

## TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT NAME:SCANNELL - NEWBURGH COMMERCE CENTERPROJECT NO.:22-21PROJECT LOCATION:124 ROUTE 17KSECTION 95, BLOCK 1, LOT 58REVIEW DATE:29 JULY 2022MEETING DATE:4 AUGUST 2022PROJECT REPRESENTATIVE:WHITEMAN OSTERMAN & HANNA, LLC/DAVID EVERETT

- 1. The application is before the Board for a revision to the project driveway to NYS Route 17K. NYSDOT rejected the dual existing lane proposal on the original plans.
- 2. Comments from the Jurisdictional Emergency Services should be received.
- 3. The driveway has been redesigned with a 10 foot wide center crosshatching resulting in a 40 foot total width to the driveway. This width is proposed as the project site has a single point of access from NYS Route 17K.
- 4. The project sponsor previously provided a Narrative Report regarding why the lot geometry and surrounding land uses prohibited an additional emergency access point.
- 5. DOT comments on the revised driveway should be received.
- 6. No changes to the utilities or drainage layout occurred based on the restriping of the access drive.
- 7. Dominic Cordisco's comments regarding the need to recirculate to County Planning regarding the revision to the access drive should be received.

Respectfully submitted,

MHE Engineering, D.P.C.

Patient & Afenes

Patrick J. Hines Principal

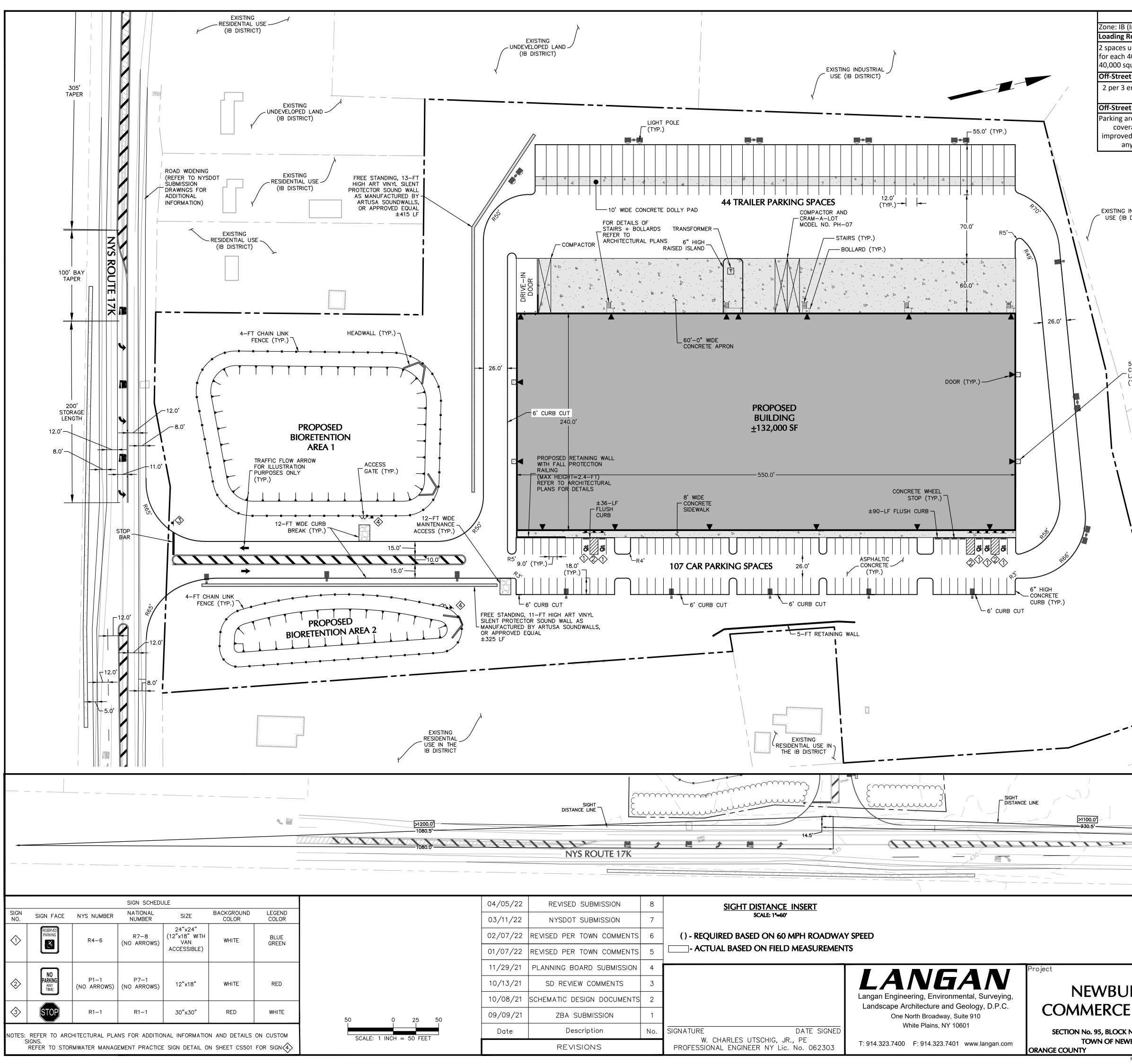
PJH/em

## NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553 845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

## **PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337 570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



LOADING & OFF-STR	EET PARKING REQUIREMENTS SECTION (185-13)	
Zone: IB (Interchange Business)		
Loading Requirements	Required	Proposed
2 spaces up to initial 40,000 SF and 1 additional space for each 40,000 square feet in addition to the first 40,000 square feet	Initial 40,000 SF Building = 2 spaces 92,000 SF Remaining Building / 40,000 SF = 2.3 spaces 2 spaces + 3 spaces = 5 loading spaces required	>5 spaces provided
Off-Street Parking Requirements (Warehouse)		
2 per 3 employees on duty or on the premises at any one time (minimum 2 spaces)	88 employees per shift / 3 employees = 29.3 spaces 29.3 spaces * 2 spaces = 59 spaces required	107 spaces provided
Off-Street Parking Requirements (Manufacturing or ind	dustrial establishment, research institute or laboratory)	
Parking area reservation equivalent to the total ground coverage of the building, with a minimum of 2 improved spaces per 3 employees on the premises at any 1 period of time (minimum 2 spaces)	128 employees per shift / 3 employees = 42.7 spaces 42.7 spaces * 2 spaces = 86 spaces required 130,000 SF of parking area reservation equivalent required	107 spaces provided 132,000 SF of parking area reservation equivalent provided (see insert)

EXISTING INDUSTRIAL USE (IB DISTRICT)

5.0'x5.0' \_ CONCRETE

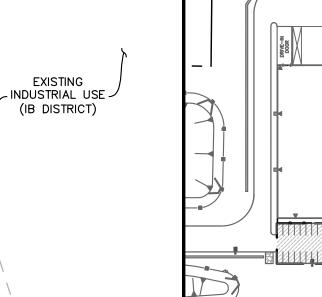
(TYP.)

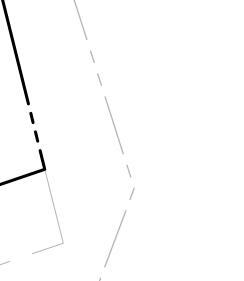
LANDING PAD

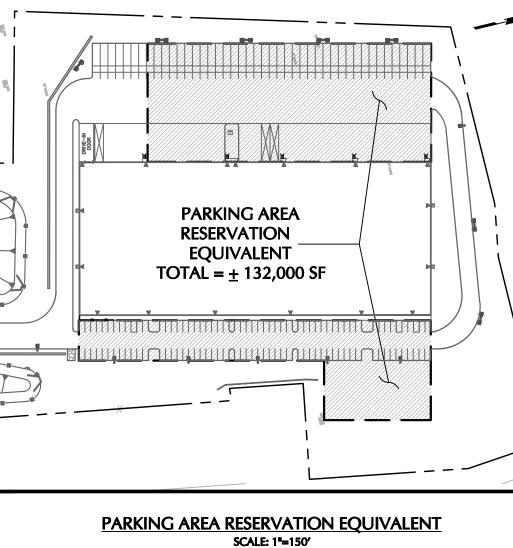
		WN OF NEWBURGH, N					
		IESS (IB) ZONING DISTR	ІСТ				
SECTION No. 95, BLOCK No. 1, LOT No. 58							
CODE REF.	BULK REGULATION	REQUIRED	PROPOSED	COMPLIANC			
Schedule 8	PRINCIPAL USE	Use subject to site plan review by Planning Board	Various <sup>(1)</sup>	YES			
Schedule 8 MIN. LOT AREA	40,000 SF	±602,542 SF (13.8 AC)	YES				
Schedule 8	MIN. LOT WIDTH	150 FT	416 FT	YES			
Schedule 8	MIN. LOT DEPTH	150 FT	1,053 FT	YES			
Sect. 185-18	MIN. FRONT YARD (STATE ROAD)	60 FT	381.0 FT	YES			
Schedule 8	MIN. SETBACK FROM ROUTE 17K <sup>(1)</sup>	500 FT	381.0 FT	VARIANCE GRANTED <sup>(2</sup>			
Schedule 8	MIN. REAR YARD	60 FT	80.8 FT	YES			
Schedule 8	MIN. SIDE YARD (ONE SIDE)	30 FT	106.1 FT	YES			
Schedule 8	MIN. SIDE YARD (BOTH SIDES)	80 FT	317.9 FT	YES			
Schedule 8	MAX. LOT BUILDING COVERAGE	40%	21.9%	YES			
Schedule 8	MAX. BUILDING HEIGHT	40 FT	< 40 FT	YES			
Schedule 8	MAX. LOT SURFACE COVERAGE	80%	52.4%	YES			
	LANDSCAP	E REQUIREMENTS					
Sect. 185-18	FRONT YARD LANDSCAPE BUFFER ALONG ROUTE 17K	35 FT	35 FT	YES			
Sect. 185-13	PARKING AREA LANDSCAPING	5% OF PARKING AREA	5.1%	YES			

(1) The proposed use includes research laboratories; manufacturing, altering, fabricating, or processing products or materials; warehouse, storage, and transportaion facilties, including truck and bus terminals; and offices for business, research, and professional use and banks.

(2) Per Schedule 8, Column D., Line Item 9., "Warehouse, storage and transportation facilities, including truck and bus terminals, not within 500 feet of Route 17K" is a use subject to site plan review by the Planning Board. A variance has been granted to construct a portion of this use within 500 feet of Route 17K, and dated 12/27/2021.







— 930.0'— 

			- LEFT LANE - MUST TURN LEFT - CONC BOX OULVERT	
		145 FOR ANY PERSON, UNLESS HE OF A LICENSED PROFESSIONAL EI GEOLOGIST, TO ALTER THIS ITEM		
WBURGH ERCE CENTER 95, BLOCK No. 1, LOT No. 58	Drawing Title SITE PLAN	Project No. <b>190071901</b> Date <b>AUGUST 19, 2021</b> Drawn By JN Checked By	Drawing No.	-
WN OF NEWBURGH NEW YORK Filename: \\langan.com\data\WPW\data	a9\190071901\Project Data\CAD\01\SheetFiles\Site Plan Approval\190071901-CS1	JK	Sheet <u>3</u> of <u>17</u> normahon Style Table: Langan.stb Layout: CS10	© 2021 Lang