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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: BRACKEN 17 VENTURES, LLC**  
**PROJECT NO.: 2018-25**  
**PROJECT LOCATION: SECTION 87, BLOCK2, LOT 1.2**  
**REVIEW DATE: 27 AUGUST 2018**  
**MEETING DATE: 6 SEPTEMBER 2018**  
**PROJECT REPRESENTATIVE: VINCENT J. DOCE**

1. The status and ownership of Beechwood Court located in the Town of Montgomery should be identified on the plans.
2. County Planning referral and coordination with the Town of Montgomery is required as portions of the access road Fleetwood and Beechwood Court are located in the Town of Montgomery.
3. The proposed water and sewer lateral design makes for difficult future maintenance as separation between each may be an issue for future excavation. Confirm that separate water utilities are proposed for each structure and that appropriate easements are provided for water and sewer utilities crossing the proposed lots.
4. A scale should be added to the plan sheets.
5. Building envelope depicted on Lot #1 should be reduced showing front yard where lot meets 150 ft. lot width. Similar reduction in the rear yard on Lot #2 should be identified.
6. The house on Lot #1 is located at or near building setback lines. Notes should be added to the plans requiring field stake out by licensed surveyor and submission prior to issuance of a building permit.
7. Show improvements located on Section 87, Block 1, Lot 3 Town of Newburgh 18-1, 19 Town of Montgomery. This residence abuts what is depicted on the plans as Beechwood Court. Currently it appears that those residents utilize the dead end road as a parking area for the residential structure. Improvements including a sidewalk extend out to the curb line.

Respectfully submitted,

***McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.***

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Patrick J. Hines  
Principal  
PJH/kbw

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** 2018-15  
(Application fee returnable with this application)

1. **Title of Subdivision/Site Plan (Project name):**  
SUBDIVISION PLAN LANDS OF BRACKEN 17 VENTURES LLC
  
2. **Owner of Lands to be reviewed:**  
Name BRACKEN 17 VENTURES LLC c/o JOSEPH ALESSO  
Address 11 NORTHBRIDGE PLACE  
MORRISTOWN NJ 07960  
Phone 973-617-6579
  
3. **Applicant Information (If different than owner):**  
Name SAME  
Address \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Representative DARREN DOCE  
Phone 845-561-1170  
Fax 845-561-7738  
Email DDOCE12@HOTMAIL.COM
  
4. **Subdivision/Site Plan prepared by:**  
Name VINCENT J. DOCE ASSOCIATES  
Address 242 SOUTH PLANK RD  
NEWBURGH NY 12550  
Phone/Fax 845-561-1170 / 845-561-7738
  
5. **Location of lands to be reviewed:**  
FLEETWOOD DRIVE
  
6. **Zone** R-1 **Fire District** COLDENHAM  
**Acreage** 2.72 AC± **School District** VALLEY CENTRAL
  
7. **Tax Map: Section** 87 **Block** 2 **Lot** 1.2

**8. Project Description and Purpose of Review:**

Number of existing lots 1 Number of proposed lots 2  
Lot line change \_\_\_\_\_  
Site plan review \_\_\_\_\_  
Clearing and grading \_\_\_\_\_  
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) PROPOSED 50' ROW / COMMON DRIVE

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Signature [Signature] Title P.E.

Date: 8-15-2018

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH PLANNING BOARD**

**SUBDIVISION PLAN LANDS OF  
BRACKEN 17 VENTURES LLC  
PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11.  Surveyor,s Certification
12.  Surveyor's seal and signature
13.  Name of adjoining owners
14.  <sup>NONE</sup> Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  <sup>NONE</sup> Flood plain boundaries
16.  <sup>NONE MUNICIPAL SEWER/WATER</sup> Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  Metes and bounds of all lots
18.  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  Show existing or proposed easements (note restrictions)
20.  Right-of-way width and Rights of Access and Utility Placement
21.  <sup>NONE</sup> Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  Lot area (in sq. ft. for each lot less than 2 acres)
23.  Number of lots including residual lot
24.  <sup>NONE</sup> Show any existing waterways
25.  <sup>N/A</sup> A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  Show topographical data with 2 or 5 ft. contours on initial submission

30.  Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31.  <sup>N.A.</sup> If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. 1 $\frac{1}{2}$  Number of acres to be cleared or timber harvested
33. 0 Estimated or known cubic yards of material to be excavated and removed from the site
34. 0 Estimated or known cubic yards of fill required
35. 1 AC  $\frac{1}{2}$  The amount of grading expected or known to be required to bring the site to readiness
36. 0 Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 
- 
37. 0 Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- 
- 
38.  List of property owners within 500 feet of all parcels to be developed (see attached statement). HAS BEEN REQUESTED FROM TOWN ASSESSOR

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: Dan Wore  
Licensed Professional

Date: 8-15-2018

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): 8-15-2018

**PROXY**

*Broken 17 Ventures LLC by*

(OWNER) ' Joseph Alesso, member, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 11 Northbridge Place MORRISTOWN

IN THE COUNTY OF MORRIS

AND STATE OF NEW Jersey

AND THAT HE/SHE IS THE OWNER IN FEE OF \_\_\_\_\_

TAX PARCEL SECTION 87 BLOCK 2 LOT 1.2

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

PLANNING BOARD AND VINCENT J. DOCE ASSOC IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 8-15-2013

*Broken 17 Ventures LLC*  
*by Joseph Alesso*  
OWNERS SIGNATURE

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Joseph Alesso, member*  
OWNERS NAME (printed)

*Darren Doce*  
WITNESS' SIGNATURE

NAMES OF ADDITIONAL REPRESENTATIVES

DARREN C. DOCE  
WITNESS' NAME (printed)

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

*Bracken 17 Ventures LLC*

*by Joseph A Ierzo, member*

\_\_\_\_\_  
**APPLICANT'S NAME (printed)**

  
\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

*8-15-2018*  
\_\_\_\_\_  
**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

*Bracken 17 Ventures LLC*

8-15-2018

DATED

*by Joseph Alesso, member*  
\_\_\_\_\_  
APPLICANT'S NAME (printed)

  
\_\_\_\_\_  
APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

           NONE

           NAME, ADDRESS, RELATIONSHIP OR INTEREST  
(financial or otherwise)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

- TOWN BOARD
- PLANNING BOARD
- ZONING BOARD OF APPEALS
- ZONING ENFORCEMENT OFFICER
- BUILDING INSPECTOR
- OTHER

8-15-2018  
DATED

\_\_\_\_\_  
INDIVIDUAL APPLICANT  
*Brackes 17 ventures LLC*  
*by Joseph Alesso*  
\_\_\_\_\_  
CORPORATE OR PARTNERSHIP APPLICANT  
*JO*

BY: Joseph Alesso, member  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

# Short Environmental Assessment Form

## Part 1 - Project Information

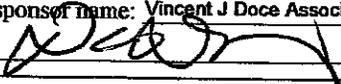
### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

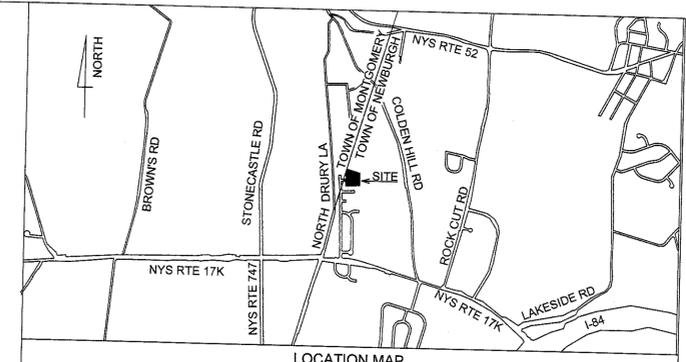
<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Two Lot Subdivision lands of Bracken 17 Ventures LLC			
Project Location (describe, and attach a location map): Fleetwood Drive, Town of Newburgh, Orange County			
Brief Description of Proposed Action: Two lot residential subdivision. Lots will connect to municipal sewer and water systems.			
Name of Applicant or Sponsor: Bracken 17 Ventures LLC		Telephone: 973-617-6579	
Address: 11 Northbridge Place		E-Mail: ossela@optonline.net	
City/PO: Morristown		State: NJ	Zip Code: 07960
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 2.7 +/- acres	
b. Total acreage to be physically disturbed?		_____ 2.7 +/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 27.5 +/- acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p>		
<p>Applicant/sponsor name: Vincent J Doce Associates/Darren C. Doce</p>		<p>Date: August 6, 2018</p>
<p>Signature: </p>		



LEGEND:  
 CB ☒ - CATCH BASIN  
 SMH ⊕ - SEWER MANHOLE  
 --- - BUILDABLE AREA BOUNDARY  
 HYD ⚡ - HYDRANT



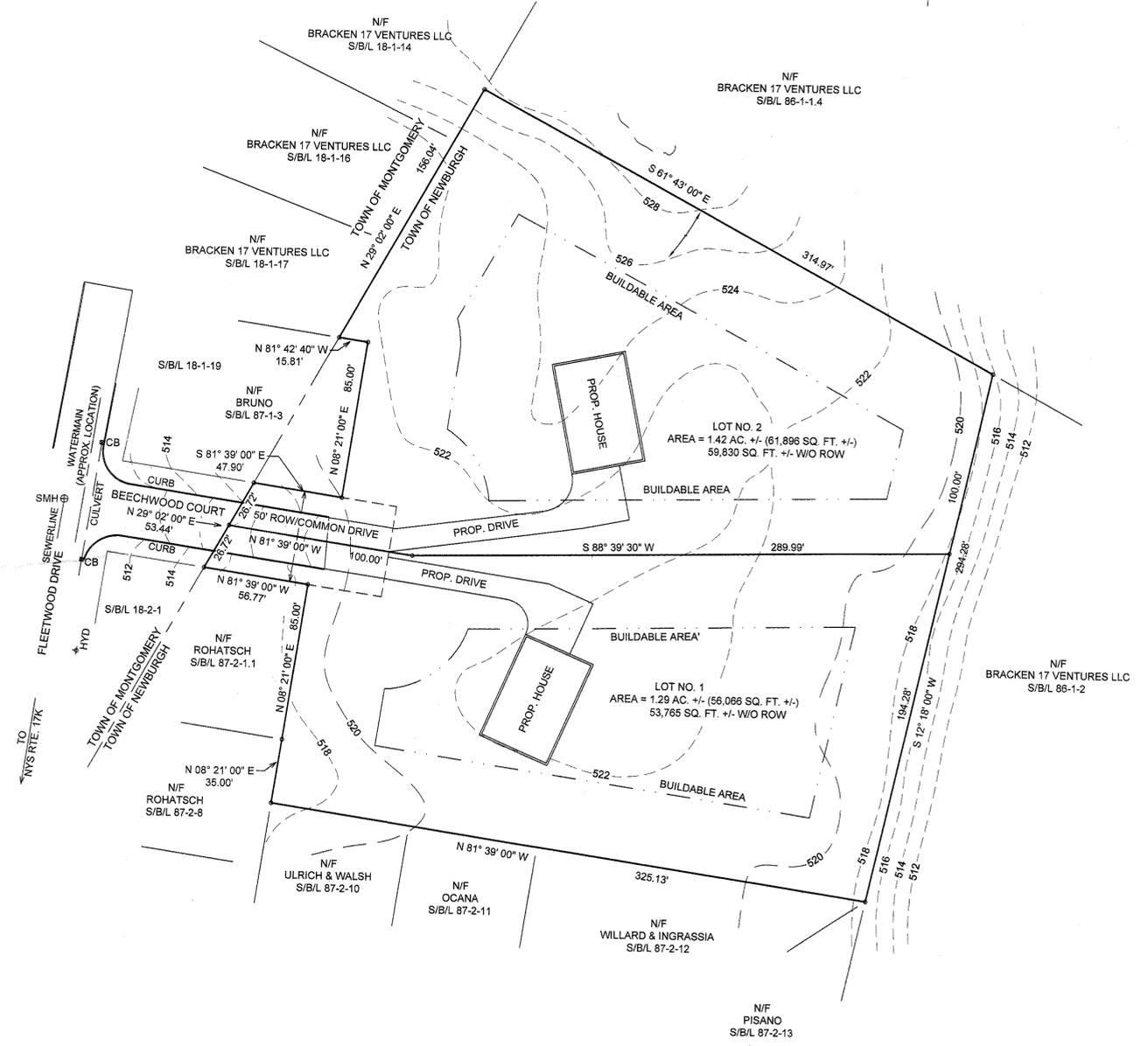
LOCATION MAP  
 SCALE: 1 IN. = 2000 FT.

ZONE R-1:

REGULATION	MINIMUM REQUIRED	LOT NO. 1 MIN. PROP.	LOT NO. 2 MIN. PROP.
LOT AREA	40,000 SQ. FT.	56,066 SQ. FT. +/-	61,896 SQ. FT. +/-
LOT WIDTH	150 FT.	154 FT. +/-	224 FT. +/-
LOT DEPTH	150 FT.	330 FT. +/-	332 FT. +/-
FRONT YARD	50 FT.	79 FT. +/-	96 FT. +/-
REAR YARD	40 FT.	173 FT. +/-	172 FT. +/-
ONE SIDE YARD	30 FT.	43 FT. +/-	44 FT. +/-
BOTH SIDE YARDS	80 FT.	88 FT. +/-	131 FT. +/-

BUILDABLE AREA	MINIMUM PROVIDED	
	LOT NO. 1	LOT NO. 2
MINIMUM REQUIRED	19,555 SQ. FT. +/-	23,660 SQ. FT. +/-

- NOTES:
- OWNER AND APPLICANT: BRACKEN 17 VENTURES LLC  
 11 NORTHBRIDGE PLACE  
 MORRISTOWN, NJ 07960
  - TOWN OF NEWBURGH TAX PARCEL: SECTION 87 BLOCK 2 LOT 1,2
  - TOTAL PARCEL AREA = 2.71 ACRES +/-
  - LOT NO. 1 AND LOT NO. 2 SHALL HAVE RIGHTS OF INGRESS AND EGRESS, AS WELL AS THE RIGHT TO PLACE UTILITIES, OVER THE 50-FOOT WIDE RIGHT-OF-WAY AND COMMON DRIVE SHOWN HEREON. AN APPROPRIATE RIGHT-OF-WAY, MAINTENANCE AND LIABILITY AGREEMENT SHALL BE FILED IN THE ORANGE COUNTY CLERK'S OFFICE AND THE TOWN OF NEWBURGH CODE COMPLIANCE OFFICE.
  - THE CONTRACTOR MUST NOTIFY THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (1-800-962-7962) TO HAVE ANY EXISTING UTILITIES LOCATED AND MARKED AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY.
  - THE LOCATIONS (HORIZONTAL AND VERTICAL) AND SIZES OF UNDERGROUND UTILITIES SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION, ELEVATION AND SIZE OF ANY EXISTING UNDERGROUND UTILITY. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT MAKING REVISIONS AS NEEDED.
  - ANY EXISTING STRUCTURE, CURB, PAVED AREA, LANDSCAPED AREA, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
  - IT IS THE DEVELOPER'S OR CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY NECESSARY PERMITS REQUIRED FROM FEDERAL, STATE OR LOCAL AUTHORITIES.
  - REMOVAL OF TREES MAY ONLY BE CONDUCTED DURING THE WINTER TIMEFRAME OF OCTOBER 1ST TO MARCH 31ST.



OWNER'S ENDORSEMENT:  
 I, THE UNDERSIGNED, HAVE REVIEWED THE CONTENTS OF THIS PLAN AND HEREBY CONCUR WITH ALL THE TERMS AND CONDITIONS AS STATED HEREON, AND TO THE FILING OF THIS PLAN.

THIS SHEET IS INVALID UNLESS ACCOMPANIED BY SHEETS 1 OF 4 THROUGH 4 OF 4.

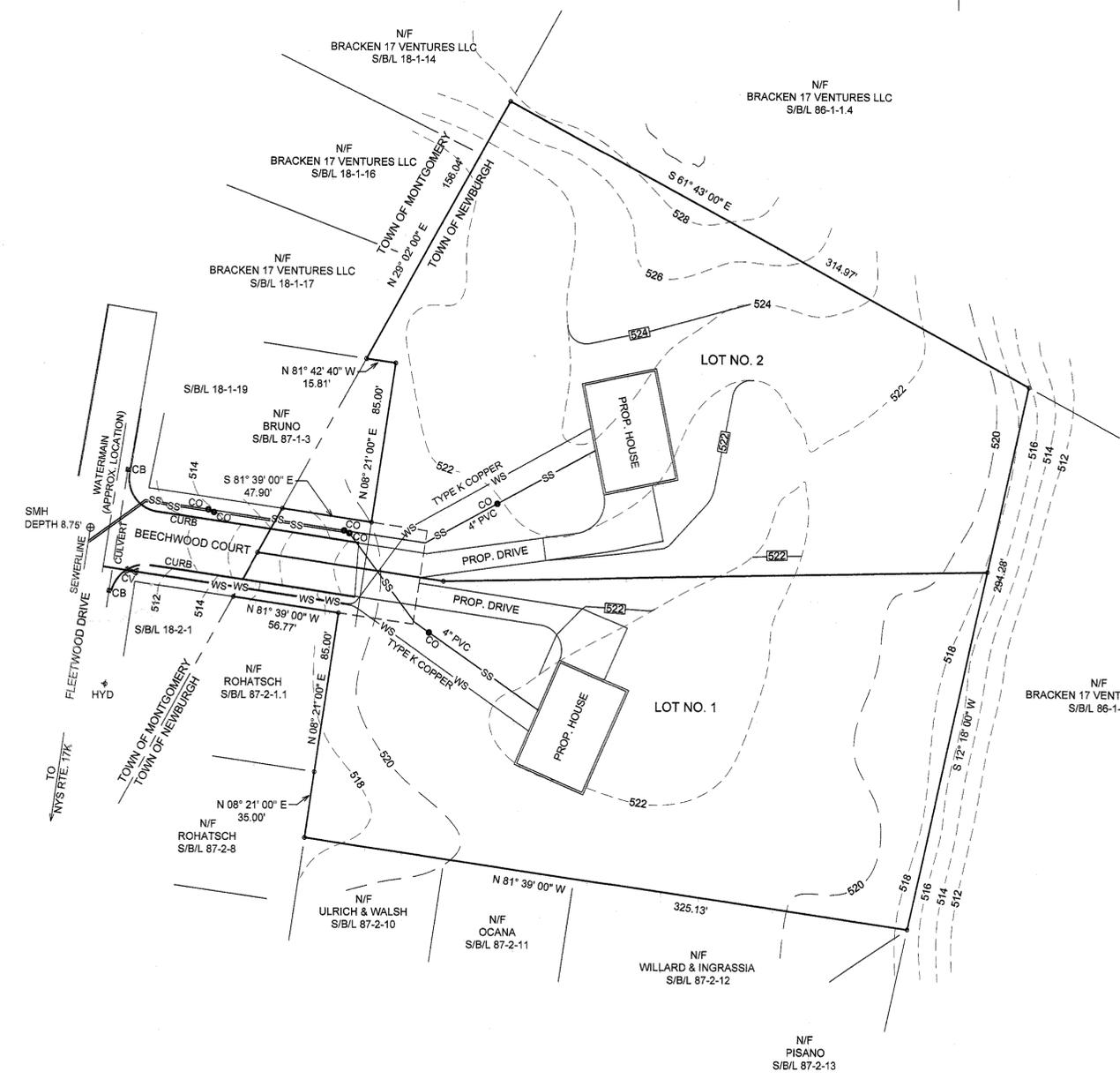
SUBDIVISION PLAN  
 LANDS OF  
**BRACKEN 17 VENTURES LLC**  
 FLEETWOOD DRIVE, TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK  
 DATE: AUGUST 10, 2018 SCALE: 1 IN. = 40 FT.

PREPARED BY:  
**VINCENT J. DOCE ASSOCIATES**  
 LAND SURVEYORS - ENGINEERS - PLANNERS  
 242 SOUTH PLANK ROAD - NEWBURGH - NEW YORK 12550  
 TEL. 845 561-1170 FAX 845 561-7738

DATE	REVISION

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED PROFESSIONAL'S SEAL IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

- LEGEND:
- CB ☒ - CATCH BASIN
  - SMH ⊕ - SEWER MANHOLE
  - - - - BUILDABLE AREA BOUNDARY
  - HYD ♣ - HYDRANT
  - WS- - WATER SERVICE LINE
  - SS- - SAN. SEWER SERVICE LINE
  - CV ⊗ - PROP. CURB BOX AND VALVE
  - CO ● - PROP. SAN. SEWER CLEANOUT
  - 500- - EXISTING CONTOUR
  - 520- - PROPOSED CONTOUR



- NOTES:
1. THE CONTRACTOR MUST NOTIFY THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (1-800-962-7992) TO HAVE ANY EXISTING UTILITIES LOCATED AND MARKED AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY.
  2. THE LOCATIONS (HORIZONTAL AND VERTICAL) AND SIZES OF UNDERGROUND UTILITIES SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION, ELEVATION AND SIZE OF ANY EXISTING UNDERGROUND UTILITY. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT MAKING REVISIONS AS NEEDED.
  3. ANY EXISTING STRUCTURE, CURB, PAVED AREA, LANDSCAPED AREA, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
  4. IT IS THE DEVELOPER'S OR CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY NECESSARY PERMITS REQUIRED FROM FEDERAL, STATE OR LOCAL AUTHORITIES.

- TOWN SEWER SYSTEM NOTES:
1. CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
  2. ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
  3. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
  4. THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
  5. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICES AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

- TOWN WATER SYSTEM NOTES:
1. CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH. ALL REFERENCES TO STANDARDS, SPECIFICATIONS, REGULATIONS, ETC. ARE MEANT TO BE THEIR LATEST REVISIONS.
  2. ALL WATER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
  3. ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020 FOR 3/4 AND 1 INCH AND MUELLER H-15000 OR B-25000 FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2 FOR 3/4 AND 1 INCH AND MUELLER B-25204 FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10312 FOR 3/4 AND 1 INCH AND MUELLER H-10310 FOR 1 1/2 AND 2 INCH SIZES.
  4. THE WATERLINE SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTING AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATERLINE IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A NYSDOH CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE TOWN OF NEWBURGH WATER DEPARTMENT.
  5. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICES AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

THIS SHEET IS INVALID UNLESS ACCOMPANIED BY SHEETS 1 OF 4 THROUGH 4 OF 4.

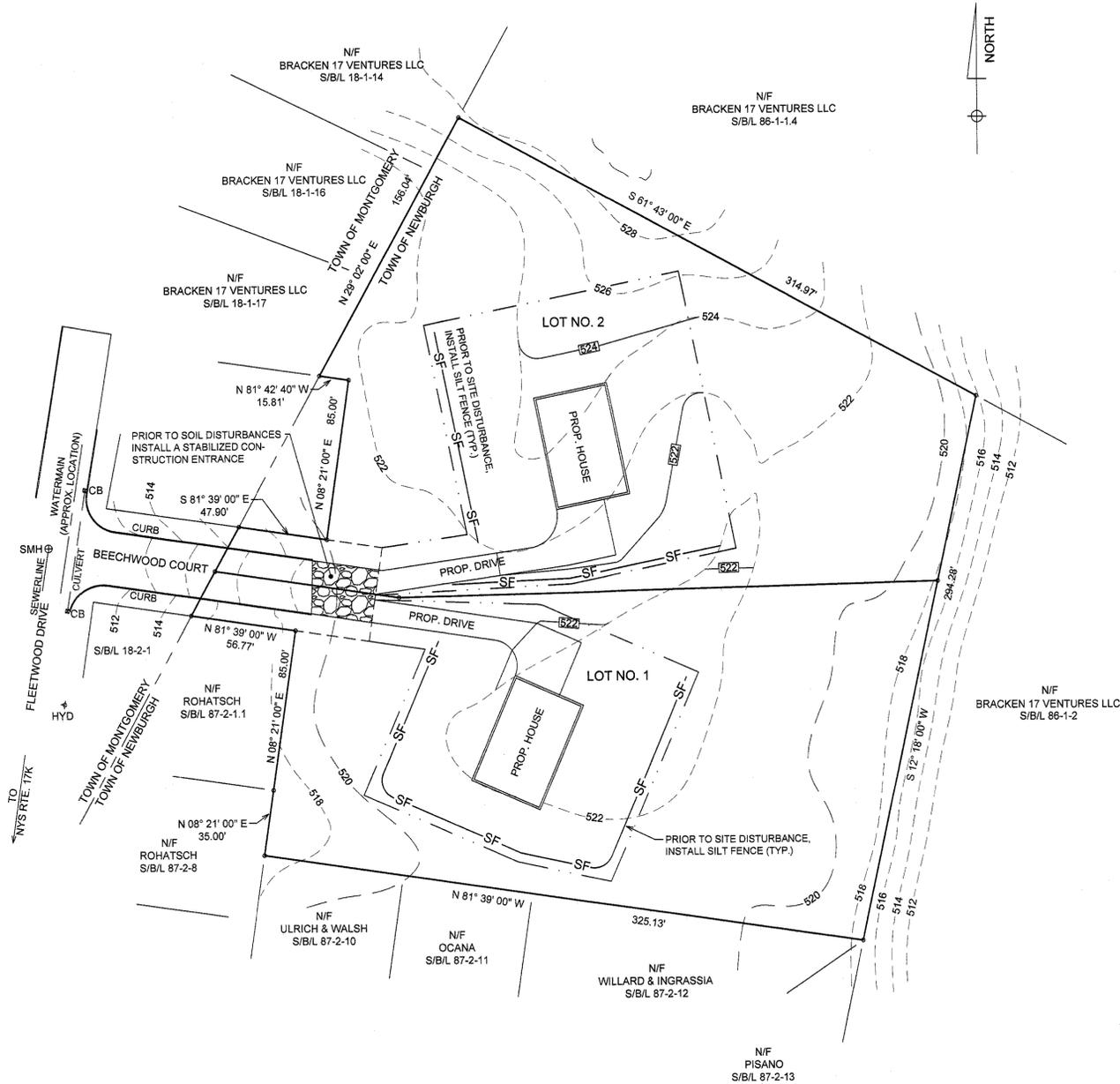
UTILITY AND GRADING PLAN  
 LANDS OF  
**BRACKEN 17 VENTURES LLC**  
 FLEETWOOD DRIVE, TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK  
 DATE: AUGUST 10, 2018 SCALE: 1 IN. = 40 FT.

PREPARED BY:  
**VINCENT J. DOCE ASSOCIATES**  
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UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED PROFESSIONAL'S SEAL IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

DATE	REVISION

- LEGEND:
- CB - CATCH BASIN
  - SMH - SEWER MANHOLE
  - - - LIMITS OF DISTURBANCE
  - - - SILT FENCE
  - STABILIZED CONSTRUCTION ENTRANCE
  - HYD - HYDRANT
  - - - EXISTING CONTOUR
  - - - PROPOSED CONTOUR

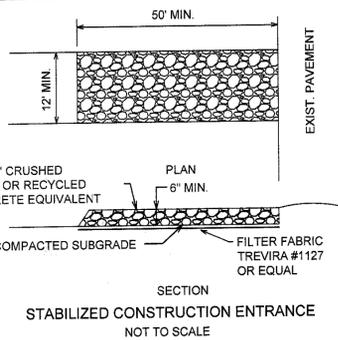


NOTES:

1. THE CONTRACTOR MUST NOTIFY THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (1-800-962-7962) TO HAVE ANY EXISTING UTILITIES LOCATED AND MARKED AT LEAST TWO FULL WORKING DAYS PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY.
2. THE LOCATIONS (HORIZONTAL AND VERTICAL) AND SIZES OF UNDERGROUND UTILITIES SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION, ELEVATION AND SIZE OF ANY EXISTING UNDERGROUND UTILITY. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT MAKING REVISIONS AS NEEDED.
3. ANY EXISTING STRUCTURE, CURB, PAVED AREA, LANDSCAPED AREA, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
4. IT IS THE DEVELOPER'S OR CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY NECESSARY PERMITS REQUIRED FROM FEDERAL, STATE OR LOCAL AUTHORITIES.
5. REMOVAL OF TREES MAY ONLY BE CONDUCTED DURING THE WINTER TIMEFRAME OF OCTOBER 1ST TO MARCH 31ST.

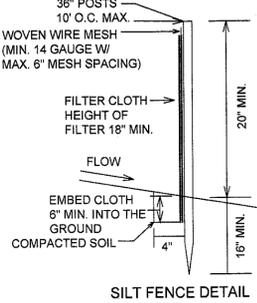
SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH STANDARDS SET FORTH IN "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," LATEST EDITION, PREPARED BY THE USDA SOIL CONSERVATION SERVICE.
2. THE SMALLEST PRACTICAL AREA OF LAND IS TO BE EXPOSED AT ANY ONE TIME DURING THE DEVELOPMENT OF THE PARCEL. ONLY THOSE AREAS NECESSARY IN THE DEVELOPMENT OF THE PARCEL SHALL BE DISTURBED. WHEN FEASIBLE, THE NATURAL VEGETATION IN ALL OTHER AREAS SHALL BE PROTECTED AND RETAINED. SOIL EXPOSURE SHALL BE LIMITED TO LESS THAN FIVE ACRES.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
4. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PERMANENT EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNER WILL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.
5. ALL EXCAVATED EARTH AND ACCUMULATED SEDIMENT NOT USED AS FILL SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY.
6. INITIAL CLEARING AND SOIL DISTURBANCE SHALL BE LIMITED TO THAT NECESSARY TO INSTALL SEDIMENT CONTROL MEASURES. EXCAVATION FOR FOOTINGS, CLEARING OR OTHER SOIL DISTURBANCES MAY ONLY TAKE PLACE AFTER SEDIMENT AND EROSION CONTROL MEASURES ARE INSTALLED.
7. THE PERMANENT DRIVEWAY OR ENTRANCE LOCATION SHALL BE USED AS A STABILIZED CONSTRUCTION ENTRANCE. TWO-INCH STONE SHALL BE PLACED AT A MINIMUM 6 INCH DEPTH, 30 FEET LONG AND 12 FEET WIDE. THE ENTRANCE SHALL BE TOP DRESSED WITH STONE AS NECESSARY TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC ROADS OR RIGHT-OF-WAYS. SEDIMENT TRACKED ONTO PUBLIC ROADS MUST BE REMOVED OR CLEANED ON A DAILY BASIS.
8. AT ANY LOCATION WHERE SURFACE RUNOFF FROM DISTURBED OR GRADED AREAS MAY FLOW OFF OF THE CONSTRUCTION AREA, SEDIMENT CONTROL MEASURES MUST BE INSTALLED, INCLUDING A SILT FENCE OR STRAW BALES, TO PREVENT SEDIMENT FROM BEING TRANSPORTED OFF SITE. NO GRADING, FILLING OR OTHER DISTURBANCE IS ALLOWED WITHIN EXISTING DRAINAGE SWALES.
9. ALL MATERIALS ORIGINATING FROM THE DEVELOPMENT OF THE LOT SHALL BE REMOVED IMMEDIATELY TO AN ACCEPTABLE DISPOSAL FACILITY. NO CONSTRUCTION DEBRIS SHALL BE BURIED ON SITE. ALL LOOSE MATERIALS SHALL BE REGULARLY COLLECTED TO PREVENT THE RELEASE OF FLOATABLES DURING STORM EVENTS.
10. PLACE SILT FENCE AROUND THE PERIMETER OF ALL STOCKPILES AS SOON AS THEY ARE CREATED. MULCH THE STOCKPILES WHEN NOT IN USE.
11. STABILIZATION: FOLLOWING INITIAL SOIL DISTURBANCE AND REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - A. SEVEN CALENDAR DAYS FROM THE TIME THAT THE SOIL IS INITIALLY DISTURBED, AND BEFORE ANY SIGNIFICANT STORM EVENT WHICH MAY HAVE A POTENTIAL TO CAUSE EROSION, BUT NOT TO EXCEED SEVEN DAYS FROM INITIAL DISTURBANCE.
  - B. FOURTEEN CALENDAR DAYS FOR ALL APPROVED STOCKPILES AND OTHER DISTURBED AND GRADED AREAS PROVIDED CONSTRUCTION GRADING ACTIVITY IS NOT CONTINUALLY ONGOING IN THESE LOCATIONS.
  - C. PERMANENT VEGETATION SHALL BE INSTALLED ON ALL EXPOSED AREAS WITHIN 14 DAYS OF FINAL GRADING. MULCH SHALL BE USED AS NECESSARY FOR PROTECTION UNTIL PERMANENT VEGETATION IS ESTABLISHED.
  - D. SEEDING AND MULCHING SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS SET FORTH IN "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," LATEST EDITION, PREPARED BY THE USDA SOIL CONSERVATION SERVICE.
  - E. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATION, THE DISTURBED AREA SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS/ACRE (100-120 BALES/ACRE) UNTIL PERMANENT VEGETATION CAN BE ESTABLISHED.
  - F. IMMEDIATELY FOLLOWING SITE DISTURBANCE OR ROUGH GRADING ANY CRITICAL AREAS (E.G. STEEP SLOPES) SHALL BE STABILIZED WITH TEMPORARY VEGETATION, EMULSION AND/OR EROSION CONTROL FABRICS AS NEEDED.
12. MAINTENANCE:
  - A. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PERIODICALLY INSPECTED, MAINTAINED AND REPLACED WHEN THEY BECOME INOPERABLE. INSPECTIONS TO BE DONE IN ACCORDANCE WITH THE STANDARDS SET FORTH IN "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," LATEST EDITION, PREPARED BY THE USDA SOIL CONSERVATION SERVICE.
  - B. SEDIMENT IS TO BE REMOVED FROM THE SILT FENCE WHEN THE DEPTH OF SEDIMENT IS 1/3 THE HEIGHT OF THE BARRIER. THE SILT FENCE SHOULD BE CHECKED FOR AREAS WHERE RUNOFF MIGHT HAVE ERODED BENEATH THE FENCE, SAGS IN THE FENCE OR FENCE COLLAPSE. REPAIR AND REPLACE THE SILT FENCE AS NEEDED. AFTER THE SITE IS STABILIZED, REMOVE THE SILT FENCE AND DISPOSE OF IT PROPERLY.
  - C. INSPECT MULCHED AREAS FOR AREAS WHERE THE MULCH HAS BEEN LOOSENEED OR REMOVED AND REPLACE AS NEEDED. REMOVE ANY ANCHORING WHEN IT IS NO LONGER NEEDED AND DISPOSE OF IT PROPERLY.
  - D. INSPECT SEEDED AREAS TO SEE IF GOOD GROWTH IS BEING ESTABLISHED AND RESEED AS NEEDED.
  - E. INSPECT THE STABILIZED CONSTRUCTION ENTRANCE REGULARLY AND AFTER HIGH TRAFFIC VOLUMES AND STORM EVENTS. APPLY ADDITIONAL STONE AND CLEAN THE PUBLIC ROADWAY AS NEEDED.
  - F. ONCE THE DISTURBED AREAS HAVE BECOME PERMANENTLY STABILIZED, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF PROPERLY.



SECTION  
STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

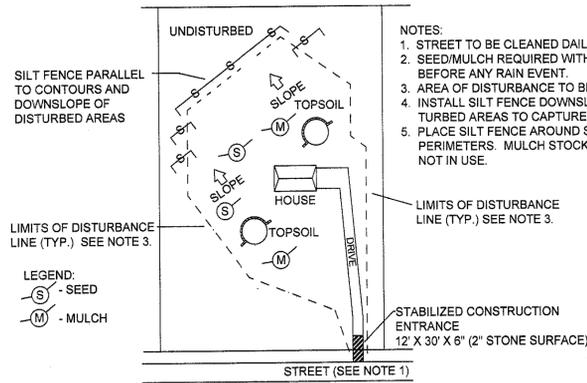
NOTE:  
INSPECT CONSTRUCTION ENTRANCE REGULARLY AND AFTER HIGH TRAFFIC VOLUMES OR A STORM. ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. CLEAN ROADWAYS AS NEEDED.



SILT FENCE DETAIL  
NOT TO SCALE

NOTES:

1. INSTALL SILT FENCE ON THE DOWNSLOPE SIDE OF DISTURBED AREAS TO CAPTURE SEDIMENT.
2. FASTEN SILT FENCE TO POSTS WITH WIRE TIES OR STAPLES.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN, OVERLAP BY 6" AND FOLD.
4. PREFAB UNITS: GEOFAB, ENVIRONFENCE OR EQUAL.
5. INSTALL THE SILT FENCE ON A LINE OF EQUAL ELEVATION (CONTOUR).
6. PLACE SILT FENCE 5' MIN. FROM TOE OF SLOPE.
7. INSTALL SILT FENCE WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC.
8. SEDIMENT TO BE REMOVED FROM THE SILT FENCE WHEN THE DEPTH OF SEDIMENT IS 1/3 THE HEIGHT OF THE BARRIER. SILT FENCE SHOULD BE CHECKED FOR AREAS WHERE RUNOFF MIGHT HAVE ERODED BENEATH THE FENCE, SAGS OR BULGES IN THE FENCE OR FENCE COLLAPSE. REPAIR AND REPLACE AS NEEDED. AFTER SITE STABILIZATION, REMOVE SILT FENCE AND DISPOSE OF IT PROPERLY.
9. FILTER CLOTH TO BE ATTACHED TO WOVEN WIRE MESH WITH TIES SPACED EVERY 24" AT THE TOP AND MIDSECTION.
10. FILTER CLOTH SHALL BE FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL.



TYPICAL LOT EROSION & SEDIMENT CONTROL DETAIL  
NOT TO SCALE

- NOTES:
1. STREET TO BE CLEANED DAILY.
  2. SEED/MULCH REQUIRED WITHIN 7 DAYS OR BEFORE ANY RAIN EVENT.
  3. AREA OF DISTURBANCE TO BE MINIMIZED.
  4. INSTALL SILT FENCE DOWNSLOPE OF DISTURBED AREAS TO CAPTURE SEDIMENT.
  5. PLACE SILT FENCE AROUND STOCKPILE PERIMETERS. MULCH STOCKPILES WHEN NOT IN USE.

- LEGEND:
- (S) - SEED
  - (M) - MULCH

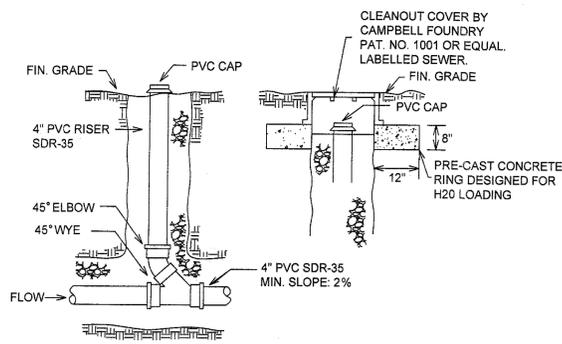
THIS SHEET IS INVALID UNLESS ACCOMPANIED BY SHEETS 1 OF 4 THROUGH 4 OF 4.

**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
LANDS OF  
**BRACKEN 17 VENTURES LLC**  
FLEETWOOD DRIVE, TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK  
DATE: AUGUST 10, 2018 SCALE: 1 IN. = 40 FT.

PREPARED BY:  
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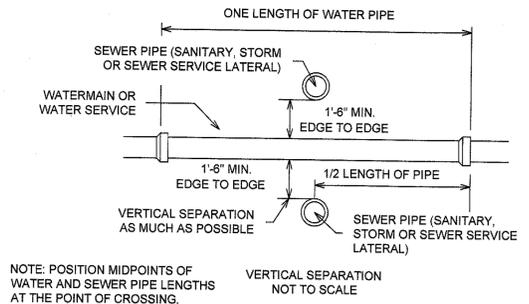
SHEET 3 OF 4

DATE	REVISION

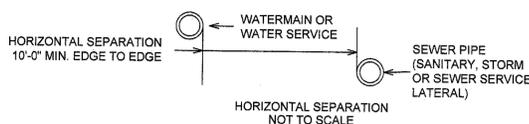


SEWER SERVICE CLEANOUT DETAIL  
NOT TO SCALE

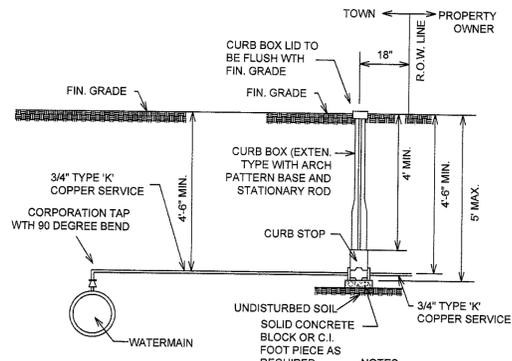
NOTE: FOR CLEANOUT IN PAVED AREA INSTALL COVER AS SHOWN ABOVE.



NOTE: POSITION MIDPOINTS OF WATER AND SEWER PIPE LENGTHS AT THE POINT OF CROSSING.

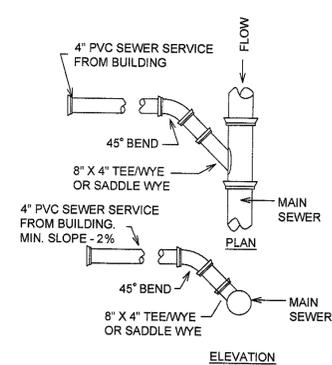


WATER/SEWER CROSSING DETAIL  
NOT TO SCALE

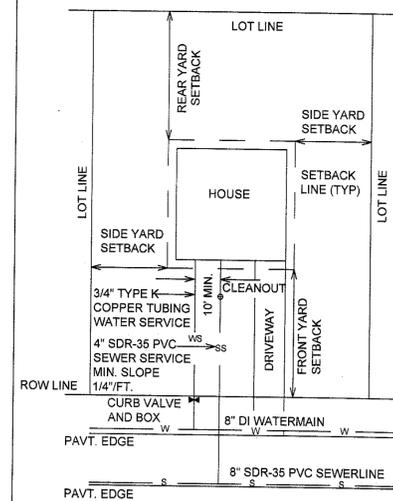


WATER SERVICE DETAIL  
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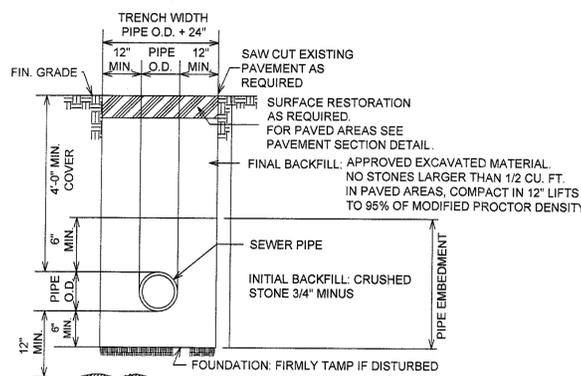
NOTES:  
1. IN PAVED AREAS PLACE THE UPPER SECTION OF THE STANDARD TOWN VALVE BOX AND COVER AROUND THE CURB BOX.  
2. PROPOSED LOCATIONS OF CURB BOXES TO BE FIELD LOCATED (STAKED) AND APPROVED BY THE WATER SUPERINTENDENT PRIOR TO INSTALLATION.



SEWER SERVICE CONNECTION  
NOT TO SCALE

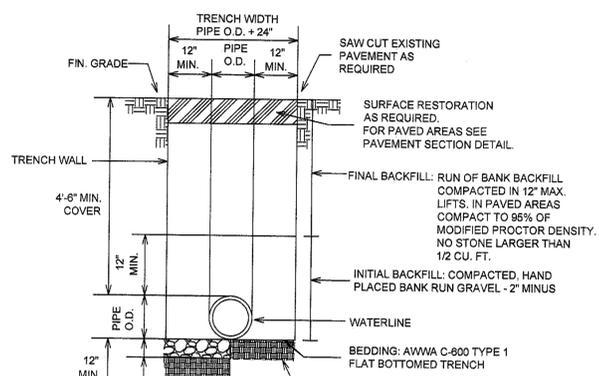


TYPICAL LOT DETAIL  
NOT TO SCALE



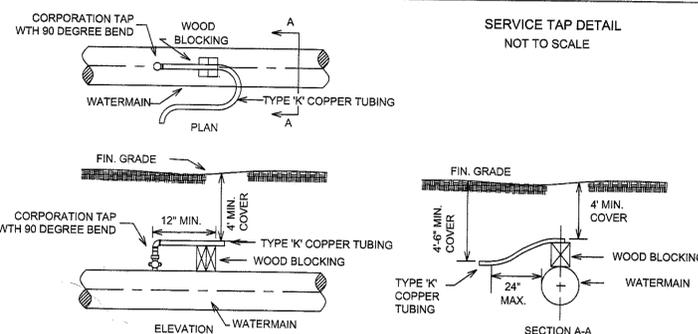
SEWER PIPE TRENCH DETAIL  
NOT TO SCALE

NOTE: ALL EXCAVATIONS AND TRENCHING SHALL MEET OSHA REQUIREMENTS.



WATER SERVICE TRENCH DETAIL  
NOT TO SCALE

NOTE: IF ROCK IS ENCOUNTERED, 12" MIN. CLEARANCE ALL AROUND.



SERVICE TAP DETAIL  
NOT TO SCALE

THIS SHEET IS INVALID UNLESS ACCOMPANIED BY SHEET 1 OF 4 THROUGH SHEET 4 OF 4.

DETAIL SHEET  
FOR  
SUBDIVISION PLAN  
LANDS OF  
**BRACKEN 17 VENTURES LLC**  
FLEETWOOD DRIVE, TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK  
DATE: AUGUST 10, 2018 SCALE: AS SHOWN

UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LICENSED PROFESSIONAL'S SEAL IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW

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DATE	REVISION

SHEET 4 OF 4