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES ARE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ALL SEPTIC TANK JOINTS ARE SEALED AND TESTED FOR WATER TIGHTNESS.
- INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD DOMESTIC PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWAGE SYSTEM IS REQUIRED WITHIN ONE YEAR OF THE SYSTEM BECOMING AVAILABLE.



FLOW LEVELER DETAIL
(NOT TO SCALE)

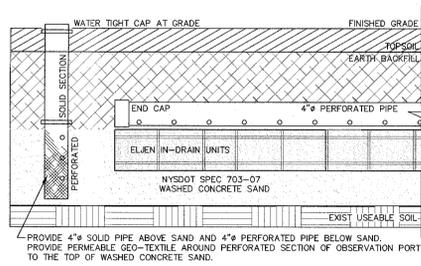
NOTES:

- FLOW EQUALIZATION DEVICES ARE TO BE USED ON AT THE OUTLET PIPES OF THE DISTRIBUTION BOX, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- DROP BOXES SHOULD BE EXAMINED BETWEEN 6 TO 12 MONTHS AFTER THEY ARE INSTALLED TO DETERMINE IF THEY REMAIN LEVEL AND, IF NECESSARY, TO MAKE ADJUSTMENTS.
- FLOW LEVELERS SHALL NOT COMPENSATE FOR MORE THAN 1-1/4 INCH DIFFERENCE IN PIPE ELEVATIONS. IN THIS CASE, THE CAUSE OF ELEVATION DIFFERENCES IS TO BE CORRECTED AND THE FLOW LEVELERS AGAIN INSTALLED AND ADJUSTED.

SEPARATION DISTANCES FROM WASTE WATER SYSTEMS COMPONENTS TABLE

SYSTEM COMPONENTS	WELL OR SUCTION LINE	STREAM, LAKE WATER COURSE (OR WETLANDS(L))	DWELLING	PROPERTY LINE
HOUSE SEWER (WATER TIGHT JOINTS)	25' CAST IRON 50' OTHERWISE	25'	3'	10'
SEPTIC TANK	50'	50'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'
ABSORPTION FIELD	100'(±)	100'	20'	10'
DRY WELL (ROOF AND FOOTING DRAINS)	50'	25'	20'	10'

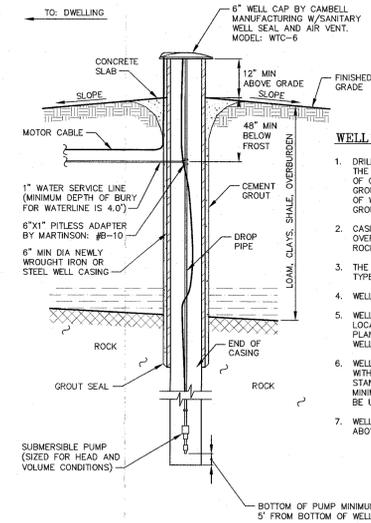
- WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN COURSE GRAVEL OR UPGRADE IN A GENERAL PATH OF DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL.
- MEAN WATER HIGH MARK
- A MINIMUM SEPARATION OF 35' BETWEEN STORM WATER DRAINAGE MEAN HIGH WATER MARK (EG. SWALES, CULVERTS DETENTION PONDS) AND ABSORPTION FIELDS IS REQUIRED.



ELJEN OBSERVATION PORT DETAIL
(NOT TO SCALE)

ELJEN NOTES:

- NEW ELJEN SANITARY DISPOSAL SYSTEMS REQUIRE A 50% FUTURE REPLACEMENT AREA.
- TRENCHES SHOULD BE INSTALLED IN TWO DIRECTIONS TO MAXIMIZE THE LENGTH ALONG THE CONTOUR.
- THERE SHALL BE NO GARBAGE GRINDERS ALLOWED.
- ALL TRENCHES AND ELJEN GSF UNITS SHALL BE INSTALLED LEVEL.
- THE ELJEN SYSTEM SAND BED FILL MATERIAL SHALL BE NYSDOT SPEC 703-07.
- PERFORATED PIPE SHALL BE SECURED TO THE GSF UNITS BY THE WIRE CLAMPS PROVIDED BY ELJEN.
- THE NUMBER OF UNITS REQUIRED IS REACHED BY DIVIDING THE TOTAL REQUIRED ABSORPTION TRENCH LENGTH BY 4 AND ROUNDING UP TO THE NEAREST WHOLE NUMBER.
- GSF UNITS SHALL BE INSTALLED SUCH THAT THE PERFORATED PIPE IS PERPENDICULAR TO THE BOW-MAT AND CURVED CORE.
- BACKFILL MATERIAL SHALL BE CLEAN, FREE OF ANY LARGE STONES OR DEBRIS.
- THERE SHALL BE A MINIMUM OF 4" TOPSOIL AND SHALL BE SEEDED.
- THE ELJEN GSF UNIT ABSORPTION TRENCH LENGTH IS BASED ON A 4' WIDE TRENCH.
- PERMEABLE GEO-TEXTILE FILTER FABRIC SHALL BE DRAPED OVER TOP AND SIDES OF GSF UNIT AND PERFORATED PIPE TO PREVENT ANY SILTATION.
- ALL UNUSED OUTLETS IN DISTRIBUTION BOX AND LINE ENDS SHALL BE CAPPED.



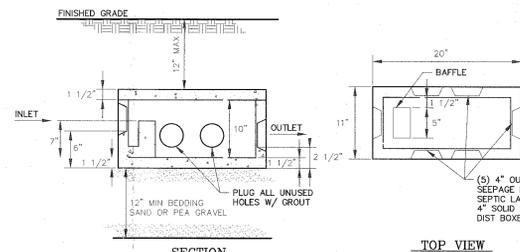
WELL DETAIL
(NOT TO SCALE)

- WELL NOTES:**
- DRILL HOLE SHALL BE THE DIAMETER OF THE CASE PLUS 4", WITH 20' MINIMUM OF GROUT AND CASING INTO ROCK. GROUT MIXTURE SHALL BE 5.5 GALS OF WATER TO 1 BAG OF NEAT CEMENT GROUT.
 - CASING SHALL BE DRILLED THROUGH OVERBURDEN AND FIRMLY SEATED IN ROCK.
 - THE WATER SERVICE LINES SHALL BE TYPE "K" COPPER.
 - WELL YIELD MUST BE AT LEAST 5 GPM
 - WELLS ARE TO BE INSTALLED IN THE LOCATIONS SHOWN ON THE APPROVED PLAN. MINIMUM SEPARATIONS FROM WELLS MUST BE STRICTLY ADHERED TO.
 - WELL CASING SHALL BE IN COMPLIANCE WITH "10 STATE STANDARDS" AND ANNA STANDARD A-100, LATEST EDITION. A MINIMUM OF 40" OF WELL CASING SHALL BE USED.
 - WELL CAP SHALL BE A MINIMUM OF 24" ABOVE THE 100 YR FLOOD ELEVATION.

SEWAGE DISPOSAL DESIGN CRITERIA

DATE	TEST NO.	RUN 1	RUN 2	RUN 3	RUN 4	RUN 5	DEPTH OF HOLE (IN.)	STABILIZED RATE (MIN.)	DESIGN RATE (MIN.)	DESIGN MINIMUM TRENCH LENGTH OFFICE (1 EMPLOYEE) REQUIRED
5/10/19	1	09:25	11:50	12:35	12:55	13:10	24"	13:10	21-30	---
5/10/19	2	21:25	22:42	23:15	23:55	24:10	24"	24:10	---	---

THE DAILY FLOW = 1 EMPLOYEE @ 20 GPD / 0.8 GPD = 25 S.F. REQUIRED
6 UNITS @ 12 S.F. PER UNIT = 72 S.F. PROVIDED



DISTRIBUTION BOX DETAIL
(NOT TO SCALE)

NOTES:

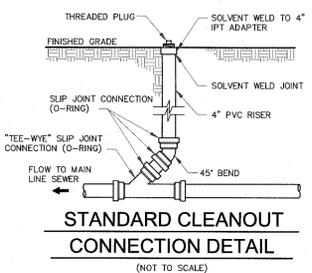
- PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- INVERT ELEVATIONS OF ALL OUTLETS TO THE SEWAGE PITS MUST BE EQUAL.
- THE SLOPE OF OUTLET PIPES BETWEEN THE DROP BOX AND THE PERFORATED ELJEN MATS SHALL BE 1/16" PER FOOT.
- THE DISTRIBUTION BOX SHALL BE PLACED ON A 12" BED OF PEA GRAVEL OR SAND AND SHALL HAVE A MINIMUM OF 12" OF COVER.
- ALL UNUSED HOLES IN DROP BOXES ARE TO BE PLUGGED.
- PROVIDE A 2" SOLID PVC LEADER BETWEEN THE DISTRIBUTION BOX AND THE PERFORATED PIPE.

TOP VIEW

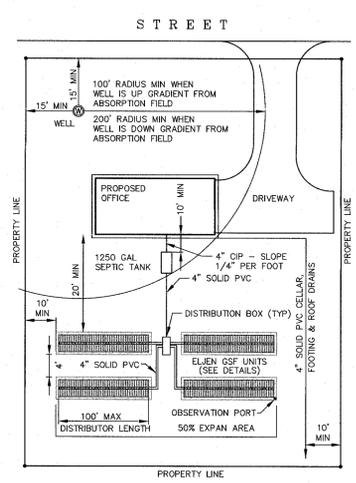
SECTION

END VIEW

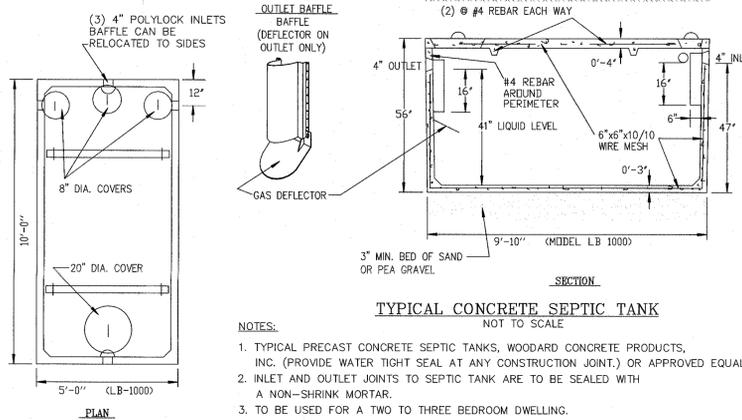
SPECIFICATIONS:
WOODARD'S CONCRETE PRODUCTS
PRE-CAST DISTRIBUTION BOX
MODEL NO. DB-4WB, OR EQUAL.



STANDARD CLEANOUT CONNECTION DETAIL
(NOT TO SCALE)



TYPICAL ELJEN TRENCH LOT LAYOUT
(NOT TO SCALE)

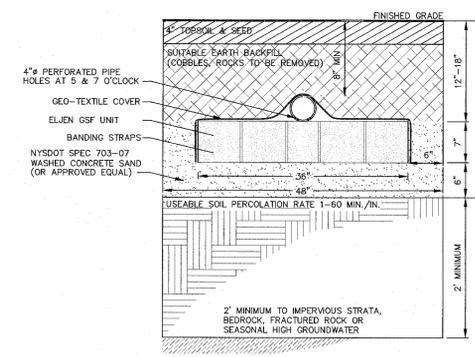


TYPICAL CONCRETE SEPTIC TANK
NOT TO SCALE

NOTES:

- TYPICAL PRECAST CONCRETE SEPTIC TANKS, WOODARD CONCRETE PRODUCTS, INC. (PROVIDE WATER TIGHT SEAL AT ANY CONSTRUCTION JOINT) OR APPROVED EQUAL.
- INLET AND OUTLET JOINTS TO SEPTIC TANK ARE TO BE SEALED WITH A NON-SHRINK MORTAR.
- TO BE USED FOR A TWO TO THREE BEDROOM DWELLING.

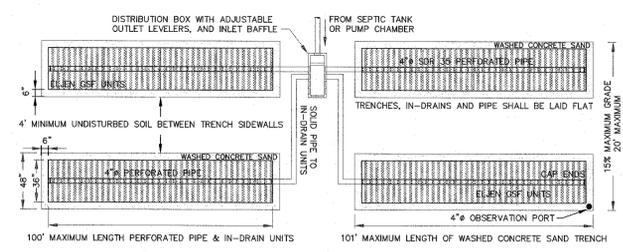
SPECIFICATIONS	PRECAST SEPTIC TANKS
Concrete Minimum Strength: 4,000 psi at 28 days Reinforcement: 6"x6"x10ga. Wire Mesh, #4 Rebar Air Entrainment: 6% Construction Joint: Butyl Rubber Sealant Pipe Connection: Polylok Seal (patented) Load Rating: 300 psf Weight = 8,700 lbs for Model ST-1000 Weight = 9,500 lbs for Model ST-1250	MODEL LB-1000 1000 GALLONS Woodard's Concrete Products, Inc. 629 Lyboll Road, Bullville, NY 10815 (845) 361-9471 Fax 361-1050



NOTES:

- DO NOT INSTALL TRENCHES IN WET SOILS.
- RAME SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING SAND.
- THE ENDS OF ALL DISTRIBUTOR PIPES MUST BE PLUGGED.
- THERE MUST BE A MINIMUM OF 4'-0" OF UNDISTURBED SOIL BETWEEN TRENCHES.

ELJEN GSF CROSS SECTION
(NOT TO SCALE)



TYPICAL ELJEN IN-DRAIN TRENCH LAYOUT

ASTM-C33 SAND SPEC.

SIEVE SIZE	SIZE	PERCENT PASSING WET SIEVE
0.375	9.5 mm	100.0-100.0
NO. 4	4.75 mm	95-100.0
NO. 8	2.36 mm	80.0-100.0
NO. 16	1.18 mm	50.0-85.0
NO. 30	600 µm	25.0-60.0
NO. 50	300 µm	5.0-30.0
NO. 100	150 µm	< 10
NO. 200 (WET)	75 µm	< 5.0

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYORS SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 8 OF 8
NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT.

RESERVED FOR TOWN OF NEWBURGH PLANNING BOARD APPROVAL STAMP

4	9/24/19	REVISED AS PER WORKSHOP COMMENTS
3	8/22/19	REVISED AS PER MCGOY REVIEW LETTER DATED 7/24/19
2	7/2/19	REVISED AS PER MCGOY REVIEW LETTER DATED 4/29/19
1	3/14/19	REVISED AS PER MCGOY REVIEW LETTER DATED 11/9/19
SYMB	DATE	ISSUED FOR
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.		
FUSCO ENGINEERING & LAND SURVEYING, P.C. CONSULTING ENGINEERS		
PROJECT TITLE: CBPS REALTY, LLC.		
DRAWING TITLE: WATER & SANITARY DETAILS		
PREPARED FOR: CONSORTI BROS. 208 SOUTH PLANK ROAD NEWBURGH, NY 12550	APPROVED BY: AAF	SCALE: AS SHOWN
DESIGNED BY: AAF	REVISION DATE: 9/24/19	SHEET NUMBER: 8
DRAWN BY: SDB	DATE: 01/31/18	PAGE 8 OF 8