



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** POPPY LANE AMENDED SUBDIVISION  
**PROJECT NO.:** 21-26  
**PROJECT LOCATION:** SECTION 6, BLOCK 1, LOT 113, 114 & 115  
**REVIEW DATE:** 13 MAY 2022  
**MEETING DATE:** 19 MAY 2022  
**PROJECT REPRESENTATIVE:** ENGINEERING & SURVEYING PROPERTIES, PC

1. The project is before the Board for a continuation of a Public Hearing. Previously unresolved drainage issues are being addressed.
2. The applicant's representative have provided a Stormwater Design which will convey stormwater from the private road entrance to Lester Clark Drive in an easterly direction to an existing closed pipe drainage system. The existing drainage system appears consist of 18" diameter pipe discharging to a 15" diameter pipe. The addition of the pipe from the site to the existing catch basin will add an additional 18" pipe to the system. The capacity of the existing 15" pipe should be evaluated to ensure that tributary flow can be conveyed for the design storm event.
3. The discharge location of the existing 15" HDPE pipe should be depicted on the plans. This is required to identify any downgradient impacts of the increased runoff tributary to the 15" stormwater system.
4. Cost estimates for the private roadway and off- site drainage improvements should be provided such that upon approval the securities can be sent to the Town Board for acceptance.
5. The Board is reminded that the applicant is seeking waivers for the percent grade of the private roadway and the waiver for the cul-de-sac at the termination of the private road.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink, reading 'Patrick J. Hines'.

Patrick J. Hines  
Principal  
PJH/kbw

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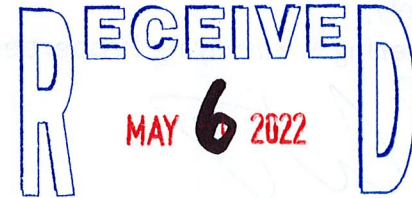




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MHE Engineering, D.P.C.

May 6, 2022

Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

**ATTN: John P. Ewasutyn, Chairman**

**RE: W.O. # 1493.01  
POPPY LANE  
SECTION 6, BLOCK 1, LOTS 113, 114, AND 115, OFF OF LESTER CLARK ROAD  
LOTS 2, 3 & 4 OF THE MARTUSCELLO SUBDIVISION, FILED MAP #8866 5/18/1988  
RESPONSE TO COMMENTS**

Dear Chair Ewasutyn and members of the Board,

We have revised the plans for the above-referenced property in response to comments provided at the March 17, 2022 meeting. We provide the following numbered responses to Planning Board Engineer Patrick Hines's review letter dated March 11 (copy attached):

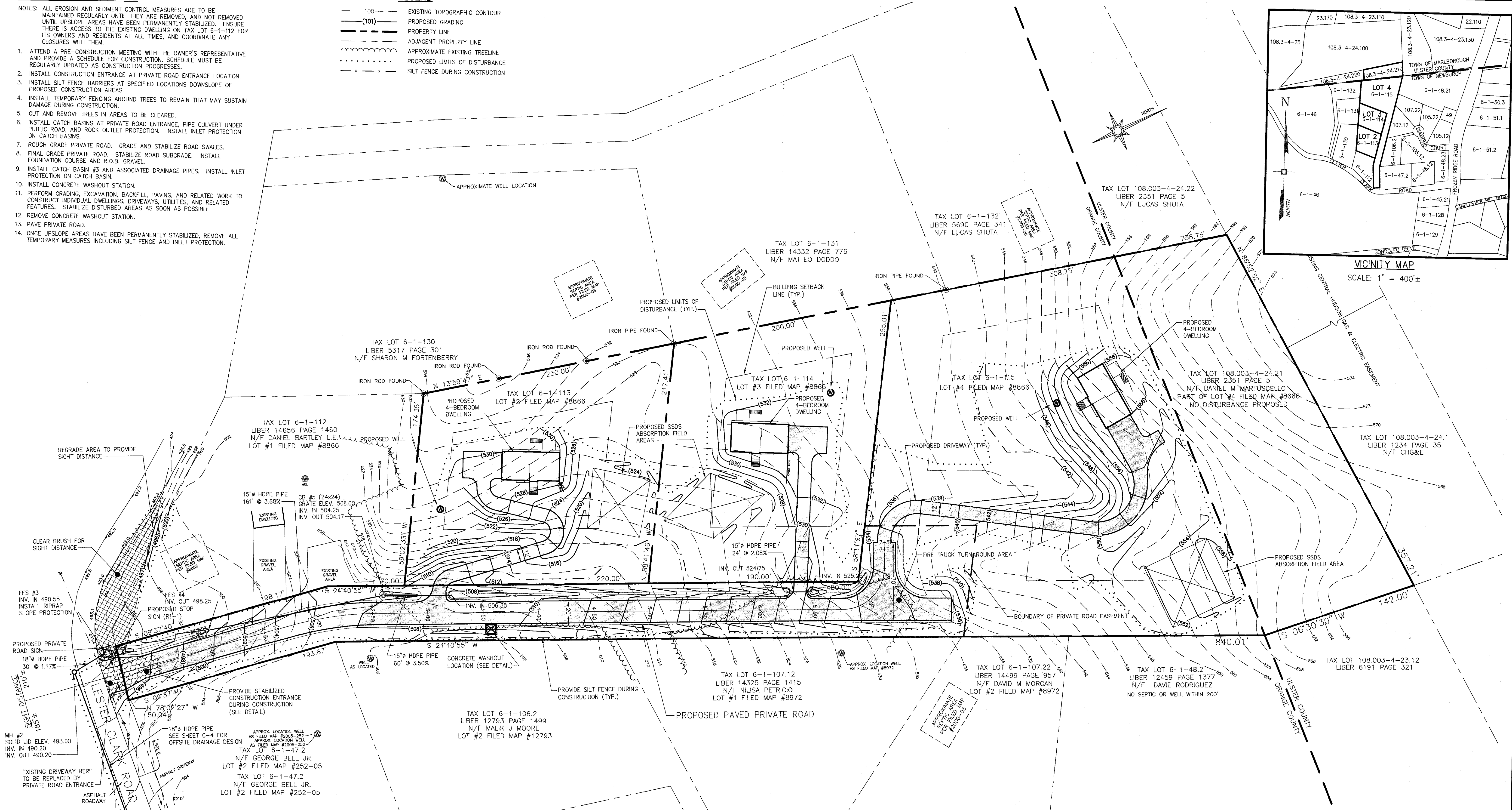
1. No response required at this time.
2. The section of Lester Clark Road where the off-site drainage is to be provided has been surveyed, and the design of the off-site drainage has been revised. This information is on Sheet C-4 of the revised plans.
3. The revised plan includes two manholes, MH#1 and MH#2, along the south side of Lester Clark Road.
4. A preliminary discussion with the highway superintendent indicated that the concept was acceptable. Plans have been sent to his office for review.
5. The existing culvert has been surveyed; it is an 18" diameter culvert with catch basins at both ends. Instead of using this culvert, a new culvert across Lester Clark is proposed at the location of the new private road entrance.



NOTES: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED REGULARLY UNTIL THEY ARE REMOVED, AND NOT REMOVED UNTIL UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED. ENSURE THERE IS ACCESS TO THE EXISTING DWELLING ON TAX LOT 6-1-112 FOR ITS OWNERS AND RESIDENTS AT ALL TIMES, AND COORDINATE ANY CLOSURES WITH THEM.

1. ATTEND A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A SCHEDULE FOR CONSTRUCTION. SCHEDULE MUST BE REGULARLY UPDATED AS CONSTRUCTION PROGRESSES.
2. INSTALL CONSTRUCTION ENTRANCE AT PRIVATE ROAD ENTRANCE LOCATION.
3. INSTALL SILT FENCE BARRIERS AT SPECIFIED LOCATIONS DOWNSLOPE OF PROPOSED CONSTRUCTION AREAS.
4. INSTALL TEMPORARY FENCING AROUND TREES TO REMAIN THAT MAY SUSTAIN DAMAGE DURING CONSTRUCTION.
5. CUT AND REMOVE TREES IN AREAS TO BE CLEARED.
6. INSTALL CATCH BASINS AT PRIVATE ROAD ENTRANCE, PIPE CULVERT UNDER PUBLIC ROAD AND ROCK OUTLET PROTECTION. INSTALL INLET PROTECTION ON CATCH BASINS.
7. ROUGH GRADE PRIVATE ROAD. GRADE AND STABILIZE ROAD SWALES.
8. FINAL GRADE PRIVATE ROAD. STABILIZE ROAD SUBGRADE. INSTALL FOUNDATION COURSE AND R.O.B. GRAVEL.
9. INSTALL CATCH BASIN #3 AND ASSOCIATED DRAINAGE PIPES. INSTALL INLET PROTECTION ON CATCH BASIN.
10. INSTALL CONCRETE WASHOUT STATION.
11. PERFORM GRADING, EXCAVATION, BACKFILL, PAVING, AND RELATED WORK TO CONSTRUCT INDIVIDUAL DWELLINGS, DRIVEWAYS, UTILITIES, AND RELATED FEATURES. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE.
12. REMOVE CONCRETE WASHOUT STATION.
13. PAVE PRIVATE ROAD.
14. ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE ALL TEMPORARY MEASURES INCLUDING SILT FENCE AND INLET PROTECTION.

— 100 — EXISTING TOPOGRAPHIC CONTOUR  
 — (101) — PROPOSED GRADING  
 — — — — — PROPERTY LINE  
 — — — — — ADJACENT PROPERTY LINE  
 ~ ~ ~ ~ ~ APPROXIMATE EXISTING TREELINE  
 . . . . . PROPOSED LIMITS OF DISTURBANCE  
 — x — x — SILT FENCE DURING CONSTRUCTION



### GENERAL NOTES

1. TAX MAP DESIGNATION: SECTION 6, BLOCK 1, LOTS 113, 114, & 115 LOTS NUMBER 2, 3, AND 4 OF THE LANDS OF PHOEBE E. MARTUSCELLO MINOR SUBDIVISION, FILED MAY 18, 1988 AS MAP #8866
2. OWNER/APPLICANT:  
WISE EQUITIES GROUP LLC  
20 CHEVRON STREET, SUITE 201  
MONROE, NY 10950
3. ZONING DISTRICT: AR
4. BASED ON A SURVEY BY CV ASSOCIATES NY DATED 10/12/2020, AND ON FILED MAP #8866.
5. THERE ARE NO REGULATED FLOOD PLAINS WITHIN 300 FEET OF THE PROJECT SITE, PER THE NATIONAL FLOOD INSURANCE RATE MAPS NUMBER 36071C0133E AND 36071C0134E FOR ORANGE COUNTY, NY EFFECTIVE 8/03/09.
6. PROPOSED USE: NEW SINGLE-FAMILY RESIDENTIAL DWELLINGS. REFER TO SEPARATE PLANS FOR PROPOSED RESIDENTIAL CONSTRUCTION AND UTILITIES.
7. LIMITS OF DISTURBANCE FOR ALL PROPOSED CONSTRUCTION: 3.4 ACRES ±
8. PER FILED MAP #8866 GENERAL NOTE #6, A STREET SIGN AND PRIVATE ROAD SIGN MUST BE ERCTED BEFORE A BUILDING PERMIT IS ISSUED, ALONG WITH A STOP SIGN. SEE DETAILS ON SHEET C-3.
9. A PRIVATE ROAD MAINTENANCE DECLARATION FOR THE PROPOSED PRIVATE ROAD WAS FILED IN THE ORANGE COUNTY CLERK'S OFFICE AT LIBER 3265 AND PAGE 399 ON 5/16/1990.
10. PER FILED MAP #8866 GENERAL NOTE #8, NO TOWN SERVICES WILL BE PROVIDED ON PRIVATE ROAD.
11. DURING CONSTRUCTION, CONTRACTOR SHALL ENSURE THERE IS ACCESS TO THE EXISTING DWELLING ON TAX LOT 6-1-112 FOR ITS OWNERS AND RESIDENTS AT ALL TIMES, AND COORDINATE ANY CLOSURES WITH THEM.

UTILITY NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES, WHETHER IN THE PUBLIC RIGHT-OF-WAY, IN EASEMENTS, OR IN PRIVATE PROPERTY PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES THROUGHOUT THE COURSE OF CONSTRUCTION. PROJECT SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
2. EXCAVATION IN NEW YORK MUST BE CONTACTED 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION, BY DIALING 811 OR AT [www.digsafelynewyork.com](http://www.digsafelynewyork.com).

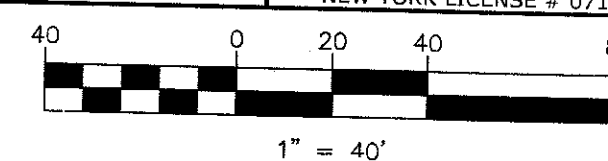
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		SHEET NUMBER	
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1	OF	4
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
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<input type="checkbox"/> OTHER	N/A	OF	N/A
<input type="checkbox"/> FOR BID	N/A	OF	N/A
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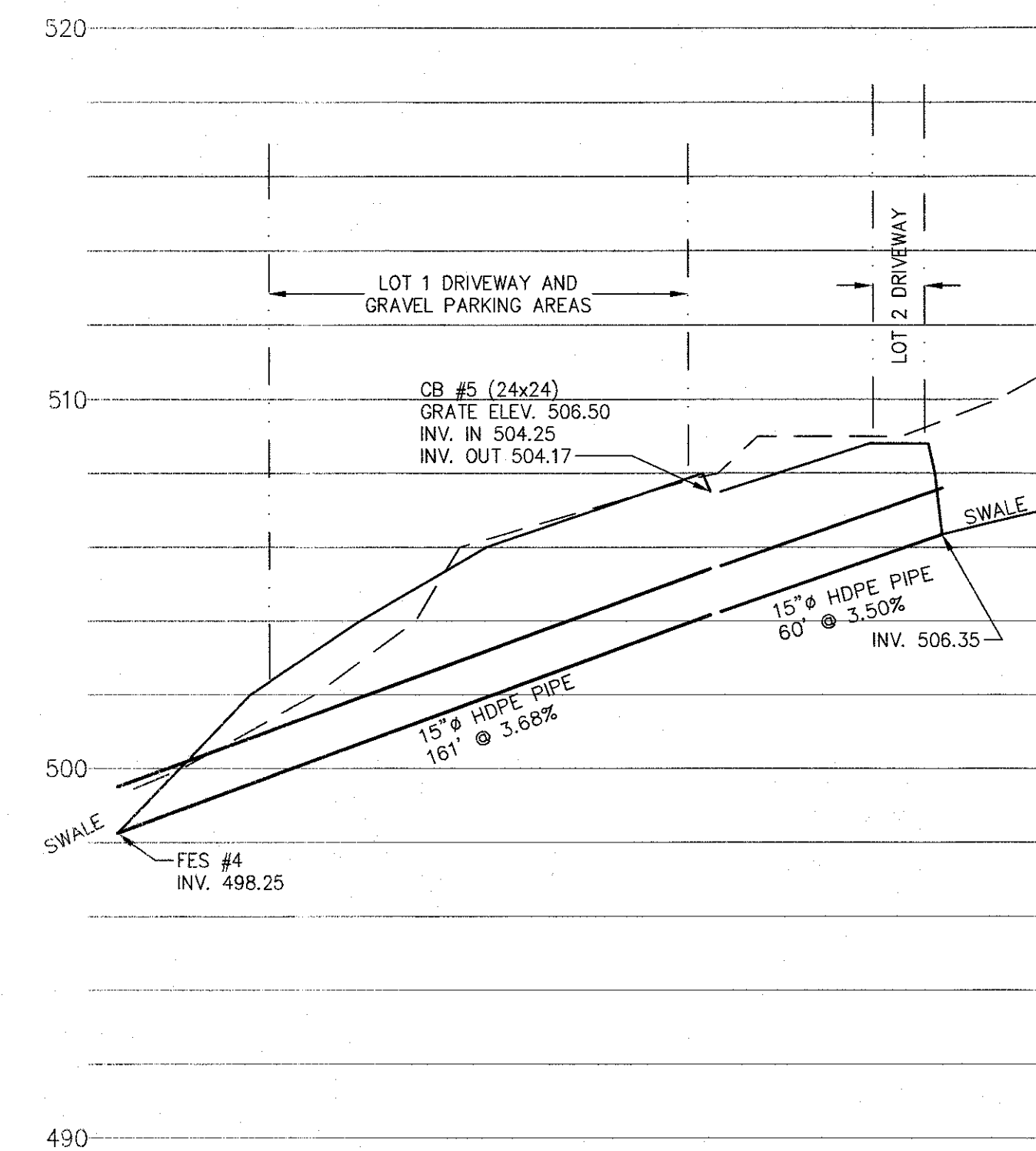
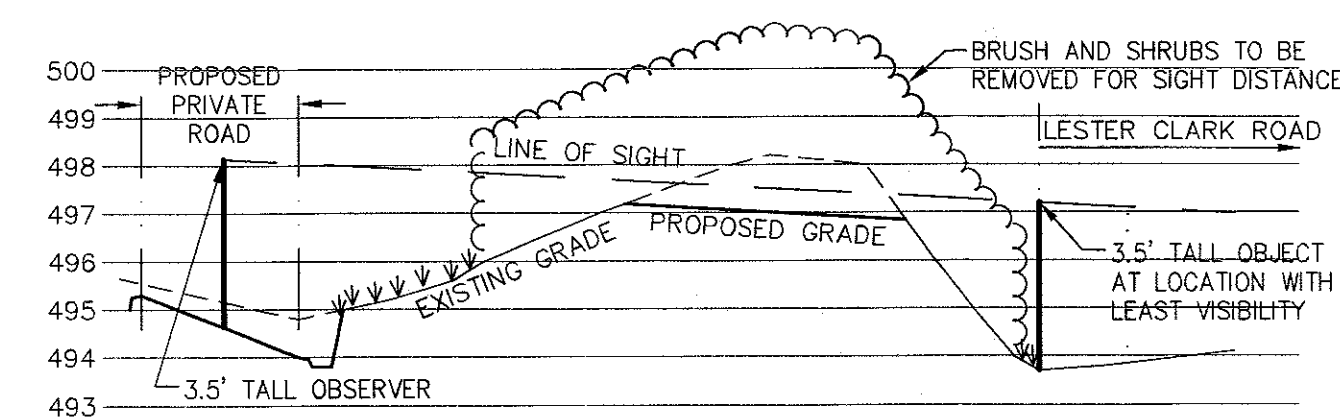
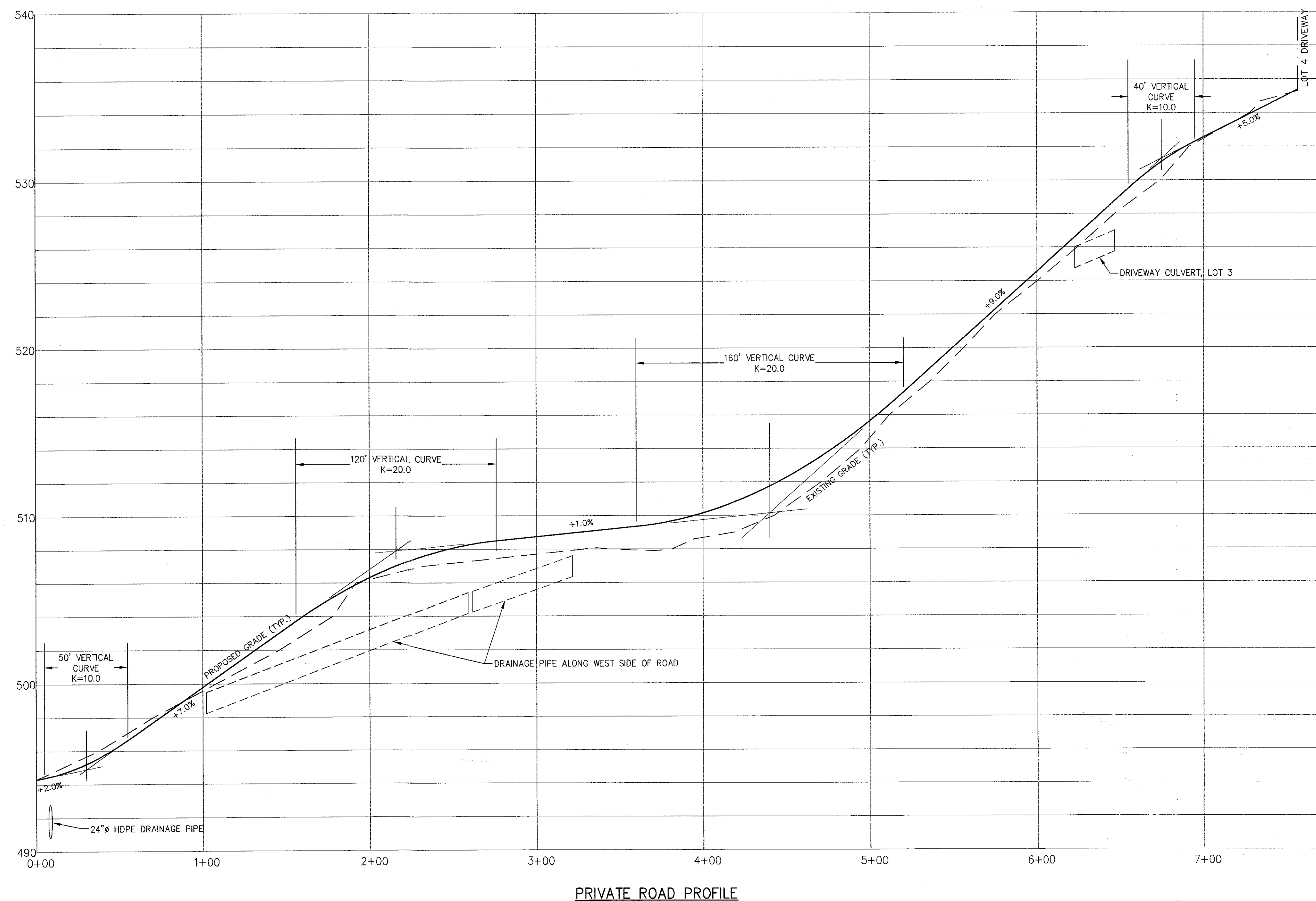
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# PRIVATE ROAD AND SOIL EROSION & SEDIMENT CONTROL PLAN


POPPY LANE  
LESTER CLARK ROAD  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK


JOB #:	1493.01	DRAWN BY:	DJG	C-1
DATE:	10/7/21	SCALE:	1" = 40'	
REVISION:	3	TAX LOTS:	6-1-113, 114 & 115	

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		SHEET NUMBER
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<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
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<input type="checkbox"/> MYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> MYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER	N/A	OF N/A
<input type="checkbox"/> FOR BID	N/A	OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF N/A
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<p><b>POPPY LAKE</b> <b>LESTER CLARK ROAD</b> <b>TOWN OF NEWBURGH</b> <b>ORANGE COUNTY, NEW YORK</b></p>			
<p><b>JOB #:</b></p> <p><b>DATE:</b></p> <p><b>REVISION:</b></p>	<p><b>1493.01</b></p> <p><b>10/7/21</b></p> <p><b>3</b></p>	<p><b>DRAWN BY:</b></p> <p><b>DJG</b></p> <p><b>SCALE:</b> 1" = 40' HORIZONTAL 1" = 2' VERTICAL</p> <p><b>TAX LOTS:</b> 6.1-113, 114 &amp; 115</p>	<p><b>C-2</b></p>





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<b>OFFSITE DRAINAGE DESIGN</b>			
<b>POPPY LANE LESTER CLARK ROAD TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</b>			
JOB #:  1493.01	DRAWN BY:  DJG	<b>C-4</b>	
DATE:  10/7/21	SCALE:  1" = 20'		
REVISION:  3	TAX LOTS: 6-1-113, 114 & 115		