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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT:** 182 SOUTH PLANK ROAD- AMENDED SITE PLAN  
**PROJECT NO.:** 19-08  
**PROJECT LOCATION:** SECTION 64, BLOCK 2 LOT 8.21  
**REVIEW DATE:** 1 MARCH 2019  
**MEETING DATE:** 7 MARCH 2019  
**PROJECT REPRESENTATIVE:** MASER CONSULTING

1. The project was previously before the Board for approval of a 3,000 square foot eating and drinking establishment with 20 parking spaces. This approval was granted on 14 October 2010. Construction began on the site however has not been completed.
2. The original proposed structure was a one story deli type use, the current proposal is for a two story office building use.
3. The As-Built construction identifies that the building does not comply with previously granted variances. The variance for Route 32 front yard setback was granted for 15.5 feet where 60 was required. The structure has been constructed at 14.1 feet, a difference of 1.4 feet. The Old South Plank Road front yard setback a variance was granted for 27.7 feet where 40 feet is required. The As Built condition identifies the building at 25.5, a difference of 0.2 feet.
4. A review of the site identifies numerous proposed free standing signs. Signs must be located 15 feet off the property line, variance may be required for signage. Compliance with updated signing ordinances will be required at Building Permit.
5. Coordination with NYSDOT and County Planning referral is required.
6. Revised architectural review must be undertaken for the proposed two story structure.

7. A review of additional site details will be undertaken once project returns from the ZBA.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal  
PJH/kbw

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** 2019-08  
(Application fee returnable with this application)

1. **Title of Subdivision/Site Plan (Project name):**  
182 South Plank Road
  
2. **Owner of Lands to be reviewed:**  

<b>Name</b>	<u>Hudson Place Office, LLC</u>
<b>Address</b>	<u>P.O. Box 14, 2317 Main Street</u> <u>Bridgehampton, NY 11931</u>
<b>Phone</b>	<u>(631) 766-0023</u>
  
3. **Applicant Information (If different than owner):**  

<b>Name</b>	<u>Farrell Building Company</u>
<b>Address</b>	<u>P.O. Box 14, 2317 Main Street</u> <u>Bridgehampton, NY 11931</u>
<b>Representative</b>	<u>Stephen Zagoren</u>
<b>Phone</b>	<u>(631) 766-0023</u>
<b>Fax</b>	<u>N/A</u>
<b>Email</b>	<u>zags1413@gmail.com</u>
  
4. **Subdivision/Site Plan prepared by:**  

<b>Name</b>	<u>Maser Consulting, P.A.</u>
<b>Address</b>	<u>555 Hudson Valley Avenue, Suite 101</u> <u>New Windsor, NY 12553</u>
<b>Phone/Fax</b>	<u>(845) 564-4495</u>
  
5. **Location of lands to be reviewed:**  
182 South Plank Road, Newburgh, NY 12550
  
6. **Zone** B **Fire District** Orange Lake  
**Acreage** ±0.65 **School District** Newburgh
  
7. **Tax Map: Section** 64 **Block** 2 **Lot** 8.21

**TOWN OF NEWBURGH PLANNING BOARD**

182 South Plank Road

PROJECT NAME

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

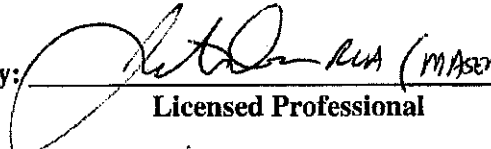
1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. X Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. N/A Estimated or known cubic yards of material to be excavated and removed from the site
34. N/A Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 
37. X Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.  
The eastern corner of the parking area ( $\pm 210$  sq. ft.) and associated grading will fill the 100-year floodplain approximately  $\pm 430$  cubic feet or  $\pm 16$  cubic yards.
38. N/A List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:  RIA (MASEN CONSULTING P.A.)  
 Licensed Professional

Date: 2/28/19

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Joseph G. Farrell Jr  
APPLICANT'S NAME (printed)

  
APPLICANTS SIGNATURE

2/19/2018  
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

2/19/2018  
DATED

Joseph G. Farrell Jr.  
APPLICANT'S NAME (printed)

  
APPLICANT'S SIGNATURE

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

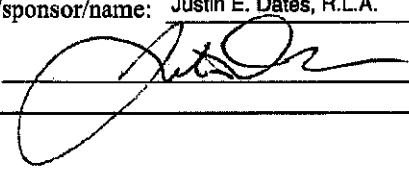
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

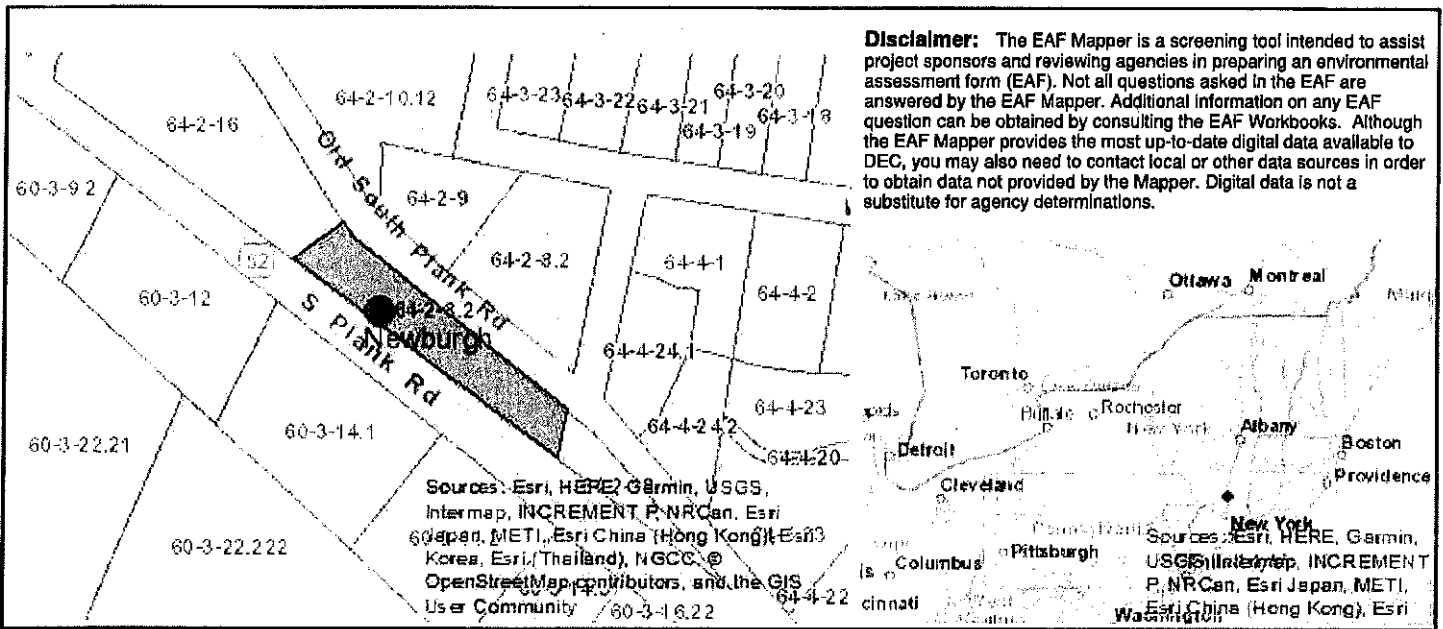
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: 182 South Plank Road			
Project Location (describe, and attach a location map): 182 South Plank Road - north of South Plank Road (NYS Route-52) approx. 800' east of the intersection of NY-52 & NY-300			
Brief Description of Proposed Action: See attached narrative.			
Name of Applicant or Sponsor: Farrell Building Company (attn. Stephen Zagoren)		Telephone: (613) 766-0023 E-Mail: zags1413@gmail.com	
Address: P.O. Box 14, 2137 Main Street			
City/PO: Birdgehampton		State: NY	Zip Code: 11931
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <small>Town of Newburgh Planning Board-Amended Site Plan Approval; Town of Newburgh ZBA-Area Variances; Orange Co. Planning-GML 239 Referral; Town of Newburgh Highway Department-Driveway Permit; NYSDOT-Highway Permit</small>			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? <span style="float: right;">±0.65 acres</span>			
b. Total acreage to be physically disturbed? <span style="float: right;">±0.56 acres</span>			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">±0.65 acres</span>			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The project will meet all applicable NYS energy code requirements.	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:										
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban										
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Indiana Bat	(The site plan does not propose any tree removal.)	<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
NO	YES									
<input type="checkbox"/>	<input checked="" type="checkbox"/>									
16. Is the project site located in the 100-year flood plan?		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
NO	YES									
<input type="checkbox"/>	<input checked="" type="checkbox"/>									
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>a. Will storm water discharges flow to adjacent properties?</td> <td><input checked="" type="checkbox"/>    <input type="checkbox"/></td> </tr> <tr> <td>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</td> <td><input type="checkbox"/>    <input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/> <input type="checkbox"/>	b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/> <input checked="" type="checkbox"/>
NO	YES									
<input type="checkbox"/>	<input checked="" type="checkbox"/>									
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/> <input type="checkbox"/>									
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/> <input checked="" type="checkbox"/>									
If Yes, briefly describe: A portion of the southwest side of the site sheet flows to a roadside swale on the north side of NYS Route 52 and discharges to the Town's roadside drainage system. The majority of the site sheet flows to a proposed swale on the northeast side of the property which leads to a hydrodynamic separator unit and a subsurface infiltration chamber from which the overflow discharges to the Town's drainage system just outside the eastern corner of the property.										
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES									
<input checked="" type="checkbox"/>	<input type="checkbox"/>									
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES									
<input checked="" type="checkbox"/>	<input type="checkbox"/>									
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:		<table border="1"> <tr> <th>NO</th> <th>YES</th> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES									
<input checked="" type="checkbox"/>	<input type="checkbox"/>									
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>Justin E. Dates, R.L.A.</u>      Date: <u>2/27/19</u></p> <p>Signature:       Title: <u>ASSOCIATE, MADSEN CONSULTING</u></p>										



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



Engineers  
Planners  
Surveyors  
Landscape Architects  
Environmental Scientists

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www.maserconsulting.com

**182 SOUTH PLANK ROAD (PB# 2019-8)  
NARRATIVE SUMMARY  
FEBRUARY 27, 2019**

**FARRELL BUILDING COMPANY  
TAX LOT 64-2-8.21  
TOWN OF NEWBURGH, ORANGE COUNTY, NY  
MC PROJECT NO. 06001329B**

Maser Consulting, P.A. has developed the attached Amended Site Plan for the above referenced tax lot which is a  $\pm 0.65$ -acre lot located on the north side of NYS Route 52, approximately 800 feet east of NYS Route 300. This parcel received site plan approval from the Town of Newburgh Planning Board on June 14, 2010 (PB# 2007-28) for a 3,000 sq. ft. eating and drinking establishment with a 20-space parking area, access to Old South Plank Road & NYS Route 52, among other pertinent site improvements. The construction of the approved project was started by the prior owner but stopped. The current site was cleared, a substantially completed building currently exists, and the site was rough graded.

Farrell Building Company is now the owner of the site and is the applicant which is seeking to change the use of the building from the previously approved eating and drinking establishment to an office use building. The site is in the Town's B (Business) zoning district and an office facility is a permitted use subject to site plan review by the Planning Board.

The site plan and design remain largely unchanged relative to the previously approved plans, however there are minor changes to the site plan. They are as follows:

- 1- Minor adjustments to the grading have been made to meet the as-built finished floor elevation of the building;
- 2- A sidewalk has been added to the southern side of the building for new entrances to the building (see attached architectural plans);
- 3- The bulk table has been updated to reflect the as-built building coverage and the added surface coverage from the new sidewalk (+507 sq. ft.).
- 4- The building is proposed to have two (2) floors (prior building was approved as 1-story) with a total usable floor space of 3,890 sq. ft. and requires 20 parking spaces, which is the same total parking as the previously approved establishment.

The amended site plans include a revised layout plan and a revised grading plan reflecting the changes outlined above, with references to the previously approved plan set for the construction details, landscaping, lighting, and erosion & sediment control plans.

The updated survey for the project site has also identified that the as-built location of the building does not comply with the front yard setbacks established under the prior approval. Based on the linear, narrow nature of the parcel the development of the site is not feasible with the front yard setbacks in the B (Business) zoning district. The required front yard setback for along NYS Route 52 is 60 feet,



182 South Plank Road  
February 27, 2019  
MC Project No. 06001329B  
Page 2 of 2

while along Old South Plank Road is 40 feet. The existing building currently has a minimum setback of 14.1 feet along NYS Route 52 and 20.5 feet along Old South Plank Road. A previous variance from the minimum lot depth (125 feet required, 71 feet provided) was also granted by the Zoning Board of Appeals (ZBA). These area variances will be required for the amended site plans.

We request to be added to the next available Planning Board Agenda for further discussion of the project and referral to the ZBA.

JED/cdr

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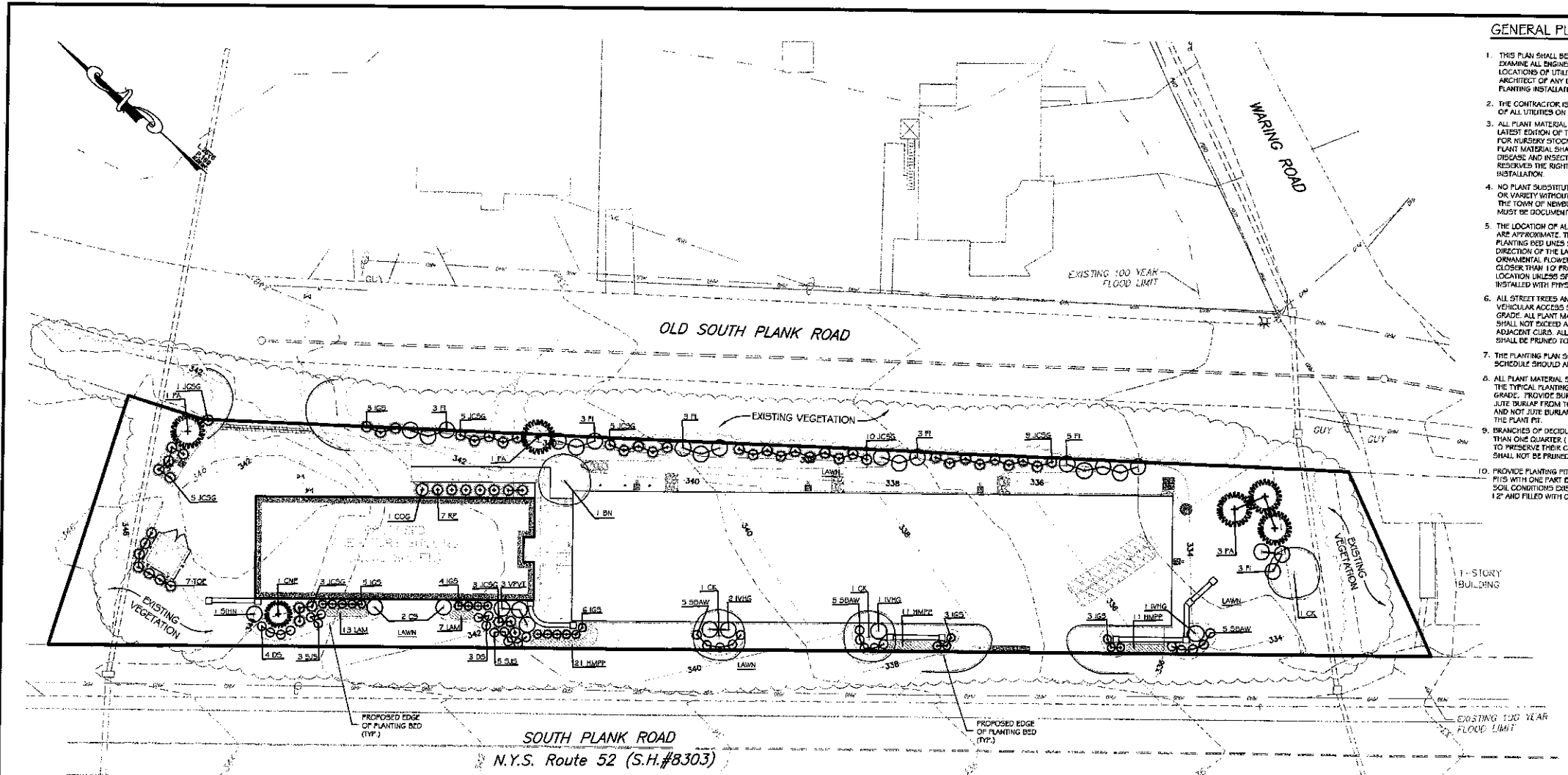












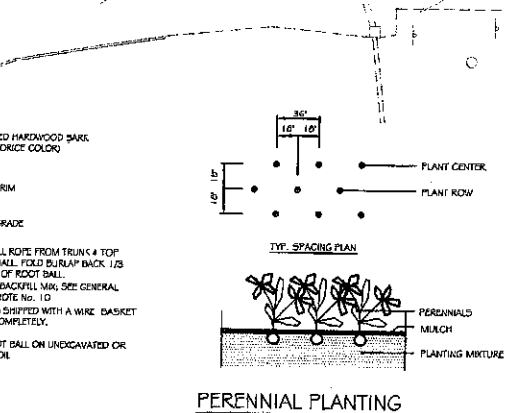
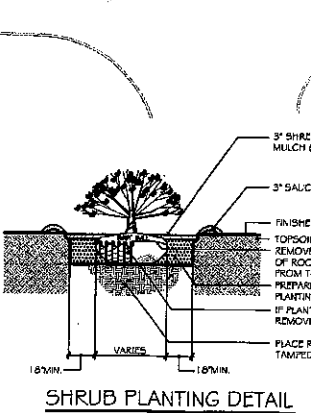
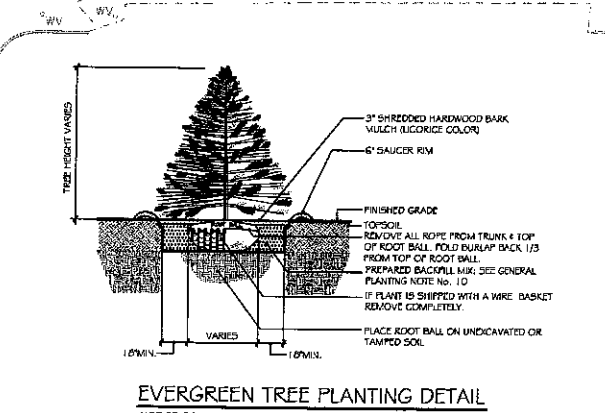
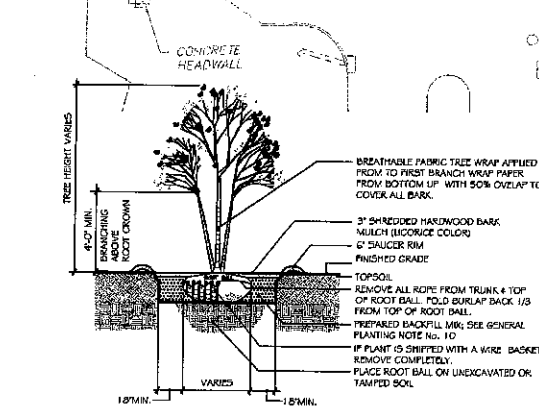
**GENERAL PLANTING NOTES**

- THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERIES STANDARD FOR NURSERY STOCK OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LIMITS SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, OR ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 12" FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN OR INSTALLED WITH PHYSICAL ROOT BARRIER.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 8'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN RIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN RIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHED BELOW 12'-0".
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE. SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- ALL PLANT MATERIAL SHALL BE PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE LITE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL. WIRE BASKETS AND NETS AND NOT JUTE BURLAP SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING THE PLANT PIT.
- BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH THE MAIN TRUNK AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WEY SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY.
- OPTIMUM PLANTING TIME: DECIDUOUS - APRIL 1 TO JUNE 1 & OCTOBER 15 TO DECEMBER 15. CONIFEROUS - APRIL 1 TO JUNE 1 & SEPTEMBER 1 TO NOVEMBER 1.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLANT, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD WHICH DO NOT DEVELOP FROM PLANTING STOCKS, THAT APPEAR UNUSUALLY OR UNUSUALLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR ANY TREE THAT LOSSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE REPLACED WITHIN 90 DAYS OF THE DATE OF THE TOWN OF NEWBURGH INSPECTION REPORT AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 6" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED. SOIL PH SHOULD BE 5.5-6.5.
- ALL DISTURBED LAWN AREAS SHALL BE TOPDRESSED, LEVED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION.
- ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
- ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SHIELD FENCING. ALL FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. GRADING OR CLEARING. ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TRAILING, SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DISEASED, OR DAMAGED BRANCHES.
- ALL PLANTING BEDS WHERE TRUNK, RUBBER HOSE, BACKFILL ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. PROPERTY IS TO BE LEFT IN A NEAT ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

**GENERAL SEEDING NOTES**

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL KYRGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
- PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR PERMANENT EQUIVALENT. OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31 AND AUGUST 15 AND OCTOBER 15.
 

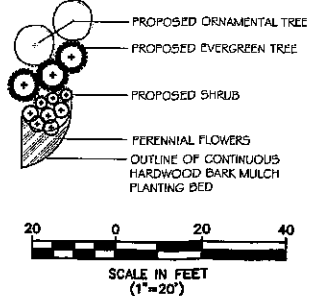
MIXTURE - HARD FESCUE	120 LBS/ACRE
PERENNIAL RYE GRASS	80 LBS/ACRE
KENTUCKY BLUE GRASS (BLENDED)	40 LBS/ACRE
MIXTURE - TALL FESCUE	160 LBS/ACRE
PERENNIAL RYE GRASS (BLENDED)	20 LBS/ACRE
KENTUCKY BLUE GRASS (BLENDED)	20 LBS/ACRE
- PERMANENT SEEDING TO BE APPLIED BY BROADCASTING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
- FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 14# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIME/STONE FOR TEMPORARY SEEDING SHALL BE 100# PER 1000 SF. LIME/STONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.
- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, SLOPED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
- MULCH TO CONSIST OF SMALL GRASS STRAW OR HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH TO BE SPREAD AT RATES OF 5.0 TO 11.0 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER. MULCH SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICABLE TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTONGUE HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILED AND FIRMED AS ABOVE.



**PLANT DETAIL NOTES**

- CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF NOT, DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
- PLANTING MUST BE GUARANTEED FOR TWO FULL GROWING SEASONS FROM THE TIME OF FINAL ACCEPTANCE BY THE TOWN OF NEWBURGH LANDSCAPE CONSULTANT. CONTRACTOR SHALL REMOVE WRAPPING AT THE END OF GUARANTEE PERIOD.
- BACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TESTS AND CULTURAL REQUIREMENTS OF PLANT. CENTRAL TRUNKS OR LEAVES.
- PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE. NEVER CUT MULCH SHALL NOT TOUCH THE TREE TRUNK.
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
- WIRE BASKETS AND NON-JUTE BURLAP MUST BE ENTIRELY REMOVED FROM THE ROOT BALL. JUTE BURLAP MUST BE REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.
- DEPTH OF PLANT PIT SHALL BE INCREASED BY 12" WHEREVER POOR SOIL CONDITIONS OCCUR, WITH THE ADDITION OF LOOSE AGGREGATE.

**LANDSCAPE LEGEND**



KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CAULUS	SPREAD	ROOT	REMARKS	SPACING
<b>ORNAMENTAL TREES</b>									
BN	1	BETULA NIGRA HERITAGE	HERITAGE RIVER BIRCH	8 - 10'			B & B		CLUMP/FULL HEAD
CK	3	CORNUS DOUGLASS	DOGWOOD	6 - 7'			B & B		SINGLE LEADER/FULL HEAD
<b>EVERGREEN TREES</b>									
CHP	1	CHAMAECYPARIS NODOSISSIMA PERDOL	WEEPING ALASKAN CEDAR	6 - 8'			B & B		SHEARED/MATCHED
CSG	1	CHAMAECYPARIS OBTUSA VARIEGATA	SILVER PINE	4 - 5'			B & B		SHEARED/MATCHED
PA	5	PICEA ABIES	HORSENAIL SPRUCE	6 - 7'			B & B		SHEARED/MATCHED
TRF	7	THELIDOCYCLUS EMERALD	EMERALD GREEN ARBORVITAE	5 - 6'			CONT.		SHEARED/MATCHED
<b>SHRUBS</b>									
CS	2	CORNUS STYRACA	REDDOGWOOD	30 - 50'			CONT.		TYPICAL SPECIES HABIT
DS	7	DIODIA SCARPA PINK MINOR	PINK MINOR RUZZY DOGWOOD	18 - 24'			CONT.		TYPICAL SPECIES HABIT
FI	20	FORSYTHIA INTERMEDIA	COMMON FORSYTHIA	4 - 5'			CONT.		TYPICAL SPECIES HABIT
IGS	24	ILEX GLABRA SHAMROCK	SHAMROCK HORSENAIL HOLLY	24 - 30'			CONT.		TYPICAL SPECIES HABIT
JCSG	41	JUNIPERUS CHINENSIS SEA GREEN	SEA GREEN JUNIPER	30 - 50'			CONT.		TYPICAL SPECIES HABIT
IVG	4	ITEA VIRGINICA HENRY'S GARNET	HENRY'S GARNET VIRGINIA SWEETSPICE	30 - 36'			CONT.		TYPICAL SPECIES HABIT
RF	7	RHODOCODONDRON FLAM	FLAM RHODOCODONDRON	24 - 30'			CONT.		TYPICAL SPECIES HABIT
SHN	1	SALIX INTEGRIFOLIA THALIRO NISIBY	DAPPLED WILLOW	30 - 36'			CONT.		TYPICAL SPECIES HABIT
SIRAW	15	SPIRAEA X BUNALDA ANTHONY WATERER	ANTHONY WATERER SPIRAEA	18 - 24'			CONT.		TYPICAL SPECIES HABIT
SID	8	SPIRAEA JAPONICA SHIROBANA	SHIROBANA SPIRAEA	18 - 24'			CONT.		TYPICAL SPECIES HABIT
VVPT	3	VIBURNUM PLICATUM VIB. TOMENTOSUM	DOUBLE-LEAF VIBURNUM	30 - 36'			CONT.		TYPICAL SPECIES HABIT
<b>PERENNIALS</b>									
HMPF	48	TRICHEREA MICHXANTHA PALACE PURPLE	PALACE PURPLE CORAL BELLS				CLUMP		CLUMPS
LAW	20	LAVANDULA ANGIUSTIFOLIA VILHARTSTAD	MUNSTARD LAVANDER				CLUMP		CLUMPS

**LANDSCAPE NOTES**

- THESE PLANS ARE TO BE USED FOR LANDSCAPE PURPOSES ONLY.
- LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES IS APPROXIMATE AND MAY VARY DUE TO FINAL LOCATIONS OF SITE IMPROVEMENTS AND/OR BUILDINGS.
- FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ALL AREAS WITHIN THE PLANTING BED LIMITS SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK.
- LAWN AREAS AROUND BUILDING SHALL BE STABILIZED WITH SOIL. WHILE OTHER LAWN AREAS SHALL BE STABILIZED WITH SEED.
- MAINTAINED LAWN AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IN-GROUND IRRIGATION SYSTEM AS REQUIRED. EXTENT OF COVERAGE AND ACTUAL CONFIGURATION OF THE SYSTEM WILL BE DETERMINED IN THE FIELD BY THE IRRIGATION CONTRACTOR.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERIES STANDARD FOR NURSERY STOCK.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE CONSULTANT FOR THE TOWN OF NEWBURGH.

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.**

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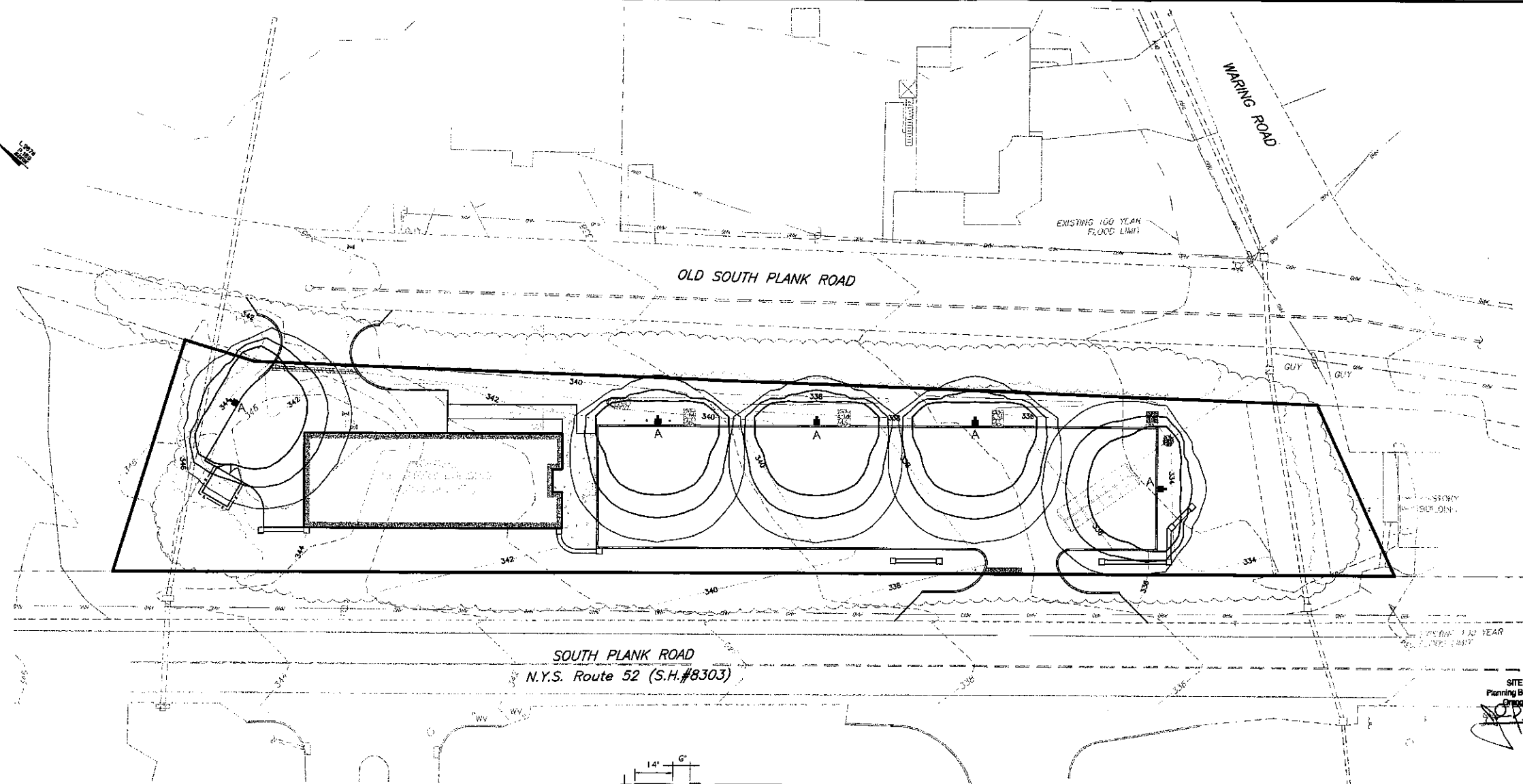
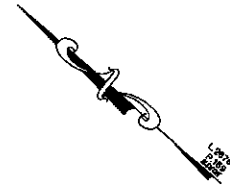
**FINAL SITE PLAN**  
**LANDSCAPE PLAN**  
FOR  
**KRISTOPHER J. NOTO**  
SECTION 64, BLOCK 2, LOT P/O 8.2

**Andrew B. Fetherston**  
ANDREW B. FETHERSTON  
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073555

REV.	DATE	DRAWN BY	DESCRIPTION
1	08/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

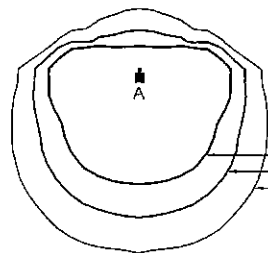
TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

JOB NUMBER:	06001329A	DATE:	03/29/10
SCALE:	1" = 20'	LATEST REVISION:	09/29/10
INDEX NUMBER:	NB0000963	DESIGN BY:	JED
SHEET NUMBER:	5	OF	9



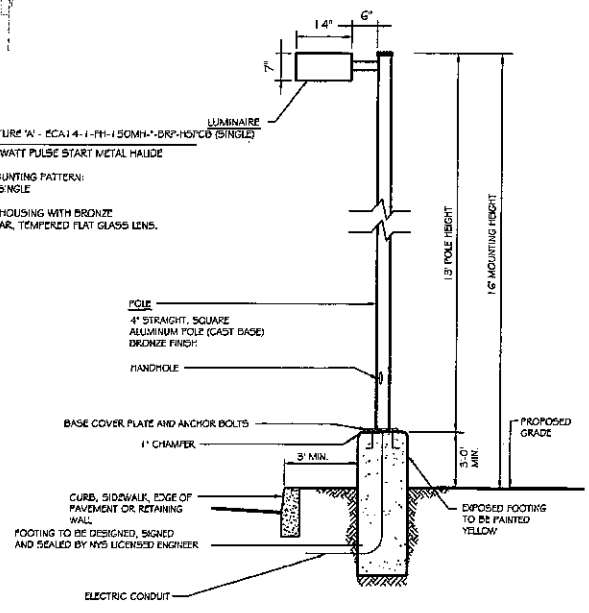
SITE PLAN APPROVED  
 Planning Board, Town of Newburgh  
 Orange County, New York  
 6/14/2011  
 Chairman

**LIGHTING LEGEND**



MODEL:  
 ECA14-1-TH-150MH-DRP-NSPCB (SINGLE)  
 BY EMCO LIGHTING (OR APPROVED EQUAL)  
 150 WATT PULSE START METAL HALIDE  
 TYPE IV HORIZONTAL WITH INTERNAL HOUSESIDE SHIELD  
 14" MOUNTING HEIGHT  
 \* - VOLTAGE TO BE PROVIDED BY ELECTRICIAN  
 POLE:  
 4" STRAIGHT, SQUARE  
 ALUMINUM POLE (CAST BASE)  
 BRONZE FINISH  
 QUANTITY: 5

MODEL: FIXTURE 'A' - ECA14-1-TH-150MH-DRP-NSPCB (SINGLE)  
 LAMP: 150 WATT PULSE START METAL HALIDE  
 FIXTURE MOUNTING PATTERN:  
 FIXTURE 'A' SINGLE  
 ALUMINUM HOUSING WITH BRONZE  
 FINISH, CLEAR, TEMPERED FLAT GLASS LENS.

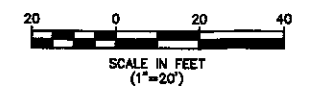


**POLE MOUNTED FIXTURE DETAIL - FIXTURE A**  
 NOT TO SCALE

- NOTES:
- LUMINAIRES TO BE MANUFACTURED BY EMCO LIGHTING OR APPROVED EQUAL.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
  - FOOTING TO BE DESIGNED, SIGNED, AND SEALED BY A NYS LICENSED ENGINEER.
  - \* - VOLTAGE TO BE PROVIDED BY ELECTRICIAN.

**LIGHTING NOTES**

- THESE PLANS ARE TO BE USED FOR LIGHTING PURPOSES ONLY.
- TYPICAL POLES, LUMINAIRES AND FIXTURES AS SUPPLIED BY EMCO LIGHTING OR APPROVED EQUAL.
- LAMPS ARE TO BE PULSE START METAL HALIDE. A LIGHT LOSS FACTOR OF 0.72 WAS USED.
- LUMINAIRES AND POLES ARE TO BE BRONZE.
- POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE(3) FEET BEHIND CURBS OR RETAINING WALLS IN PARKING AREAS.
- POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SPECIFIC SITE CONDITIONS. THE LIGHTING CONTRACTOR SHALL FIELD VERIFY POLE LOCATIONS IN ORDER TO ACCOMMODATE UTILITIES AND PAVEMENT.
- LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- CONCRETE FOOTINGS FOR POLE MOUNTED LIGHTS TO BE DESIGNED, SIGNED AND SEALED BY A NYS LICENSED ENGINEER.
- ELECTRICAL DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.



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THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY.

REV.	DATE	DRAWN BY	DESCRIPTION
1	06/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

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*Andrew B. Fetherston*  
**ANDREW B. FETHERSTON**  
 NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073555

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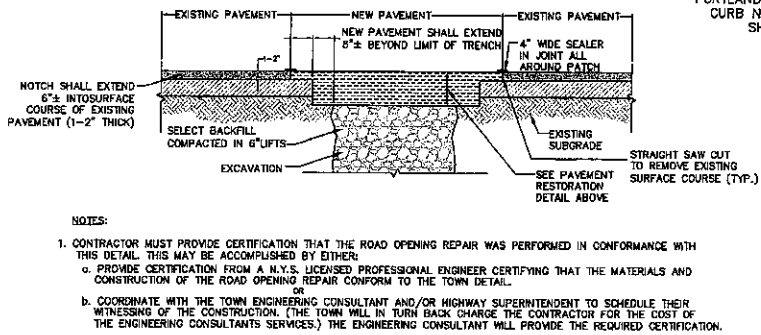
FINAL SITE PLAN  
**LIGHTING PLAN**  
 FOR  
**KRISTOPHER J. NOTO**  
 SECTION 64, BLOCK 2, LOT P/O 8.2

JOB NUMBER: 06001328A	DATE: 03/29/10
SCALE: 1" = 20'	LATEST REVISION: 06/29/10
PROJECT NUMBER: NB000064	DESIGN BY: JED
SHEET NUMBER: <b>6 of 9</b>	

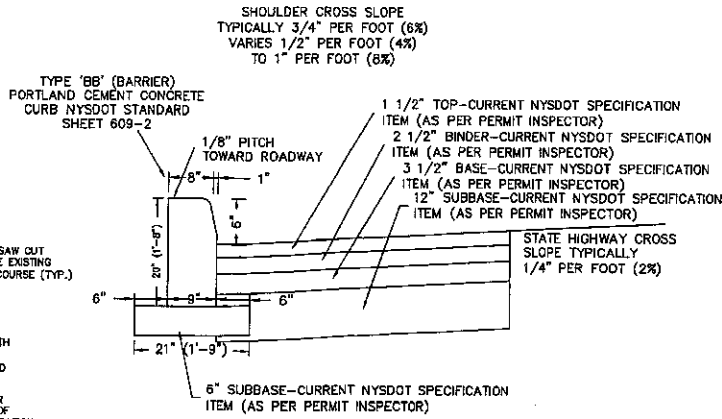
TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

**CONSTRUCTION NOTES:**

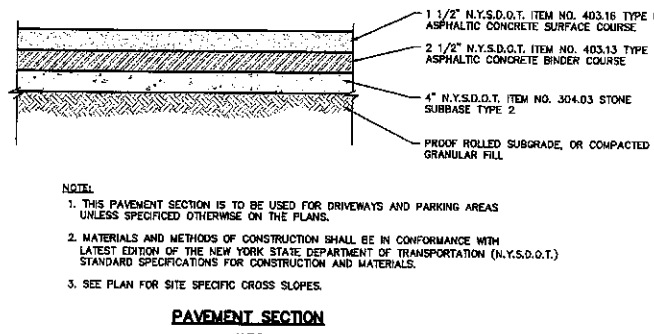
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES - GAS, WATER, ELECTRICAL, BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL 1-800-982-7882
2. EROSION CONTROL MEASURES WILL BE REQUIRED AS PER NYSDC AND THE TOWN OF NEWBURGH.
3. AS BUILT PLANS SHALL BE REQUIRED AND CERTIFIED BY A N.Y. STATE LICENSED PROFESSIONAL SURVEYOR.
4. ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
6. THE SITE IMPROVEMENTS SHALL BE STAKED IN THE FIELD BY A N.Y. STATE LICENSED SURVEYOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF THE SITE DURING CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR MAINTAINING A SAFE SITE THROUGH PROPER MAINTENANCE THEREAFTER.



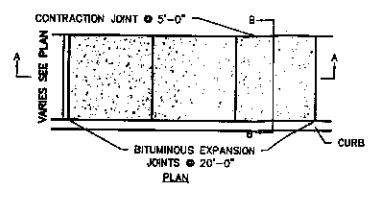
**ROAD OPENING REPAIR DETAIL**  
N.T.S.



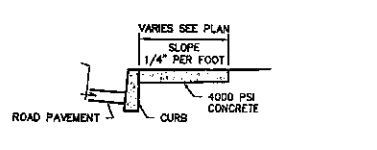
**CURB AND SHOULDER DETAIL PER N.Y.S.D.O.T. REQUIREMENTS**  
N.T.S.  
SEE PLAN FOR LIMITS OF CURB AND PAVEMENT



**PAVEMENT SECTION**  
N.T.S.



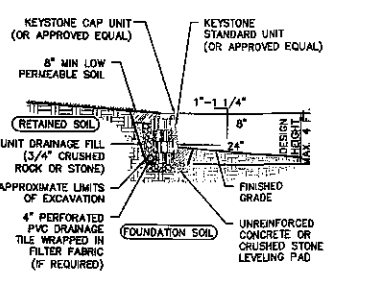
**CONTRACTION JOINT @ 5'-0\"/>**



**ROAD PAVEMENT CURB SECTION B-B**  
N.T.S.

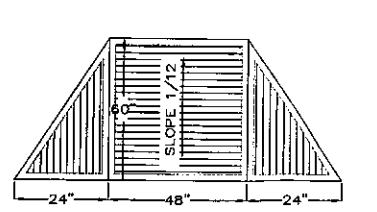
- NOTES:**
1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 5 FEET (MAX).
  2. THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
  3. DIMENSIONS SHOWN AS VARIABLE SHALL BE CONFIRMED BY THE ENGINEER.

**SIDEWALK**  
N.T.S.

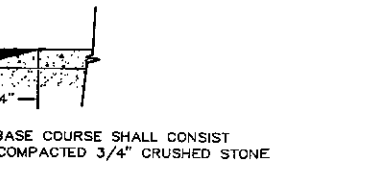


- NOTES:**
1. MODULAR CONCRETE BLOCK WALL TO BE INSTALLED IN FIELD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  2. CONTRACTOR TO PROVIDE SITE SPECIFIC SHOP DRAWINGS FOR EACH RETAINING WALL FOR APPROVAL PRIOR TO CONSTRUCTION.

**TYPICAL GRAVITY WALLS SECTION**  
STANDARD UNIT - 1" SETBACK (MAXIMUM 4 FT. DESIGN HEIGHT)  
N.T.S.



**CORNER PLAN**  
**STRAIGHT PLAN**



**CONCRETE SIDEWALK RAMP**  
N.T.S.

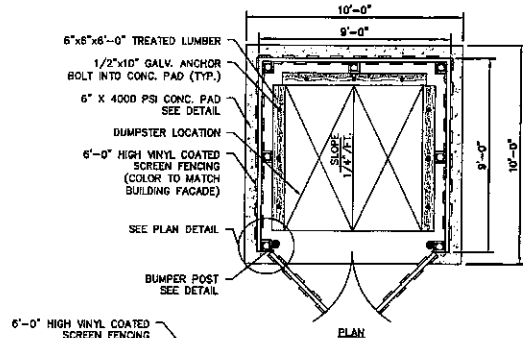
REV.	DATE	DRAWN BY	DESCRIPTION
1	09/28/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

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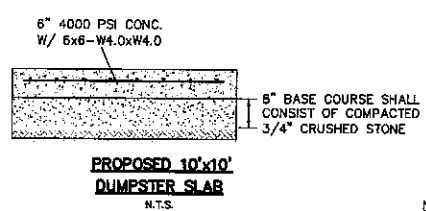
**Regional Offices:**  
Rochester, N.Y.  
Canton, N.Y.  
Hamilton, N.Y.  
Logan, N.Y.  
Marmora, N.J.  
Mt. Arlington, N.J.  
Chenoweth Ridge, N.Y.  
Bethlehem, Pa.

**FINAL SITE PLAN CONSTRUCTION DETAILS FOR KRISTOPHER J. NOTO SECTION 64, BLOCK 2, LOT P/O 8.2**

DATE: 03/28/10  
LATEST REVISION: 09/29/10  
DESIGN BY: JUS  
SHEET NUMBER: 7 of 9

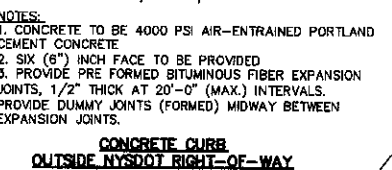


**10'-0" X 10'-0" DUMPSTER ENCLOSURE DETAIL**  
N.T.S.

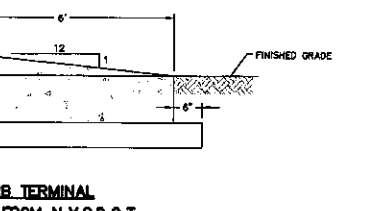


**PROPOSED 10'x10' DUMPSTER SLAB**  
N.T.S.

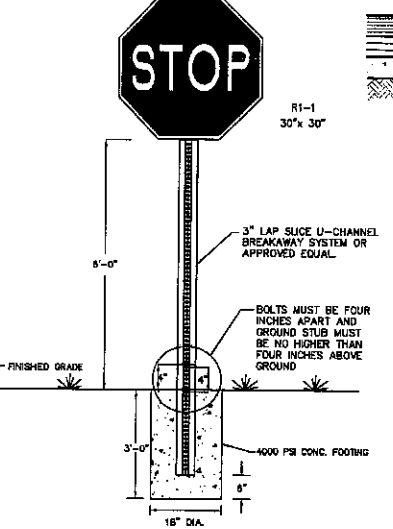
NOTE: 3/4" BIT. EXPANSION JOINTS WHERE PAD CONTACTS BUILDING, SIDEWALK, STEPS OR ABUTTING CONCRETE PAD



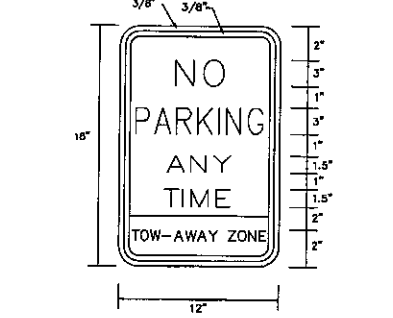
**CONCRETE CURB OUTSIDE N.Y.S.D.O.T. RIGHT-OF-WAY**  
N.T.S.



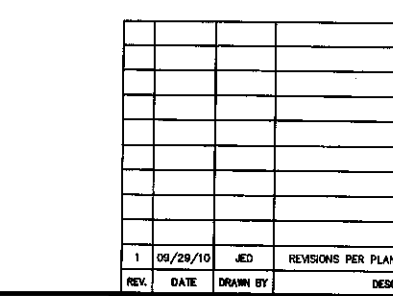
**CURB TERMINAL ADOPTED FROM N.Y.S.D.O.T. STANDARD SHEET 609-2**  
N.T.S.



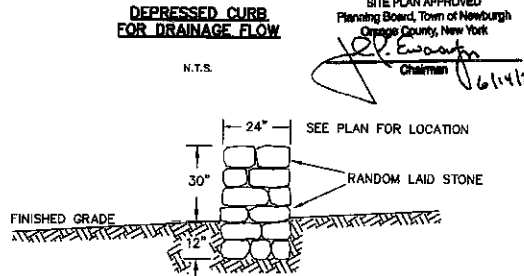
**BREAKAWAY STOP SIGN WITH POST DETAIL**  
N.T.S.



**NO PARKING ANY TIME TOW-AWAY ZONE**  
N.T.S.



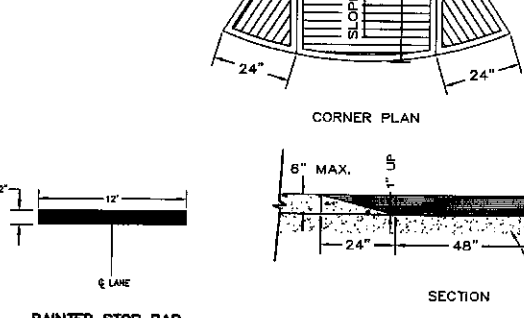
**SIGN FOR HANDICAPPED PARKING SPACE**  
N.T.S.



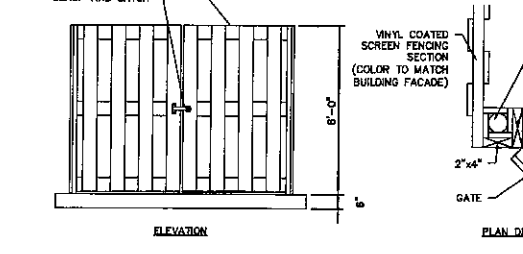
**DEPRESSED CURB FOR DRAINAGE FLOW**  
N.T.S.



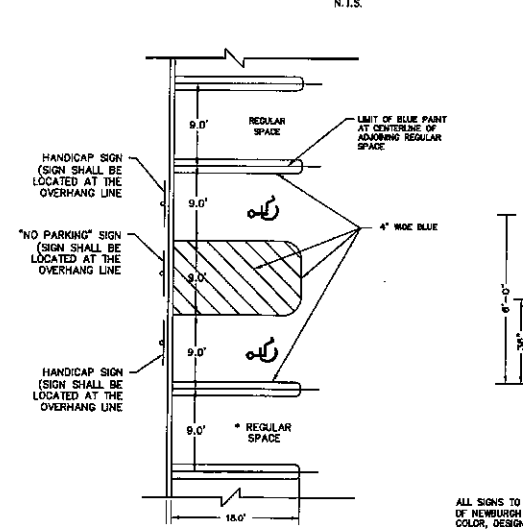
**FREE STANDING WALL**  
N.T.S.



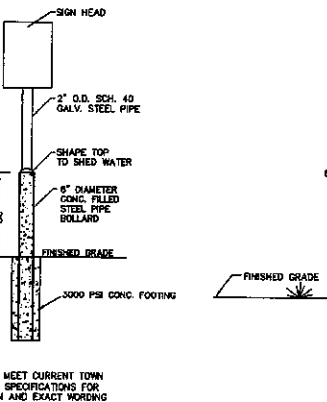
**PAINTED STOP BAR**  
N.T.S.



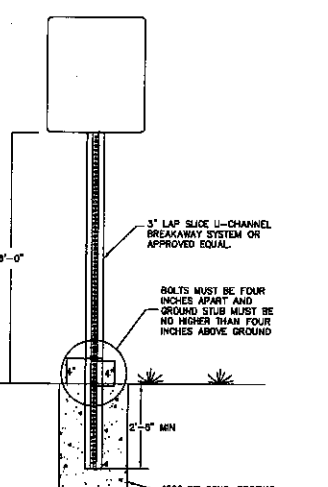
**ELEVATION**  
**PLAN DETAIL**



**HANDICAPPED PARKING IN FRONT OF BUILDING**  
N.T.S.



**SIGN POST FOR HANDICAPPED PARKING IN PARKING LOT**  
N.T.S.



**BREAKAWAY SIGN POST DETAIL**  
N.T.S.

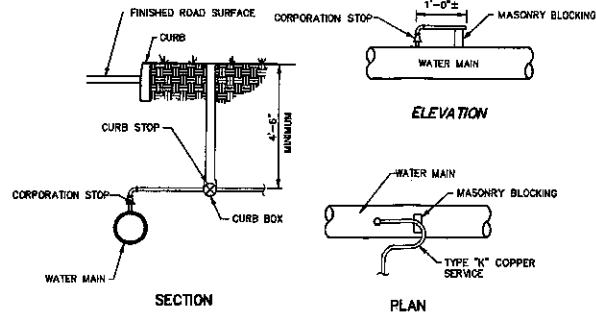
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**WATER SYSTEM NOTES**

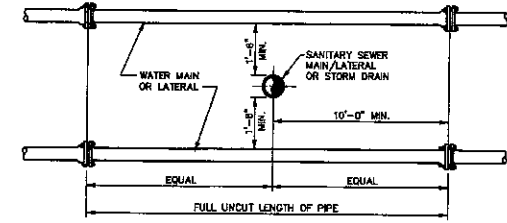
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE OOH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.1-01 OR LATEST REVISION FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALLO SERIES 1120 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153.53 LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C500 LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL.
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-815 OR EQUAL. TAPPING VALVE SHALL BE RESILIENT WEDGE, MECHANICAL JOINT BY FLANGED END SUCH AS MUELLER T-2360-19 OR EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- WHERE WATER MAIN CROSSES BELOW A CULVERT OR OTHER CONDUIT, CONCRETE SUPPORT BLOCKS SHALL BE PLACED ON BOTH SIDES OF WATER MAIN TO ELIMINATE ANY IMPOSED LOADING ON WATER MAIN FROM THE CULVERT OR OTHER CONDUIT.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH AWWA STANDARDS AS WELL AS THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE TOWN OF NEWBURGH WATER DEPARTMENT.

**SEWER SYSTEM NOTES**

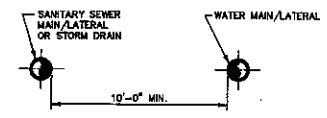
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-83 OR LATEST REVISION. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212 OR LATEST REVISION. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE WITNESSED BY AND COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.



**TYPICAL POTABLE WATER SERVICE DETAIL**  
N.T.S.



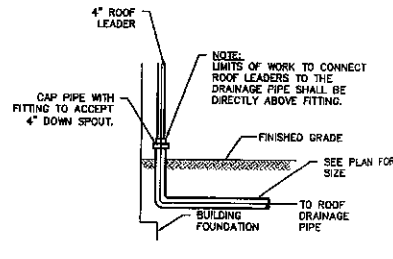
**VERTICAL SEPARATION**



**HORIZONTAL SEPARATION**

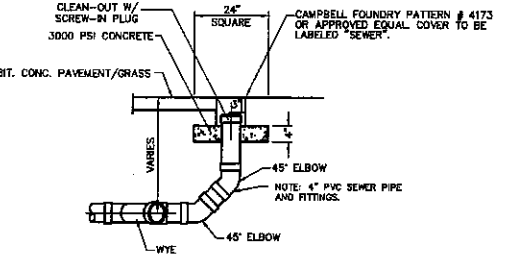
NOTE: NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

**SANITARY/STORM SEWER-WATER MAIN SEPARATION DETAIL**  
N.T.S.

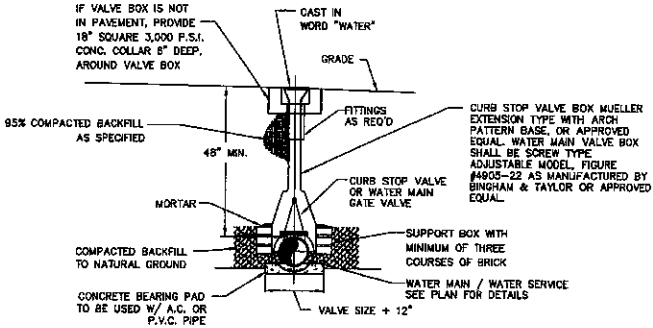


**ROOF LEADER DETAIL**  
N.T.S.

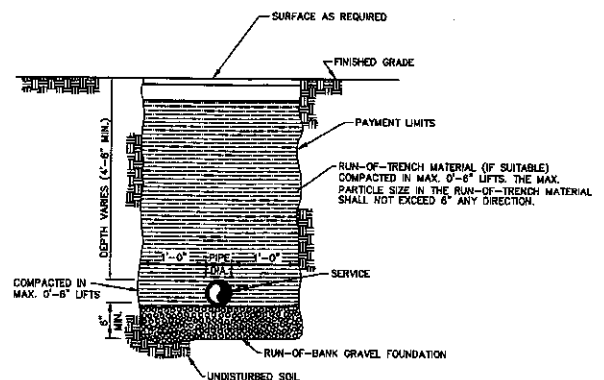
SITE PLAN APPROVED  
Planning Board, Town of Newburgh  
Orange County, New York  
*John P. Eusebio*  
Chairman  
6/14/2011



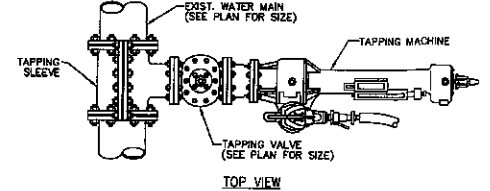
**SANITARY SEWER CLEANOUT AT BEND**  
N.T.S.



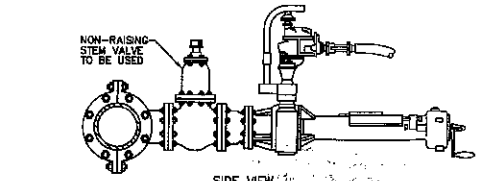
**VALVE BOX DETAIL**  
N.T.S.



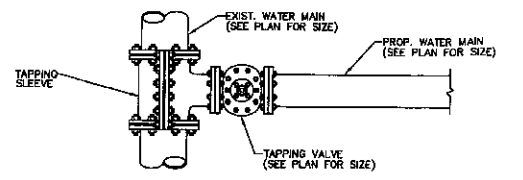
**WATER MAIN TRENCH DETAIL**  
N.T.S.



**TOP VIEW**



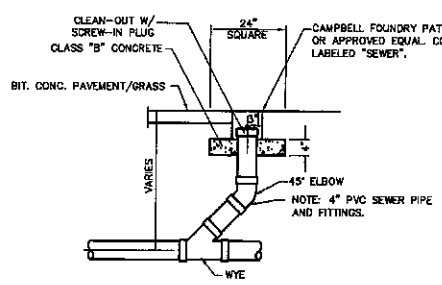
**SIDE VIEW**



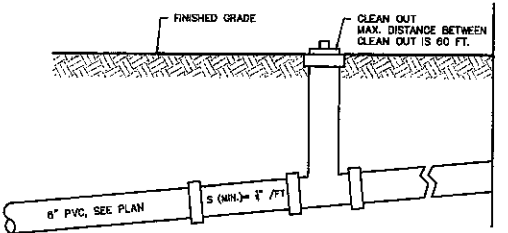
**FINAL INSTALLATION**

- NOTES:
- WET TAP VALVE CAN BE INSTALLED IN EITHER VERTICAL OR HORIZONTAL POSITION.
  - CONTRACTOR SHALL VERIFY DEPTH OF BURY, MATERIAL DIAMETER (O.D.) AND OPERATING PRESSURE OF EXISTING WATER MAIN PRIOR TO ORDERING OF WET TAP UNIT.

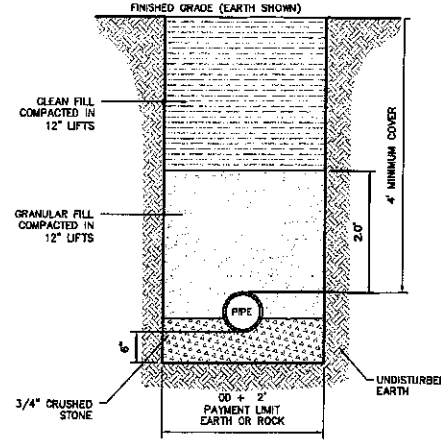
**WET TAP DETAIL**  
N.T.S.



**SANITARY SEWER CLEANOUT IN-LINE**  
N.T.S.



**SANITARY SERVICE CONNECTION**  
N.T.S.



**SANITARY SEWER TRENCH & PIPE BEDDING DETAIL**  
N.T.S.

REV.	DATE	DRAWN BY	DESCRIPTION
1	09/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

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*Andrew B. Fetherston*  
**ANDREW B. FETHERSTON**  
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073555

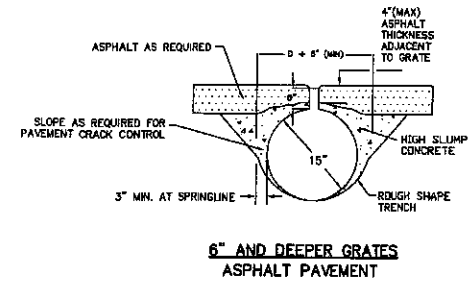
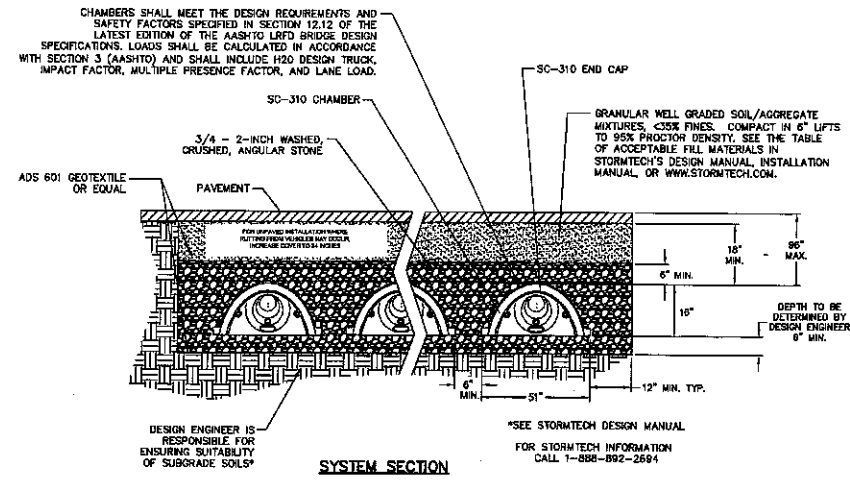
**MASER CONSULTING P.A.**  
NEWBURGH OFFICE  
Suite 101  
1807 Route 300  
Newburgh, N.Y. 12550  
Phone: (845) 564-4455  
Fax: (845) 564-0278  
E-mail: solutions@maserconsulting.com

**FINAL SITE PLAN**  
**UTILITY & STORMWATER DETAILS**  
FOR  
**KRISTOPHER J. NOTO**  
SECTION 64, BLOCK 2, LOT P/O 8.2

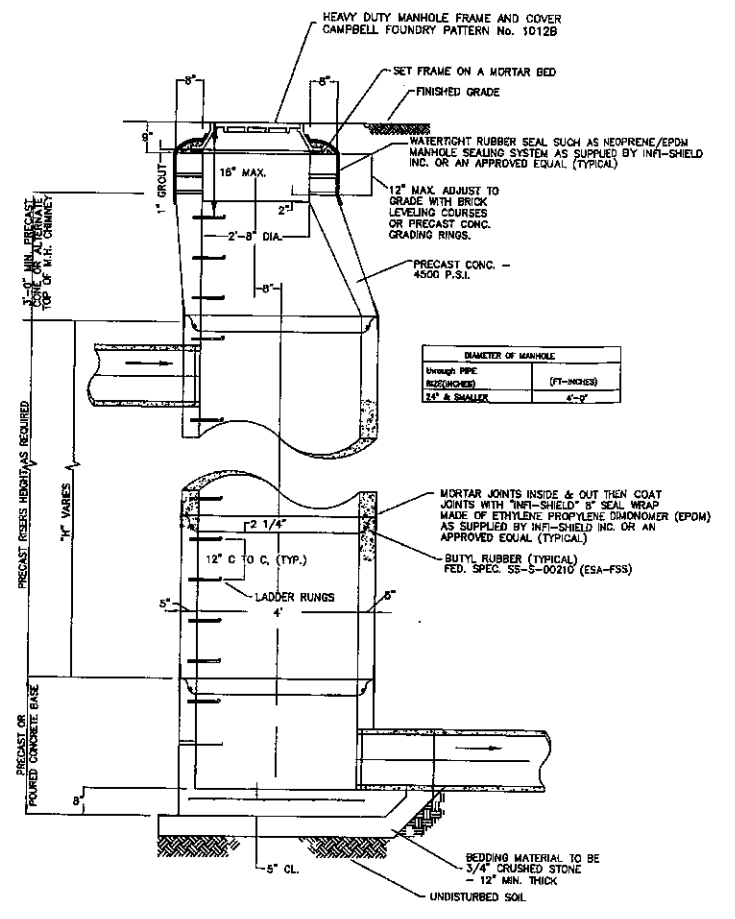
TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

DATE: 03/29/10  
SCALE: AS SHOWN  
PROJECT NUMBER: N9000966  
SHEET NUMBER: 8 of 9

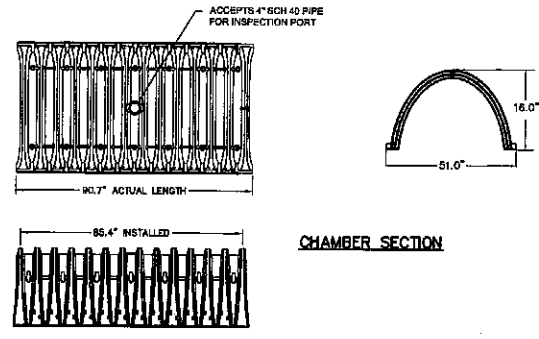
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- REQUIREMENTS:**
- 8" DEEP GRATING IS ACCEPTABLE FOR STANDARD HIGHWAY (H10 THROUGH H25) LOADS. HIGH SLUMP CONCRETE BACKFILL IS REQUIRED, WITH THE ENVELOPE EXTENDING A MINIMUM OF 3 INCHES BEYOND THE SPRINGLINE, AS SHOWN ABOVE. THE HIGH SLUMP CONCRETE MUST PROVIDE A MINIMUM 750 PSI COMPRESSIVE STRENGTH.
  - DURING INSTALLATION, RECESS THE TOP OF THE GRATE 1/4" BELOW THE FINISHED GRADE OF THE PAVEMENT.
  - PAVEMENT DESIGNS AS REQUIRED FOR LOADING CONDITIONS. FOR REINFORCED CONCRETE PAVEMENTS, CONTINUE THE REINFORCEMENT OVER THE SLOTTED DRAIN. FOR UNREINFORCED CONCRETE PAVEMENTS, MINIMUM SHRINKAGE STEEL IS RECOMMENDED.
  - SEE PLAN VIEW FOR LOCATION AND SIZING

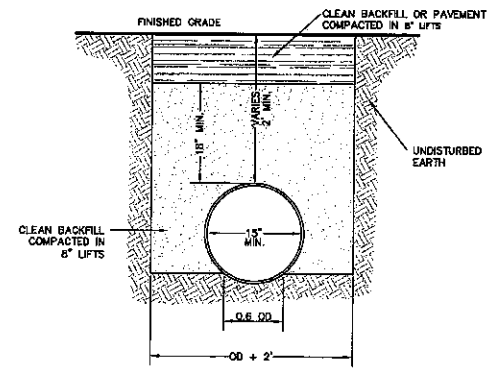
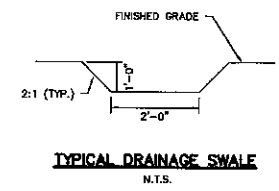


- STORMTECH NOTES:**
- CHAMBERS SHALL BE STORMTECH MC-310 OR APPROVED EQUAL.
  - CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
  - CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW.
  - THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
  - ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
    - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
    - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL CROSS SECTION IS BASED.
  - THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

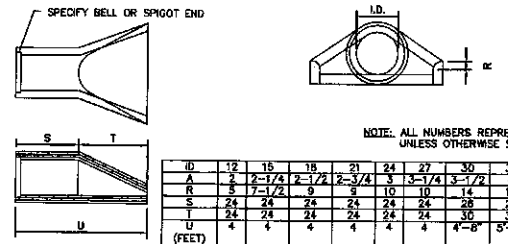


- CONTECH SLOTTED TRENCH DRAIN**  
N.T.S.
- NOTES:**
- STORMWATER TREATMENT SYSTEM (SWTS) SHALL REMOVE 80% OF A SEDIMENT GRADATION WITH AN AVERAGE PARTICLE SIZE OF 240 MICRONS AT THE DESIGNATED TREATMENT FLOW RATE LISTED IN THE TABLE FOR EACH CORRESPONDING MODEL.
  - SWTS REMOVAL EFFICIENCY CLAIM SHALL BE CORROBORATED BY FULL SCALE LABORATORY TEST PERFORMANCE DATA.
  - SWTS MAINTENANCE RECOMMENDATION SHALL BE SUPPORTED BY FULL SCALE WASH-OUT TESTING.
  - SWTS SHALL PROVIDE INTERNAL BYPASS OF FLOWS THAT EXCEED THE TREATMENT FLOWRATE.
  - SWTS MAXIMUM HYDRAULIC CAPACITY MAY VARY DEPENDING UPON THE DEPTH OF FLOW OVER THE GRATE.
  - IF THE SWTS INCORPORATES THE OPTIONAL INLET PIPE, INVERTS IN AND OUT SHALL BE AT THE SAME ELEVATION AND 180° FROM EACH OTHER.
  - MINIMUM RIM TO INVERT DISTANCE MAY BE REDUCED DEPENDING UPON ACTUAL PIPE DIAMETER. CONTACT CONTECH STORMWATER SOLUTIONS FOR SITE SPECIFIC INFORMATION.
  - PIPE SIZE MAY BE SMALLER THAN THE MAXIMUM PIPE SHOWN ON THE TABLE. SEE SITE PLAN FOR PIPE SIZE.
  - PURCHASER SHALL NOT BE RESPONSIBLE FOR ASSEMBLY OF INTERNAL COMPONENTS.
  - ACCESS FRAME AND GRATED COVER SUPPLIED WITH SYSTEM, NOT INSTALLED. SWTS MAY ALSO HAVE A SOLID COVER AND INLET PIPE (NOT SHOWN).
  - PURCHASER TO PREPARE EXCAVATION AND PROVIDE LIFTING EQUIPMENT.
  - VORSENTRY HS BY CONTECH STORMWATER SOLUTIONS, PORTLAND, OR (800) 548-4667, SCARBOROUGH, ME (877) 907-6876, LINTHICUM, MD (866) 740-3318.

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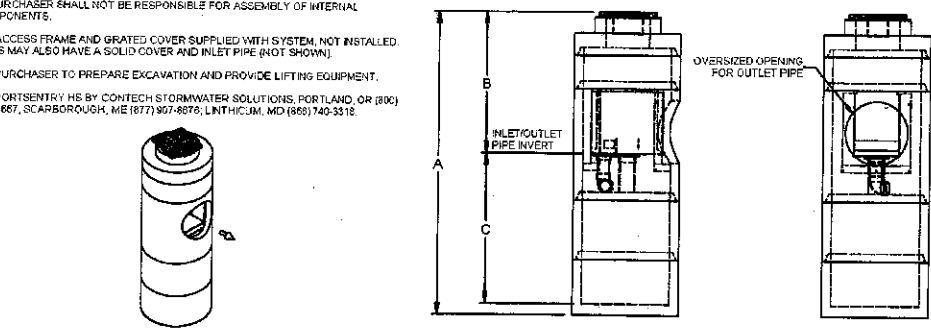


- NOTES:**
- ALL FILL BELOW IMPERVIOUS AREAS SHALL BE WITH SELECT GRANULAR SUBGRADE HYSDOT ITEM 203.00 FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 6" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
  - EXCAVATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE MUNICIPAL ENGINEER.
  - ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS.



NOTE: ALL NUMBERS REPRESENT INCHES UNLESS OTHERWISE SPECIFIED

U	12	15	18	21	24	27	30	36	42	48	54	60
A	2	2-1/4	2-1/2	2-3/4	3	3-1/4	3-1/2	4	4-1/2	5	5-1/2	6
B	2	2-1/4	2-1/2	2-3/4	3	3-1/4	3-1/2	4	4-1/2	5	5-1/2	6
S	24	24	24	24	24	24	24	28	36	36	36	36
T	24	24	24	24	24	24	24	30	36	36	36	36
U	4	4	4	4	4	4	4	4	4	4	4	4
V	24	28	34	40	48	60	72	78	84	90	96	96
WT/FT (POUND)	360	360	640	880	920	1200	1540	2100	5500	6300	6200	9300



**CONTECH VORSENTRY HS 36-G STORMWATER TREATMENT SYSTEM**  
N.T.S.

VortSentry Model	Manhole Diameter (ID)		Total Treatment Flow Rate		Typical Total Distance Rim to Outside Bottom		Typical Distance Rim to Invert		Typical Depth Below Invert (Inside)		Approximate Minimum Distance Rim to Invert		Maximum Pipe Diameter (ID)	
	ft	mm	cfs	l/s	ft	m	ft	m	ft	mm	ft	mm	in	mm
HS36	3	900	0.55	15.6	10.16	3.10	4.08	1.24	5.5833	1702	3.00	0.91	18	450

SITE PLAN APPROVED  
Planning Board, Town of Newburgh  
Orange County, New York  
*[Signature]*  
Chairman 6/14/2010

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*Andrew B. Fetherston*  
**ANDREW B. FETHERSTON**  
NEW YORK STATE PROFESSIONAL ENGINEER LIC. NO. 073955

REV.	DATE	DRAWN BY	DESCRIPTION
1	09/29/10	JED	REVISIONS PER PLANNING BOARD RESOLUTION

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FINAL SITE PLAN  
**STORMWATER DETAILS**  
FOR  
**KRISTOPHER J. NOTO**  
SECTION 64, BLOCK 2, LOT P/O 8.2

JOB NUMBER	DATE
05001525A	05/29/10

SCALE	LATEST REVISION
AS SHOWN	09/29/10

INDEX NUMBER	DESIGN BY
NB000966	JJS

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

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