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**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: A. DUIE PYLE MAINTENANCE BUILDING**  
**PROJECT NO.: 19-09**  
**PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 69.1 & 79**  
**REVIEW DATE: 14 MARCH 2019**  
**MEETING DATE: 21 MARCH 2019**  
**PROJECT REPRESENTATIVE: LANGDON ENGINEERS/Justin Macalintal, Snr. Staff Engineer**

1. Project involves a lot line change between the proposed project and the adjoining lot owned by Matrix Newburgh I, LLC. Lot line change proposes to transfer 2.94 acres from the Matrix parcel to the A. Duie Pyle parcel. A review of the Bulk Table for both parcels identifies continued compliance with all Bulk Table regulations after the lot line change. No zoning deficiencies are identified.
2. Water connection to the building must be designed to separate the fire flow and potable water systems whereby if fire flow systems are terminated potable water to the building is terminated. Typical detail for Town of Newburgh is required.
3. Sanitary sewer design incorporates a proposed oil/water separator and pump station with force main. Design report and design details for this must be provided. Sizing of the oil/water separator as well as design of all the pump station must be included.
4. A review of the drainage plans identify "overflow from water recycling containment." This overflow from the recycled containment should be discharged to the sanitary sewer system and not the stormwater system. Project site discharge is tributary to a NYSDEC Class A Watershed.
5. A City of Newburgh Flow Acceptance letter for the increased flow from the maintenance building and wash bays must be received.
6. Check grading at proposed swale from passenger parking lot. A defined swale should be located in this area as all run off from the parking lot will discharge via the drop curb to the rip rap in this vicinity.

7. Accessible parking spaces are depicted on the opposite side of the fence. Applicants are requested to evaluate the accessible route as a row of parking exists on the interior side of the fence. A gate is identified in this vicinity as well.
8. This office is reviewing a Stormwater Pollution Prevention Plan submitted for the project. Initial review identifies that the project has not been evaluated as a stormwater hot spot in accordance with the NYSDEC design manual Section 4.11. Project design utilizing bio-retention with infiltration practices should be further evaluated.
9. Project is located within a City of Newburgh tributary to Class A stream. Town of Newburgh policy is to require 110% treatment of the water quality volume.
10. While portions of the site are considered re-development, no stormwater improvements have been identified on the existing site. Existing site was constructed prior to stormwater regulations being in effect. It is requested the Applicant evaluate implementation of Best Management Practices which could be utilized to retro-fit/treat stormwater from the existing site.
11. Extensive retaining walls are proposed along the eastern portion of the site. Design of these retaining walls should be incorporated into the plan sheets. An evaluation as to the impacts of the retaining wall on Stormwater Management Facilities located in close proximity should be prepared.
12. Pre-treatment of stormwater discharging to the bio-retention area is required.
13. Emergency spill way for bio-retention area discharges at a retaining wall, this should be further evaluated.

Respectfully submitted,

**McGoey, Hauser and Edsall**  
**Consulting Engineers, D.P.C.**

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Patrick J. Hines  
Principal  
PJH/kbw

**TOWN OF NEWBURGH PLANNING BOARD**

**APPLICATION PACKAGE**  
**for**  
**SUBDIVISIONS,**  
**SITE PLANS,**  
**LOT LINE CHANGES**  
**And**  
**SPECIAL EXCEPTION USE PERMITS**

**Procedures and Requirements**

**July 2013**

**TOWN OF NEWBURGH PLANNING BOARD**  
**308 GARDNERTOWN ROAD**  
**NEWBURGH, NEW YORK 12550**  
**(845) 564-7804**  
**fax: (845) 564-7802**  
**[planningboard@hvc.rr.com](mailto:planningboard@hvc.rr.com)**

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** \_\_\_\_\_  
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):  
A. DUKE PYLE MAINTENANCE BUILDING
  
2. Owner of Lands to be reviewed:
 

|         |   |
|---------|---|
| Name    | <u>A. DUKE PYLE</u>   |
| Address | <u>P.O. BOX 504 - 050 WESTTOWN ROAD</u><br><u>WEST CHESTER PA 19381</u> |
| Phone   | <u>610-350-3048 or 800-523-5020</u>                                     |
  
3. Applicant Information (If different than owner):
 

|                |  |
|----------------|--|
| Name           | <u>TIM KOCH - A. DUKE PYLE</u>                         |
| Address        | <u>- SAME AS ABOVE -</u><br><u>TKOCH@ADUIEPYLE.COM</u> |
| Representative | <u>GREG SEIFERT - GEIS CONSTRUCTION</u>                |
| Phone          | <u>216-218-3506</u>                                    |
| Fax            | <u>330-528-0008</u>                                    |
| Email          | <u>gregs@geisco.net</u>                                |
  
4. Subdivision/Site Plan prepared by:
 

|           |   |
|-----------|---|
| Name      | <u>LANGAN</u>   |
| Address   | <u>707 WESTCHESTER AVE, SUITE 304</u><br><u>WHITE PLAINS, NY 10604-3102</u> |
| Phone/Fax | <u>914-323-7400 FAX: 914-323-7401</u>                                       |
  
5. Location of lands to be reviewed:  
1000 CORPORATE BLVD,
  
6. Zone IB Fire District ORANGE LAKE  
Acres 8.57 School District NEWBURGH ENLARGED CITY
  
7. Tax Map: Section 95 Block 1 Lot 09.1

8. Project Description and Purpose of Review:

Number of existing lots 2 Number of proposed lots 2  
Lot line change YES  
Site plan review YES  
Clearing and grading YES  
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

9. Easements or other restrictions on property:

(Describe generally) AN EXISTING STORMWATER EASEMENT WHICH WILL REMAIN

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Handwritten Signature] Title ARCHITECT

Date: 5 MARCH 2019

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

**TOWN OF NEWBURGH PLANNING BOARD**

**A. Duie Pyle**

**PROJECT NAME**

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**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1.  **Environmental Assessment Form As Required**
2.  **Proxy Statement**
3.  **Application Fees**
4.  **Completed Checklist (Automatic rejection of application without checklist)**

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1.  **Name and address of applicant**
2.  **Name and address of owner (if different from applicant)**
3.  **Subdivision or Site Plan and Location**
4.  **Tax Map Data (Section-Block-Lot)**
5.  **Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined**
6.  **Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot**
7. **N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone**
8.  **Date of plan preparation and/or plan revisions**
9.  **Scale the plan is drawn to (Max 1" = 100')**
10.  **North Arrow pointing generally up**

11.  Surveyor,s Certification
12.  Surveyor's seal and signature
13.  Name of adjoining owners
14.  Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  N/A Flood plain boundaries
16.  N/A Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  Metes and bounds of all lots
18.  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  Show existing or proposed easements (note restrictions)
20.  Right-of-way width and Rights of Access and Utility Placement
21.  N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  Lot area (in sq. ft. for each lot less than 2 acres)
23.  Number of lots including residual lot
24.  Show any existing waterways
25.  N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32.  Number of acres to be cleared or timber harvested
33.  Estimated or known cubic yards of material to be excavated and removed from the site
34.  Estimated or known cubic yards of fill required
35.  The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

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37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

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To be provided  
after Planning  
Board hearing.

38.      List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:  \_\_\_\_\_  
Licensed Professional

Date: March 11, 2019

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date): March 11, 2019

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### **EFFECTIVE DATE:**

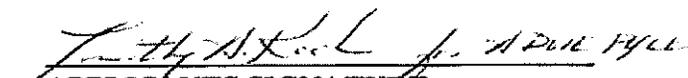
This local law shall take effect immediately upon filing in the Office of the Secretary of State.

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

A. Duie Pyle Inc c/o Timothy A Koch (Director, Facilities)

**APPLICANT'S NAME (printed)**

  
**APPLICANTS SIGNATURE**

03/11/2019

**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

**PROXY**

(OWNER) A DUE FILE, DEPOSES AND SAYS THAT HE/SHE  
*aka Timothy A Keel*  
RESIDES AT 850 Westtown Rd, West Chester  
IN THE COUNTY OF Chester  
AND STATE OF Pennsylvania  
AND THAT HE/SHE IS THE OWNER IN FEE OF A DUE FILE  
1000 Corporate Blvd in Newburgh NY  
WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND Langan IS AUTHORIZED  
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 3/8/19

Timothy A Keel  
OWNERS SIGNATURE

Greg Siefert - CEO's  
Dave Everett - UOH

Timothy A Keel  
OWNERS NAME (printed)

NAMES OF ADDITIONAL  
REPRESENTATIVES

Erin Drake  
WITNESS' SIGNATURE

Erin Drake  
WITNESS' NAME (printed)

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

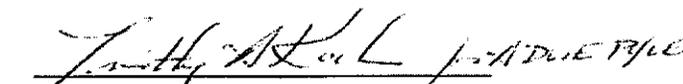
An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

03/11/2019

**DATED**

A. Duie Pyle Inc c/o Timothy A Koch  
**APPLICANT'S NAME (printed)** <sup>Director, Facilities</sup>

  
**APPLICANT'S SIGNATURE**



**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

DATE: 5 MARCH 19

NAME OF PROJECT: A DUKE PYLE MAINTENANCE BLDG.

The applicant is to submit in writing the following items prior to signing of the site plans.

**EXTERIOR FINISH (skin of the building):**

Type (steel, wood, block, split block, etc.)

PAINTED PRECAST CONCRETE

**COLOR OF THE EXTERIOR OF BUILDING:**

OFF-WHITE

**ACCENT TRIM:**

Location: HORIZONTAL FENESTRA ON THE BUILDING

Color: SAME

Type (material): -

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

**ROOF:**

Type (gabled, flat, etc.): FLAT

Material (shingles, metal, tar & sand, etc.): MEMBRANE

Color: WHITE

**WINDOWS/SHUTTERS:**

Color (also trim if different): N/A

Type: \_\_\_\_\_

**DOORS:**

Color: WHITE OVERHEAD DOORS

Type (if different than standard door entrée): METAL

**SIGN:**

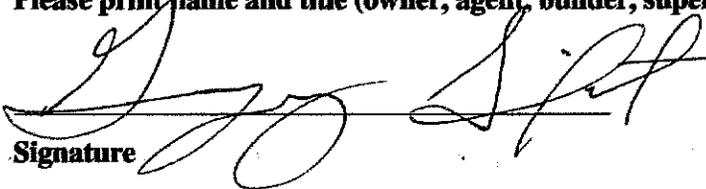
Color: NONE

Material: \_\_\_\_\_

Square footage of signage of site: \_\_\_\_\_

CORRIG SEIFERT, ARCHITECT

Please print name and title (owner, agent, builder, superintendent of job, etc.)



Signature

### **LIST OF ADJACENT PROPERTY OWNERS**

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

|   |                         |                             |
|---|-------------------------|-----------------------------|
| Name of Action or Project:<br>A. Duie Pyle Maintenance Building   |                         |                             |
| Project Location (describe, and attach a general location map):<br>1000 Corporate Blvd, Newburgh, NY 12550 (Section 95, Block 1, Lot 69.1)  |                         |                             |
| Brief Description of Proposed Action (include purpose or need):<br>The Applicant is proposing to redevelop an existing distribution facility to include a new 8,850± square-foot maintenance building with expanded employee and truck parking area, stormwater management facilities, and utility infrastructure. Only light maintenance will occur at the facility including tire and light replacement, fluid changes and a drive-thru truck wash. In order to achieve this goal, a 2.94± acre portion of the adjacent property will be purchased and consolidated to the existing parcel. |                         |                             |
| Name of Applicant/Sponsor:<br>A. Duie Pyle; Attn: Timothy A. Koch, Director, Facilities   | Telephone: 610-350-3048 | E-Mail: tkoch@aduiepile.com |
| Address: 650 Westtown Road  |                         |                             |
| City/PO: West Chester   | State: PA               | Zip Code: 19381             |
| Project Contact (if not same as sponsor; give name and title/role):<br>Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.;<br>Attn: W. Charles Utschig, Jr., PE  | Telephone: 914-323-7400 | E-Mail: cutschig@langan.com |
| Address:<br>707 Westchester Avenue, Suite 304   |                         |                             |
| City/PO:<br>White Plains  | State:<br>NY            | Zip Code:<br>10604          |
| Property Owner (if not same as sponsor):  | Telephone:              | E-Mail:                     |
| Address:  |                         |                             |
| City/PO:  | State:                  | Zip Code:                   |

**B. Government Approvals**

| <b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.) |  |   |
|---|--|---|
| <b>Government Entity</b>  | <b>If Yes: Identify Agency and Approval(s) Required</b>                  | <b>Application Date (Actual or projected)</b>                       |
| a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees                         |  |   |
| b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No                             | Town of Newburgh Planning Board - Site Plan Approval and Lot Line Change | March 2019  |
| c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                  |  |   |
| d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   | Town of Newburgh Water Department, Sewer/Utility Department              |   |
| e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  |  |   |
| f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  |  |   |
| g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   | NYSDEC - SEQR, SPDES   |   |
| h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   | FAA - Notice of Construction/ Hazard to Air Nav. Determination           |   |
| i. Coastal Resources.   |  |   |
| i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?   |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?  |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| iii. Is the project site within a Coastal Erosion Hazard Area?  |  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

**C. Planning and Zoning**

|  |  |
|--|--|
| <b>C.1. Planning and zoning actions.</b>   |  |
| Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                    |  |
| <ul style="list-style-type: none"> <li>If Yes, complete sections C, F and G.</li> <li>If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>  |  |
| <b>C.2. Adopted land use plans.</b>  |  |
| a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   |  |
| If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  |  |
| b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |  |
| If Yes, identify the plan(s):  |  |
| Priority Growth Area   |  |
| _____  |  |
| _____  |  |
| _____  |  |
| c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |  |
| If Yes, identify the plan(s):  |  |
| _____  |  |
| _____  |  |
| _____  |  |

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No

If Yes, what is the zoning classification(s) including any applicable overlay district?

Zoning District: IB - Interchange Business

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Newburgh Enlarged City School District

b. What police or other public protection forces serve the project site?  
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?  
Orange Lake Fire District; Town of Newburgh Emergency Medical Services

d. What parks serve the project site?  
Algonquin Powder Mill Park (municipal, 2 mi north), Cronomer Hill County Park (county, 2 mi north), New Windsor Historic Parklands (municipal, 2 mi south), Stewart State Forest (state, 4 mi west)

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial - construction of a vehicle maintenance building and expanded parking area

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 8.64 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 3.84 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 8.57 acres Assume lot line change is approved

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 52% increase in property Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Lot line change, 2.94± acres will be transferred to adjacent property to subject property

ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? N/A  
iv. Minimum and maximum proposed lot sizes? Minimum N/A Maximum N/A

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

One Family      Two Family      Three Family      Multiple Family (four or more)

Initial Phase

At completion

of all phases

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 25 height; 82 width; and 108 length

iii. Approximate extent of building space to be heated or cooled: 8,850 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

### D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No

If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Town of Newburgh consolidated water district
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 800 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Sanitary wastewater, cleaning detergents

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh - Renwick Street wastewater treatment plant
- Name of district: Town of Newburgh Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

- iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

- v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

- vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

- e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?

273,620 Square feet or 6.28 acres (impervious surface) 6.28 acres total impervious area (1.87 acres of new impervious)

373,243 Square feet or 8.58 acres (parcel size)

- ii. Describe types of new point sources. Maintenance building and asphalt pavement for employee, truck, and trailer parking area

- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

On-site stormwater conveyance system and on-site bioretention basin, existing discharge point to off-site ACOE wetlands

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
ACOE wetlands located east of the property

- Will stormwater runoff flow to adjacent properties?  Yes  No

- iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

- f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

Fleet and delivery vehicles

- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

Generators

- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

N/A

- g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

- ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
12.7 MW/year

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Via grid / local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

|   |   |
|---|---|
| <p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7 am to 4 pm</li> <li>• Saturday: _____ 7 am to 12 pm</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> | <p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 24 hours</li> <li>• Saturday: _____ 12 hours</li> <li>• Sunday: _____ -</li> <li>• Holidays: _____ -</li> </ul> |
|---|---|

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 Construction related noises during permitted hours of construction \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: Approximately 0.7 acres of wooded areas will be removed along the eastern property boundary.

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Perimeter pole lights (LED) and building wall fixtures (LED)

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
Potential use of pesticides for landscaping during operation  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ TBD tons per \_\_\_\_\_ month (unit of time)  
 • Operation: \_\_\_\_\_ Approx 6 tons per \_\_\_\_\_ month (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: Construction waste will be minimized through efficient material use and solid waste will be disposed of in appropriate manner.  
 \_\_\_\_\_  
 • Operation: Solid waste and recycling will be collected on site and disposed by private waste management vendor.  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: Private waste management vendor.  
 \_\_\_\_\_  
 • Operation: Private waste management vendor.  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill; anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): Stewart International Airport, Army National Guard Base

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

| Land use or Covertypes   | Current Acreage | Acreage After Project Completion | Change (Acres +/-) |
|--|-----------------|----------------------------------|--------------------|
| • Roads, buildings, and other paved or impervious surfaces                               | 4.44            | 6.27                             | + 1.83             |
| • Forested   | 1.28            | 0.62                             | - 0.66             |
| • Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural) | 2.83            | 1.66                             | - 1.17             |
| • Agricultural (includes active orchards, field, greenhouse etc.)                        | N/A             | N/A                              | N/A                |
| • Surface water features (lakes, ponds, streams, rivers, etc.)                           | N/A             | N/A                              | N/A                |
| • Wetlands (freshwater or tidal)   | 0.02            | 0.02                             | No Change          |
| • Non-vegetated (bare rock, earth or fill)   |                 |                                  |                    |
| • Other Describe: _____  |                 |                                  |                    |

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 336089  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
See attached \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 1.5 feet According to USDA Soil Conservation Service Soil Survey for Orange County

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

|   |      |
|---|------|
| Mardin gravelly silt (MdB)(HSG D)       | 89 % |
| Erie extremely stony soils (ESB)(HSG D) | 9 %  |
| Alden silt loam (Ab)(HSG C/D)           | 1 %  |

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 13 feet Per Geotechnical Report

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained 100 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 862-223 Classification A
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters,... Approximate Size 0.02 acres
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:

i. Name of aquifer: \_\_\_\_\_

|   |  |
|---|--|
| m. Identify the predominant wildlife species that occupy or use the project site:<br>white-tailed deer _____ grey squirrel _____ groundhog _____<br>eastern cottontail _____ chipmunk _____ wild turkey _____<br>various songbirds _____  |  |
| n. Does the project site contain a designated significant natural community? <span style="float:right"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span><br>If Yes:<br>i. Describe the habitat/community (composition, function, and basis for designation): _____<br>_____<br>ii. Source(s) of description or evaluation: _____<br>iii. Extent of community/habitat:<br>• Currently: _____ acres<br>• Following completion of project as proposed: _____ acres<br>• Gain or loss (indicate + or -): _____ acres |  |
| o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float:right"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span><br>If Yes:<br>i. Species and listing (endangered or threatened): _____<br>Upland Sandpiper, Indiana Bat   |  |
| p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float:right"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span><br>If Yes:<br>i. Species and listing: _____   |  |
| q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float:right"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span><br>If yes, give a brief description of how the proposed action may affect that use: _____   |  |
| <b>E.3. Designated Public Resources On or Near Project Site</b>   |  |
| a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float:right"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span><br>If Yes, provide county plus district name/number: _____  |  |
| b. Are agricultural lands consisting of highly productive soils present? <span style="float:right"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span><br>i. If Yes: acreage(s) on project site? _____<br>ii. Source(s) of soil rating(s): _____   |  |
| c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float:right"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span><br>If Yes:<br>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature<br>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____                                       |  |
| d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float:right"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span><br>If Yes:<br>i. CEA name: _____<br>ii. Basis for designation: _____<br>iii. Designating agency and date: _____  |  |

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

---

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: Stewart State Forest; Newburgh-Beacon Bridge/Hudson River

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): State forest land/ State Scenic Road

iii. Distance between project and resource: 3.5 miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

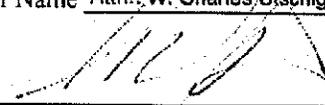
Attach any additional information which may be needed to clarify your project.

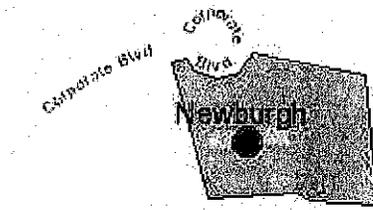
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

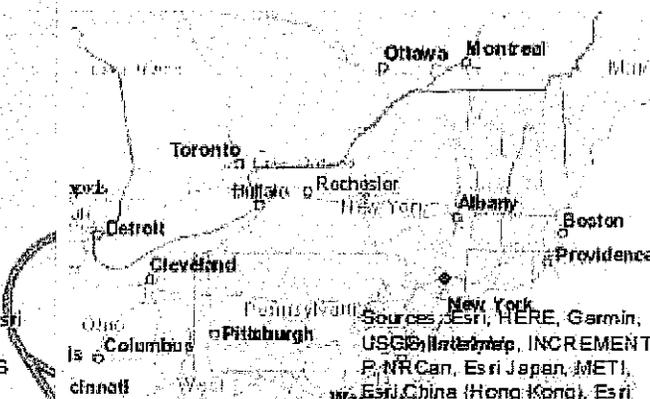
Applicant/Sponsor Name Langan Engineering, Attn.: W. Charles Utschig, Jr., PE Date March 11, 2019

Signature  Title Associate



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, OpenStreetMap contributors, and the GIS User Community

**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



|  |   |
|--|---|
| B.i.i [Coastal or Waterfront Area]   | No  |
| B.i.ii [Local Waterfront Revitalization Area]                                      | No  |
| C.2.b. [Special Planning District]   | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.  |
| E.1.h [DEC Spills or Remediation Site - Potential Contamination History]           | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.  |
| E.1.h.i [DEC Spills or Remediation Site - Listed]                                  | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.  |
| E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.  |
| E.1.h.iii [Within 2,000' of DEC Remediation Site]                                  | Yes   |
| E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]                         | 336089  |
| E.2.g [Unique Geologic Features]   | No  |
| E.2.h.i [Surface Water Features]   | Yes   |
| E.2.h.ii [Surface Water Features]  | Yes   |
| E.2.h.iii [Surface Water Features]   | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| E.2.h.iv [Surface Water Features - Stream Name]                                    | 862-223   |
| E.2.h.iv [Surface Water Features - Stream Classification]                          | A   |
| E.2.h.iv [Surface Water Features - Wetlands Name]                                  | Federal Waters  |
| E.2.h.v [Impaired Water Bodies]  | No  |
| E.2.i. [Floodway]  | No  |

|  |  |
|--|--|
| E.2.j. [100 Year Floodplain]                     | No   |
| E.2.k. [500 Year Floodplain]                     | No   |
| E.2.l. [Aquifers]                                | No   |
| E.2.n. [Natural Communities]                     | No   |
| E.2.o. [Endangered or Threatened Species]        | Yes  |
| E.2.o. [Endangered or Threatened Species - Name] | Upland Sandpiper, Indiana Bat  |
| E.2.p. [Rare Plants or Animals]                  | No   |
| E.3.a. [Agricultural District]                   | No   |
| E.3.c. [National Natural Landmark]               | No   |
| E.3.d. [Critical Environmental Area]             | No   |
| E.3.e. [National Register of Historic Places]    | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.3.f. [Archeological Sites]                     | No   |
| E.3.i. [Designated River Corridor]               | No   |

# Project Narrative

## A Duie Pyle Maintenance Building Project

1000 Corporate Blvd.

Town of Newburgh New York

### **Existing Property:**

A Duie Pyle Company, an asset based trucking, warehousing and logistics provider, purchased the former New Penn Motor Freight truck terminal located at the above address in 2009 in a sale/leaseback transaction. The existing terminal building will continue to be utilized as it has been for years since construction, that is to facilitate the transfer of freight from truck to truck. The existing property consists of 5.62 acres of land. The terminal building is +/- 24,400 sf in area. The building is a single-story building with a central office portion that is two stories. The roof height is 21'-6" feet, to the highest point of the shallow pitched roof. Car parking for employees is located at the front of the facility between the building and the street. The entire truck court, drives and parking areas are concrete paving. Stormwater is conveyed via underground pipes to a shared detention basin located on the adjacent site to the east.

### **Proposed Construction:**

In order to operate and function efficiently A Duie Pyle is proposing to build a maintenance building adjacent to the existing building. In order to achieve this goal, a +/-2.94 acre portion of the adjacent property will be purchased and consolidated to the existing parcel. New paving will consist of extending the employee car parking lot along the frontage of the site and extending the existing truck drives/parking to allow for proper truck circulation for the new maintenance building. The new building will be located to the north and slightly east of the existing terminal building.

The proposed building will be +/-8,850 sf in area, single story with a height of 25'-0" feet. The building will be built of precast concrete walls supporting the flat roof structure. Four overhead doors are located on the east and west facades of the building. The southern portion of the building will contain a drive-thru truck wash. The building exterior walls will be painted. All needed utilities are currently present onsite, with utilities for the new building to connect to the existing underground utilities. New light poles will be placed along the perimeter of the new paving areas for safety and security purposes. The new pole lights and the existing lights will be fitted with LED lighting. The existing perimeter chain-link fencing will be extended to include the new maintenance building and paving areas. Two new vertical pivot gates will be installed at the truck entrance drive in order to limit traffic onsite to allowed trucks only.

The maintenance building will serve the A Duie Pyle operation only. Only light maintenance will occur at the facility, tire and light replacement, fluid changes and similar work will occur. There will not be engine overhaul or bodywork/painting work done.

Matrix Newburgh I, LLC  
c/o Matrix Realty, Inc.  
Forsgate Drive, CN4000  
Cranbury, NJ 08512

March 11, 2019

John P. Ewasutyn, Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550

**Re: Lot Owner's Consent — A. Duie Pyle Site Plan Application  
Section 95 Block 1 Lot 69.1**

Dear Chairman Ewasutyn:

Matrix Newburgh I, LLC, the title owner of Section 95 Block 1 Lot 79, located on Route 17K in the Town of Newburgh, consents to A. Duie Pyle's submission to the Town of Newburgh Planning Board of an application for a lot line adjustment. The proposed lot line adjustment is shown on that certain plan entitled "Lot Line Change Plan," prepared by Langan dated March 11, 2019 and bearing Project No. 190048601.

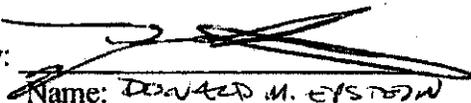
Very truly yours,

**MATRIX NEWBURGH I, LLC**

By: Matrix/PPF Orange County Holdings, LLC,  
its Sole Member

By: Matrix Development Group Associates, L.L.C.,  
its Administrative Member

By: Taylor/Epstein Investment Fund, L.L.C.,  
its Manager

By:   
Name: DONALD M. EPSTEIN  
Title: MANAGER

**SEQRA STATEMENT**  
**Evaluation of Potential Environmental Impacts**

**A. Duie Pyle: Maintenance Building Project**

**March 8, 2019**

**PROPOSED ACTION**

A. Duie Pyle (the "Applicant") is proposing to develop a new ±8,850 sf maintenance building and other site improvements to support its existing warehouse and truck freight operations located at 1000 Corporate Boulevard (tax map parcel # 95-1-69.1) in the Town of Newburgh (the "Property" or "Site"). To achieve this goal, a +/-2.94 acre portion of the adjacent property will be purchased and consolidated with the Applicant's existing parcel. The Property is privately owned and formerly served as the NewPenn truck terminal. The land to be purchased is owned by Matrix Newburgh I, LLC ("Matrix").

The Site lies within the Interchange Business "IB" Zoning District under the Town's Zoning Code and the proposed maintenance building will be used as part of the existing warehouse and is permitted subject to site plan review/approval by the Planning Board. The Applicant also seeks lot line adjustment approval from the Planning Board to transfer 2.94 acres of land from Matrix's adjacent lot to the Applicant's lot. In addition to the new maintenance building, new parking, lighting, curbing, stormwater management facilities, utilities, and other improvements are proposed as depicted on the accompanying site plans prepared by Langan Engineering dated March 11, 2019 (the "Project"). The Site is located in an existing commercial/industrial park (Northeast Business Center) surrounded mostly by other industrial and commercial uses. The proposed site improvements are in harmony with this existing neighborhood.

The site plans were designed to include approximately 27 new onsite employee parking spaces, 26 new truck parking spaces and 33 new trailer parking spaces. New paving will consist of extending the employee car parking lot along the frontage of the Site and extending the existing truck drives/parking to allow for proper truck circulation for the new maintenance building. The new building will be located to the north and slightly east of the existing warehouse building. Two new vertical pivot gates will be installed at the truck entrance drive in order to limit traffic onsite to allowed trucks only.

It should be noted that a vehicle maintenance building was previously contemplated for this Site as shown on the site plan prepared by Birdsall Engineering, Inc. dated April 21, 1995 (attached hereto as Exhibit A). It is unclear whether this plan was ever approved by the Planning Board at that time.

The maintenance building will serve the Applicant's operations only. Only light truck maintenance will occur at the facility, including tire and light replacement, fluid changes and similar work. There will not be engine overhaul or any bodywork or painting performed on-site. A truck wash will be included inside the building.

### **EVALUATION OF POTENTIAL ENVIRONMENTAL IMPACTS**

The Project is an Unlisted Action under the State Environmental Quality Review Act and its implementing regulations ("SEQRA"). While the proposed lot line adjustment is a Type 2 action under SEQRA (6 NYCRR 617.5(c)(16)), SEQRA review is still required for this Project based on the proposed Site improvements.

As the Planning Board is aware, it is required to consider the criteria for determining the environmental significance of this Project as enumerated in the SEQRA regulations at 6 NYCRR 617.7(c). This section discusses each of those criteria in more detail below.

- a. No substantial adverse change in existing air quality, ground or surface water quality or quantity, traffic or noise levels; no substantial increase in solid waste production; and no substantial increase in potential for erosion, flooding, leaching or drainage problems will result from the Project. The Project will not generate off-premises noise, waste, lights, glare or any other intrusive condition.

Air Quality. The Project entails improvements to an existing warehouse/truck terminal including construction of a new maintenance building containing 8,850 sf and additional parking areas to facilitate operations. No significant sources of air pollution are proposed as part of the new site improvements. No changes to the existing warehouse building are proposed. The new improvements will not create any significant new truck trips or car trips or related air emissions. The proposed Project will not result in any significant alteration or impairment to air quality in the Town due to the construction of the maintenance building or other site improvements. No adverse impacts to air quality are anticipated from the Project.

Surface water quality. A small federal wetland is located on the southeast corner of the Site. It will not be affected by the Project. No State regulated wetlands are present on the Site. There are no streams or other bodies of water on the Site. An adjacent stormwater basin on Matrix's land will continue to receive treated stormwater discharges from the Site pursuant to easements created as part of the commercial/industrial park.

The Project proposes to develop new stormwater management controls to collect and treat stormwater from the Site before releasing it to the adjacent retention basin and downstream waters. These controls will include an on-site stormwater conveyance system (pipes and catch basins) and an on-site bioretention basin. The new stormwater controls will comply the NYSDEC stormwater standards which are designed to prevent significant stormwater impacts. See a more detailed discussion below on stormwater management. Based on the foregoing, no significant adverse impacts to surface waters are anticipated from the Project.

Groundwater quality or quantity. The Project proposes to reuse the existing water and public sewer connections on the Site. There is sufficient capacity in the public water supply and sewer system to serve the Site and the water usage and sewer discharges will increase slightly. No private wells exist on the Site and none are proposed as part of the new improvements. Wash water from the proposed truck wash in the maintenance building will be collected in the wash bay and either reused/recycled for additional washes or discharged to the public sewer system. Based on the foregoing, no significant adverse impacts to groundwater are anticipated from the Project.

Traffic. The Project is located in a commercial/industrial park along Corporate Boulevard, a private road off Route 17K. The Site will continue to be used as a warehouse with no significant changes to the building or the number of truck or car trips using the facility. No substantial increase in traffic above present levels is anticipated from the Project.

Solid Waste Production. Solid waste generated by the Project's operation will be temporarily stored in a proposed compactor shown on the site plan. On a regular basis, a private carter will collect the solid waste for removal and disposal (including recycling) at an approved facility.

During construction of the Project, any construction or demolition debris will be placed temporarily in a dumpster and/or removed from the Site on a regular basis by a private carter for disposal off-site at an approved facility. No construction debris will be buried on-site. Based on the foregoing, no significant adverse impacts from solid waste product are anticipated from the Project.

Erosion, Flooding and Drainage. A combination of temporary and permanent erosion control measures will be utilized to collect and treat stormwater from the Site to prevent adverse run-off during and after construction. These control measures are depicted on the accompanying site plans for the Project (See Sheet CE101). Because the Project disturbs more than one acre of land, the Project requires a NYSDEC State Pollution Discharge Elimination System (SPDES) General Permit for Construction Activities (GP-0-15-002), involving the preparation of a stormwater pollution prevention plan ("SWPPP") in accordance with the New York Standards and Specifications for Erosion and Sediment Control (2016). The SWPPP must be reviewed and approved by the Town. The erosion and sediment control measures will be required to be implemented prior to site disturbance activities. New stormwater management facilities, including an on-site stormwater conveyance system and on-site bioretention basin will collect and treat stormwater as required by the NYSDEC standards. The proposed collection and treatment of stormwater will ensure run-off flows meet pre-existing discharge levels. To further manage stormwater on the Site, the Project will also require a NYSDEC Multi-Sector General Permit for Stormwater Discharges Associated with Industrial Activity (GP-0-17-004). Thus, no significant adverse stormwater impacts are expected from the Project.

Noise, Odor and Lighting. Noise and odor impacts during construction will be temporary and of short duration. Noise in the area is already elevated from many noise sources including vehicle noise on nearby I-84, I-87 and Route 17K; noise from other uses in the surrounding commercial/industrial park; and noise from air traffic using nearby Stewart International Airport. The Project will not significantly change this noise footprint in anyway. No major noise sources are proposed as part of the Project. Any noise from truck maintenance or washing operations will be contained inside the proposed maintenance building. Based on the foregoing, no significant adverse noise is anticipated from the new site improvements.

New, modern and energy-efficient lighting will be utilized throughout the Project Site. Exterior site lighting has been designed to be minimal while ensuring a safe and secure facility for employees. Where appropriate, lighting fixtures will be of a full cutoff type or provided with shields to reduce glare and light pollution. The fixture locations have been sited to minimize light trespass onto adjacent properties. These measures have been incorporated to minimize potential adverse impacts from site lighting of the new building and parking facilities. A photometric plan has been submitted as part of the site plan application. Given the commercial/industrial nature of the surrounding property, no significant adverse lighting impacts are anticipated from the Project.

- b. No removal or destruction of large quantities of vegetation or fauna; no substantial interference with the movement of any resident or migratory fish or wildlife species; no impacts on a significant habitat area; no substantial adverse impacts on a threatened or endangered species of animal or plant, or the habitat of such a species; and no other significant adverse impacts to natural resources will result from the Project.

Given the fact that the Project Site was previously developed as a warehouse/truck terminal and parking lot, the Site does not contain any suitable habitat for any protected plants, animals or fish. The majority of the Site is already covered with pavement and other impervious surfaces, however, some disturbance to lawn area and limited clearing of immature trees is proposed on the eastern boundary of the site to build the proposed improvements. The Site is not considered a critical wildlife area or wildlife refuge, nor do any such areas exist in close proximity to the Site. As a result, no significant adverse impacts are expected to wildlife from the Project.

- c. The Project will not create the impairment of the environmental characteristics of a Critical Environmental Area (CEA) as designated pursuant to subdivision 6 NYCRR § 617.14(g).

The Site does not contain any CEAs. There is only one CEA in the Town and it is does not exist in the vicinity of the Project.

- d. The Project will not create a material conflict with the community's current plans or goals as officially approved or adopted.

The Site lies within the Interchange Business "IB" Zoning District under the Town's Zoning Code and the proposed improvements are part of the existing warehouse use and permitted on the Site subject to site plan review/approval by the Planning Board. The Project Site is surrounded by other commercial/industrial uses and the proposed improvements are in harmony with the neighborhood and consistent with the Town's Zoning Code. No zoning variances are required.

- e. The Project will not adversely impair the character or quality of important historical, archeological, architectural, or aesthetic resources or existing community or neighborhood character.

The Project will not impair the character or quality of any important historical and/or archaeological resources, given the extensive prior disturbance and development of the Project Site. The Site is not located in an archeological sensitive area as noted on maps maintained by the State Historic Preservation Office. No historic buildings or sites listed on the State or National Registers of Historic Places are located on or next to the Site. The Site is not located in or adjacent to an historic district. Based on the foregoing, no significant adverse impacts to cultural resources are anticipated from the Project.

The Site is located in a commercial/industrial park that is not generally visible from any public roadways. The Project is consistent with the aesthetics of the surrounding uses and the existing neighborhood character.

- f. The Project will not create a major change in the use of either the quantity or type of energy.

New underground electric and gas services are proposed to service the maintenance building. The existing warehouse will use existing utility connections. The maintenance building will slightly increase energy use on the Site.

The quantity and type of energy used by the Project will be similar to other surrounding uses. Given the Project's relatively small size, it will not create any significant adverse demands for electricity or energy in the Town.

- g. The Project will not create any significant hazards to human health.

No significant adverse impacts to human health are anticipated as a result of the Project because the construction and site development activities will be undertaken in accordance with and in compliance with all pertinent environmental and land development regulations and related permit and approval procedures and requirements. The Project will be connected to public water and sewer systems.

The Project will not create a substantial change in the use, or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses for the reasons set forth herein.

No such resources are located on the Site. The Project consists of improvements to an existing warehouse/truck terminal including construction of a maintenance building and other site improvements in an existing commercial/industrial park. As a result, the proposed Project will not cause a substantial change in the use, or the intensity of use, of land either within the Town generally or in the immediate vicinity of the Project Site. The Site is not used for public and private recreational purposes.

The Project will also not cause any significant adverse impacts on agricultural resources, including consideration of prime or otherwise important farmland soils. The Site does not contain farmland and is not located in a State certified agricultural district. The Site is located in a commercial/industrial area which limits its potential for viable farming operations.

- h. The Project will not encourage or attract a large number of people to the Town of Newburgh, compared to the number of people who would come to such place absent its adoption.

The Project will not attract large numbers of people to the Town.

- i. The Project will not create a material demand for other actions that would result in one of the above consequences.

Development of the new maintenance building and other site improvements will not create any new material demands for other actions.

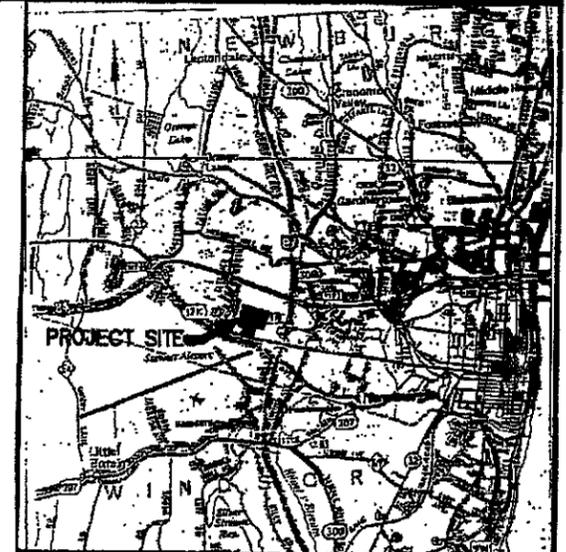
- j. No cumulative adverse impacts on the environment will result from the Project.

Development of the new maintenance building and other site improvements will not have any cumulative impacts on the environment.

PLAN SCHEDULE

| TITLE                                | SHT. NO. |
|--------------------------------------|----------|
| TITLE SHEET                          | 1 of 10  |
| SITE PLAN                            | 2 of 10  |
| GRADING & UTILITY PLAN               | 3 of 10  |
| PROFILES                             | 4 of 10  |
| LIGHTING & LANDSCAPE PLAN            | 5 of 10  |
| DRAINAGE AREA MAP                    | 6 of 10  |
| SOIL EROSION & SEDIMENT CONTROL PLAN | 7 of 10  |
| SOIL EROSION DETAILS                 | 8 of 10  |
| DETAILS                              | 9 of 10  |
| DETAILS                              | 10 of 10 |

# NEW PENN MOTOR EXPRESS AT THE NORTHEAST BUSINESS CENTER



SITE LOCATION MAP  
SCALE - 1"=2,000'

NOTES:

BOUNDARY SURVEY INFORMATION TAKEN FROM A MAP ENTITLED "SUBDIVISION FOR NORTHEAST DISTRIBUTION CENTER" PREPARED BY EUSTANCE & HORDWITZ P.C., ORCLEVILLE, NY, DATED 8-17-89.  
 TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM MAP ENTITLED "2 LOT SUBDIVISION FOR NORTHEAST DISTRIBUTION CENTER" PREPARED BY EUSTANCE & HORDWITZ P.C., ORCLEVILLE, NY, DATED 1-23-87.  
 PROPERTY BEING KNOWN AS LOT 2B, BLOCK 1, SECTION 85 AS SHOWN ON THE TOWN OF NEWBURGH TAX MAP.

PROPERTY LIES WITHIN THE I-B ZONE DISTRICT.

| PARAMETER            | REQUIRED    | PROVIDED     |
|----------------------|-------------|--------------|
| LOT AREA             | 40,000 S.F. | 244,985 S.F. |
| LOT WIDTH            | 150 FT.     | >300 FT.     |
| LOT DEPTH            | 150 FT.     | >400 FT.     |
| FRONT YARD           | 80 FT.      | 163.50 FT.   |
| REAR YARD            | 80 FT.      | 167.00 FT.   |
| SIDE YARD            | 30 FT.      | 68.87 FT.    |
| BOTH SIDE YARD       | 80 FT.      | 222.06 FT.   |
| LOT BLDG. COVERAGE   | 40%         | 12%          |
| LOT SURFACE COVERAGE | 80%         | 78%          |
| BLDG. HEIGHT         | 40 FT.      | <40 FT.      |

- TOWN WATER & SEWER ARE AVAILABLE TO SITE.

- THE CONSIDERATION OF APPROVAL IS FOR ALL IMPROVEMENTS SHOWN ON PLAN. THE PROPOSED SHOP WILL BE CONSTRUCTED AT A LATER DATE. THE BUILDING ENVELOPE OF SHOP WILL BE PAVED UNTIL CONSTRUCTED.

PARKING REQUIREMENTS:

|  |                     |
|--|---------------------|
| TERMINAL EMPLOYEES (OFFICE & DOCK WORKERS) | = 15 @ 1 SPACE = 15 |
| SHOP EMPLOYEES                             | = 2 @ 1 SPACE = 2   |
| TRUCK DRIVERS                              | = 28 @ 1 SPACE = 28 |
| TOTAL SPACES REQUIRED                      | = 45                |
| TOTAL SPACES PROVIDED                      | = 78                |

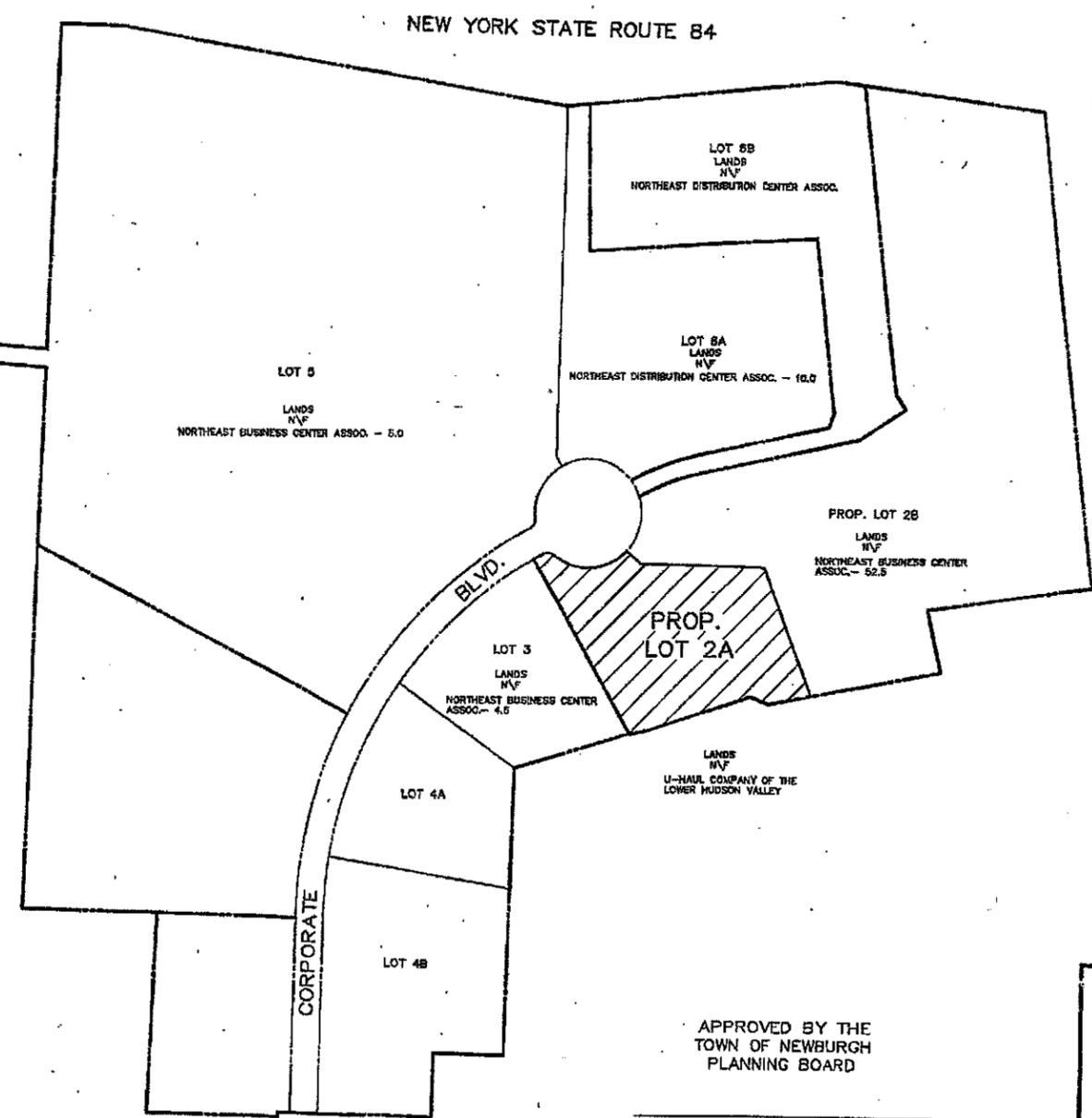
OWNER: NORTHEAST BUSINESS CENTER ASSOC. - 52.5  
 3 MANHATTENVILLE ROAD  
 PURCHASE, N.Y.

APPLICANT: NEW PENN MOTOR EXPRESS  
 825 SOUTH FIFTH AVE.  
 LEBANON, PENNSYLVANIA 17042

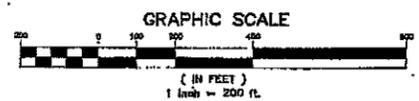
PROXY STATEMENT HAS BEEN SUBMITTED TO THE TOWN OF NEWBURGH PLANNING BOARD, AUTHORIZING APPLICANT TO MAKE APPLICATION FOR SITE PLAN.



FLETCHER DRIVE



NEW YORK STATE ROUTE 17K



PROJECT SITE  
SCALE - 1"=200'

APPROVED BY THE  
TOWN OF NEWBURGH  
PLANNING BOARD

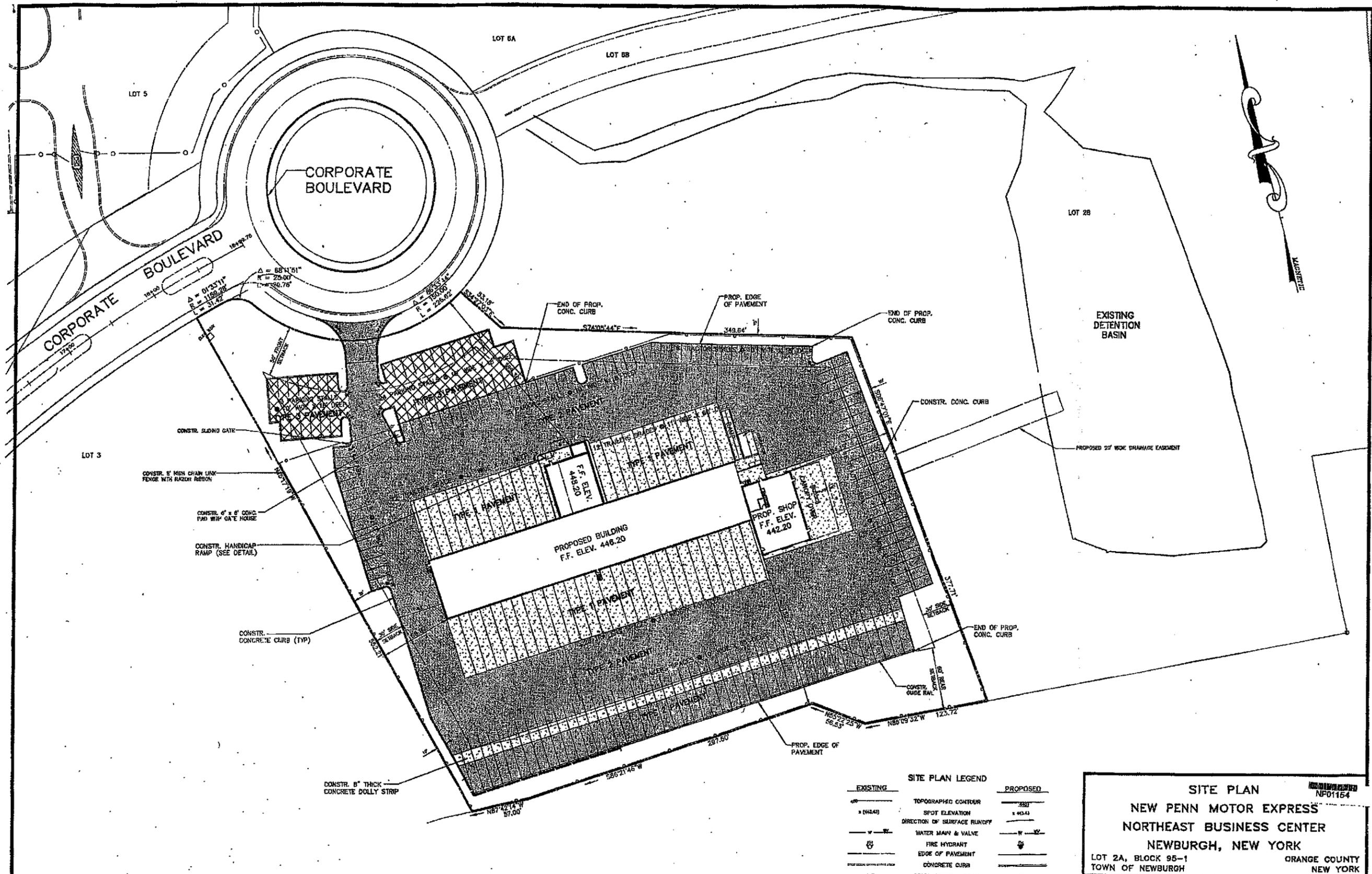
|           |      |
|-----------|------|
| CHAIRMAN  | DATE |
| SECRETARY | DATE |
| ENGINEER  | DATE |

TITLE SHEET  
FOR  
NEW PENN MOTOR EXPRESS  
NORTHEAST BUSINESS CENTER  
TOWN OF NEWBURGH  
ORANGE COUNTY  
NEW YORK

Job No. 25,682-000  
 1" = 200'  
 Drawn by [Signature]  
 Checked by [Signature]  
 Designated by [Signature]  
 Title [Signature]  
 DATE: JUNE 23, 1995  
 ALAN P. HILLA, P.E.  
 N.Y. Lic. No. 065882

1 of 10

Drawn by AutoCAD



**NOTICE TO CONTRACTOR**

\*Attention of the Contractor is directed to the fact that the approximate locations of known utility structures and facilities that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the Engineer, and the Contractor is advised to verify in the field all the facts concerning the locations of these utilities prior to construction.

| SITE PLAN LEGEND |                             |
|------------------|-----------------------------|
| EXISTING         | PROPOSED                    |
|                  | TOPOGRAPHIC CONTOUR         |
|                  | SPOT ELEVATION              |
|                  | DIRECTION OF SURFACE RUNOFF |
|                  | WATER MAIN & VALVE          |
|                  | FIRE HYDRANT                |
|                  | EDGE OF PAVEMENT            |
|                  | CONCRETE CURB               |
|                  | STORM SEWER & INLET         |
|                  | SANITARY SEWER & MANHOLE    |
|                  | SEWER LATERAL & CLEANOUT    |
|                  | TYPE 1 PAVEMENT             |
|                  | TYPE 2 PAVEMENT             |
|                  | TYPE 3 PAVEMENT             |

**SITE PLAN**

**NEW PENN MOTOR EXPRESS**

**NORTHEAST BUSINESS CENTER**

**NEWBURGH, NEW YORK**

LOT 2A, BLOCK 95-1      ORANGE COUNTY  
TOWN OF NEWBURGH      NEW YORK

NP01154

Birdsall Engineering, Inc.  
Professional Engineers, Land Surveyors, Planners  
200 F. Street, Newburgh, N.Y. 12551    (518) 561-1154

*Alan P. Hilla*  
**ALAN P. HILLA, P.E.**  
N.Y. Lic. No. 065882

DATE: JUNE 23, 1995

|                       |                   |
|-----------------------|-------------------|
| Job No.<br>26,992,000 | Scale<br>1" = 40' |
| Drawn<br>MAK          | Checked           |
| Designed<br>WRG       | Checked           |
| Drawn<br>SITE         | Checked           |
| 2 of 10               |                   |

Drawn by AutoCAD

ORANGE COUNTY CLERK'S OFFICE RECORDING PAGE

THIS PAGE IS PART OF THE INSTRUMENT - DO NOT REMOVE

TYPE IN BLACK INK:

NAME(S) OF PARTY(S) TO DOCUMENT

New Penn Motor Express, Inc. TO A. Duie Ayle, Inc.

SECTION 95 BLOCK 1 LOT 69.1

RECORD AND RETURN TO: (name and address)

A. Duie Ayle, Inc. Attn: Mr. Peter A. Latta 650 Weston Road PO Box 564 West Chester, PA 19381



THIS IS PAGE ONE OF THE RECORDING 370900157

ATTACH THIS SHEET TO THE FIRST PAGE OF EACH RECORDED INSTRUMENT ONLY

DO NOT WRITE BELOW THIS LINE

INSTRUMENT TYPE: DEED [X] MORTGAGE SATISFACTION ASSIGNMENT OTHER

PROPERTY LOCATION

- 2089 BLOOMING GROVE (TN) 2001 WASHINGTONVILLE (VLG) 2289 CHESTER (TN) 2201 CHESTER (VLG) 2489 CORNWALL (TN) 2401 CORNWALL (VLG) 2600 CRAWFORD (TN) 2800 DEERPARK (TN) 3089 GOSHEN (TN) 3001 GOSHEN (VLG) 3003 FLORIDA (VLG) 3005 CHESTER (VLG) 3200 GREENVILLE (TN) 3489 HAMPTONBURGH (TN) 3401 MAYBROOK (VLG) 3689 HIGHLANDS (TN) 3601 HIGHLAND FALLS (VLG) 3889 MINISINK (TN) 3801 UNIONVILLE (VLG) 4089 MONROE (TN) 4001 MONROE (VLG) 4003 HARRIMAN (VLG) 4005 KIRYAS JOEL (VLG)

- 4289 MONTGOMERY (TN) 4201 MAYBROOK (VLG) 4203 MONTGOMERY (VLG) 4205 WALDEN (VLG) 4489 MOUNT HOPE (TN) 4401 OTISVILLE (VLG) [X] 4600 NEWBURGH (TN) 4800 NEW WINDSOR (TN) 5089 TUXEDO (TN) 5001 TUXEDO PARK (VLG) 5200 WALLKILL (TN) 5489 WARWICK (TN) 5401 FLORIDA (VLG) 5403 GREENWOOD LAKE (VLG) 5405 WARWICK (VLG) 5600 WAWAYANDA (TN) 5889 WOODBURY (TN) 5801 HARRIMAN (VLG)

CITIES

- 0900 MIDDLETOWN 1100 NEWBURGH 1300 PORT JERVIS 9999 HOLD

NO PAGES 5 CROSS REF. CERT. COPY ADD'L X-REF. MAP# PGS.

PAYMENT TYPE: CHECK [X] CASH CHARGE NO FEE

Taxable CONSIDERATION \$ 2100000.00 TAX EXEMPT

Taxable MORTGAGE AMT. \$

MORTGAGE TAX TYPE:

- (A) COMMERCIAL/FULL 1% (B) 1 OR 2 FAMILY (C) UNDER \$10,000 (E) EXEMPT (F) 3 TO 6 UNITS (I) NAT.PERSON/CR. UNION (J) NAT.PER-CR.UN/1 OR 2 (K) CONDO

Donna L. Benson DONNA L. BENSON ORANGE COUNTY CLERK

RECEIVED FROM: Chicago Title

RECORDED/FILED 06/10/2009/ 15:02:34 DONNA L. BENSON County Clerk ORANGE COUNTY, NY FILE#20090055545 DEED C / BK 12341PG 0857 RECORDING FEES 79.00 TTX# 005266 T TAX 10,640.00 Receipt#1035548 pete



CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

(Above space reserved for recorder and recording information)

This instrument prepared by and

Kirkland & Ellis LLP  
300 North LaSalle Street  
Chicago, Illinois 60654  
Attention: John G. Caruso, Esq.

After recording return to:

A. Duie Pyle, Inc.  
Attn: Mr. Peter A. Latta  
650 Weston Road  
PO Box 564  
West Chester, PA 19381

370900157  
Tlo Newburgh Section 99 Block 1 Lot 69.1  
**BARGAIN AND SALE DEED, WITH COVENANT AGAINST GRANTOR'S ACTS**

**THIS INDENTURE**, made the 20 day of May, in the year 2009.

**BETWEEN**

**NEW PENN MOTOR EXPRESS, INC.**, a Pennsylvania corporation, whose address is c/o YRC Inc., Attn: Real Estate & Properties Department, ~~PO Box 471~~, 1077 Gorge Boulevard, Akron, OH 44309-0471,

party of the first part, and

**A. DUIE PYLE, INC.**, a Pennsylvania corporation, whose address is 650 Weston Road, ~~PO Box 564~~, West Chester, PA 19381,

party of the second part,

**WITNESSETH**, that the party of the first part, in consideration of Ten dollars (\$10.00) and other good and valuable consideration, the sufficiency of which is hereby acknowledged, paid

Deed (Newburgh, NY)

by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

**ALL** that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Newburgh and County of Orange, State of New York, being more particularly described in Exhibit "A" attached hereto and made a part hereof.

[See Attached Exhibit "A"]

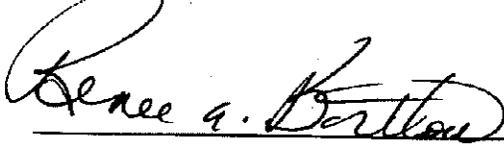
**TOGETHER** with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

**AND** the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

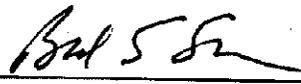
**AND** the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

**IN WITNESS WHEREOF**, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

  
\_\_\_\_\_

**New Penn Motor Express, Inc., a  
Pennsylvania corporation**

By:   
\_\_\_\_\_

Name: Brad S. Schroeder

Its: Authorized Officer

Deed (Newburgh, NY)

STATE OF Ohio

On the 20 day of May in the year 2009, before me, the undersigned, personally appeared Brad S. Schroeder, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person on behalf of which the individual(s) acted, executed the instrument and that said individual made such appearance before the undersigned in the City of Akron, State of Ohio.

Renee A. Bartlow

(signature and office of individual taking acknowledgment)



RENEE A. BARTLOW, Notary Public  
Residence - Summit County  
State Wide Jurisdiction, Ohio  
My Commission Expires Aug. 1, 2011

## Bargain and Sale Deed

WITH COVENANT AGAINST GRANTOR'S ACTS

TITLE NO. \_\_\_\_\_

NEW PENN MOTOR EXPRESS, INC.

TO

A. DUIE PYLE, INC.

SECTION: 95

BLOCK: 1

LOT: 69.1

COUNTY OR TOWN: TOWN OF NEWBURGH

RETURN BY MAIL TO:

Distributed By  
**Chicago Title Insurance Company**

A. Duie Pyle, Inc.  
Attn: Mr. Peter A. Latta  
650 Weston Road  
PO Box 564  
West Chester, PA 19381

Deed (Newburgh, NY)

Exhibit "A"

LEGAL DESCRIPTION OF THE PROPERTY

ALL THAT CERTAIN lot, piece or parcel of land situate, lying and being in the Town of Newburgh, County of Orange, State of New York, being more particularly bounded and described as follows:

BEGINNING at a point on the Northerly line of Tax Map Parcel #95-1-53 of the Town of Newburgh, said point of BEGINNING also being located the following courses and distances from a monument found at the intersection of the Northerly right-of-way line of New York State Route 17K with the most Westerly corner of Tax Map Parcel #95-1-64 of the Town of Newburgh:

- (A) North 16 degrees 09 minutes 16 seconds East, 183.00 feet to a point; thence
- (B) South 73 degrees 50 minutes 44 seconds East, 200.00 feet to a point; thence
- (C) North 16 degrees 09 minutes 16 seconds East, 785.64 feet to a point; thence
- (D) North 87 degrees 50 minutes 25 seconds East, 304.55 feet to a point; thence
- (E) South 87 degrees 42 minutes 15 seconds East, 28.00 feet to the point of BEGINNING and running from said BEGINNING point
- (1) North 15 degrees 17 minutes 29 seconds West, 552.21 feet to a point in the Southerly right-of-way line of Corporate Boulevard; thence
- (2) along said southerly right-of-way line, along a curve to the right having a radius of 1,159.28 feet, an arc distance of 31.44 feet to a point of compound curvature as described by the chord North 75 degrees 29 minutes 11 seconds East 31.44 feet; thence
- (3) along a curve to the right having a radius of 25.00 feet, an arc distance of 29.76 feet to the BEGINNING of a turnaround having a radius of 150.00 feet at the Easterly end of Corporate Boulevard, as described by the chord South 69 degrees 38 minutes 17 seconds East, 28.03 feet; thence
- (4) along said turnaround, along a curve to the left having a radius of 150.00 feet, an arc distance of 226.62 feet, as described by the chord South 78 degrees 49 minutes 02 seconds East, 205.67 feet; thence
- (5) South 34 degrees 27 minutes 03 seconds East, 53.18 feet to a point; thence
- (6) South 74 degrees 05 minutes 44 seconds East, 349.54 feet to a point; thence
- (7) South 06 degrees 47 minutes 01 seconds East, 377.71 feet to a point; thence
- (8) North 86 degrees 09 minutes 33 seconds West, 123.72 feet to a point; thence
- (9) North 55 degrees 22 minutes 26 seconds West, 56.53 feet to a point; thence
- (10) South 86 degrees 21 minutes 45 seconds West, 297.50 feet to a point; thence
- (11) North 87 degrees 42 minutes 15 seconds West, 57.00 feet to the point or place of BEGINNING.

Containing 5.62 Acres, more or less.

TOGETHER with the right to use Corporate Boulevard (as defined herein) as provided in, and subject to, that certain Declaration dated June 30, 1989 and recorded in the Orange County Clerk's Office in Liber 3159, Page 129, as the same may be modified from time to time.

Deed (Newburgh, NY)

INTERSTATE ROUTE 87 (NEW YORK STATE THRUWAY)

| TOWN OF NEWBURGH ZONING TABLE                              |                    |                         |                         |
|--|--------------------|-------------------------|-------------------------|
| SECTION 95, BLOCK 1, LOT 79                                |                    |                         |                         |
| ITEM   | REQUIRED/PERMITTED | EXISTING                | PROPOSED                |
|  | Land Use           | Warehouse               | Warehouse               |
| LOT  |                    |                         |                         |
| Minimum Lot Area   | 40,000 SF          | 3,124,333 SF (71.73 AC) | 2,996,081 SF (68.78 AC) |
| Minimum Lot Width  | 150 FT             | 262 FT                  | No Change               |
| Minimum Lot Depth  | 150 FT             | > 200 FT                | No Change               |
| YARD   |                    |                         |                         |
| Minimum Front Yard   | 50 FT/60 FT        | 930 FT                  | No Change               |
| Minimum Side Yard (1 Side Yard)                            | 30 FT              | 159 FT                  | No Change               |
| Minimum Side Yard (Both Side Yards)                        | 80 FT              | 382 FT                  | No Change               |
| Minimum Rear Yard  | 60 FT              | 69 FT                   | No Change               |
| Minimum Landscape Buffer at 17K                            | 35 FT              | 35 FT                   | No Change               |
| LOT COVERAGE   |                    |                         |                         |
| Maximum Lot Building Coverage                              | 40%                | 18.1%                   | 18.9%                   |
| Maximum Lot Surface Coverage                               | 80%                | 35%                     | 36%                     |
| BUILDING   |                    |                         |                         |
| Maximum Building Height**                                  | 40 FT              | 45 FT*                  | No Change               |
| Maximum Accessory Building Height                          | 15 FT              | < 15 FT                 | No Change               |
| Minimum Accessory Building Setback from Principal Building | 10 FT              | 44 FT                   | No Change               |
| PARKING AND LOADING  |                    |                         |                         |
| Minimum Number of Off-Street Truck Loading Spaces          | 16 Spaces          | 46 Spaces               | No Change               |
| Minimum Number of Car Parking Spaces                       | 158 Spaces         | 441 Spaces              | No Change               |
| Minimum Number of Accessible Parking Spaces                | 9 Spaces           | 18 Spaces               | No Change               |

| TOWN OF NEWBURGH ZONING TABLE  |                    |                      |                      |
|--|--------------------|----------------------|----------------------|
| 1000 CORPORATE BOULEVARD, TOWN OF NEWBURGH, NEW YORK - SECTION 95, BLOCK 1, LOT 69.1 |                    |                      |                      |
| ITEM   | REQUIRED/PERMITTED | EXISTING             | PROPOSED             |
|  | Land Use           | Warehouse            | Warehouse            |
| LOT  |                    |                      |                      |
| Minimum Lot Area   | 40,000 SF          | 244,991 SF (5.62 AC) | 373,243 SF (8.57 AC) |
| Minimum Lot Width  | 150 FT             | 288 FT               | 395 FT               |
| Minimum Lot Depth  | 150 FT             | 503 FT               | 500 FT               |
| YARD   |                    |                      |                      |
| Minimum Front Yard   | 50 FT/60 FT        | 183 FT               | 153 FT               |
| Minimum Side Yard (1 Side Yard)  | 30 FT              | 70.1 FT              | 55.8 FT              |
| Minimum Side Yard (Both Side Yards)  | 80 FT              | 209.4 FT             | 129.9 FT             |
| Minimum Rear Yard  | 60 FT              | 175.4 FT             | 175.4 FT             |
| Minimum Landscape Buffer at 17K  | 35 FT              | N/A                  | N/A                  |
| LOT COVERAGE   |                    |                      |                      |
| Maximum Lot Building Coverage  | 40%                | 11%                  | 10%                  |
| Maximum Lot Surface Coverage   | 80%                | 79%                  | 73%                  |
| BUILDING   |                    |                      |                      |
| Maximum Building Height  | 40 FT              | 21 FT                | 25 FT                |
| Maximum Accessory Building Height  | 15 FT              | N/A                  | N/A                  |
| Minimum Accessory Building Setback from Principal Building                           | 10 FT              | N/A                  | N/A                  |
| PARKING  |                    |                      |                      |
| Minimum Number of Car Parking Spaces   | 40                 | 39                   | 63                   |

SECTION 95  
BLOCK 1  
LOT 79  
n/f REPUTED OWNER  
MATRIX NEWBURGH I, LLC  
AREA=2,996,081 SQ. FT.±  
68.78 ACRES±

SECTION 95  
BLOCK 1  
LOT 69.1  
N/F REPUTED OWNER  
A. DUJE PYLE INC.  
AREA=373,243 SQ. FT.± (8.57 ACRES±)  
(INCLUDES 128,251 SQ. FT.  
FROM BLOCK 1, LOT 79)

**OWNER/APPLICANT**  
I, ( ) WE ( ), THE UNDERSIGNED, HAVING AN INTEREST IN THE TITLE OF THE PROPERTY COVERED BY THIS MAP, DO HEREBY CONSENT TO THE APPLICATION OF THIS LOT LINE CHANGE.

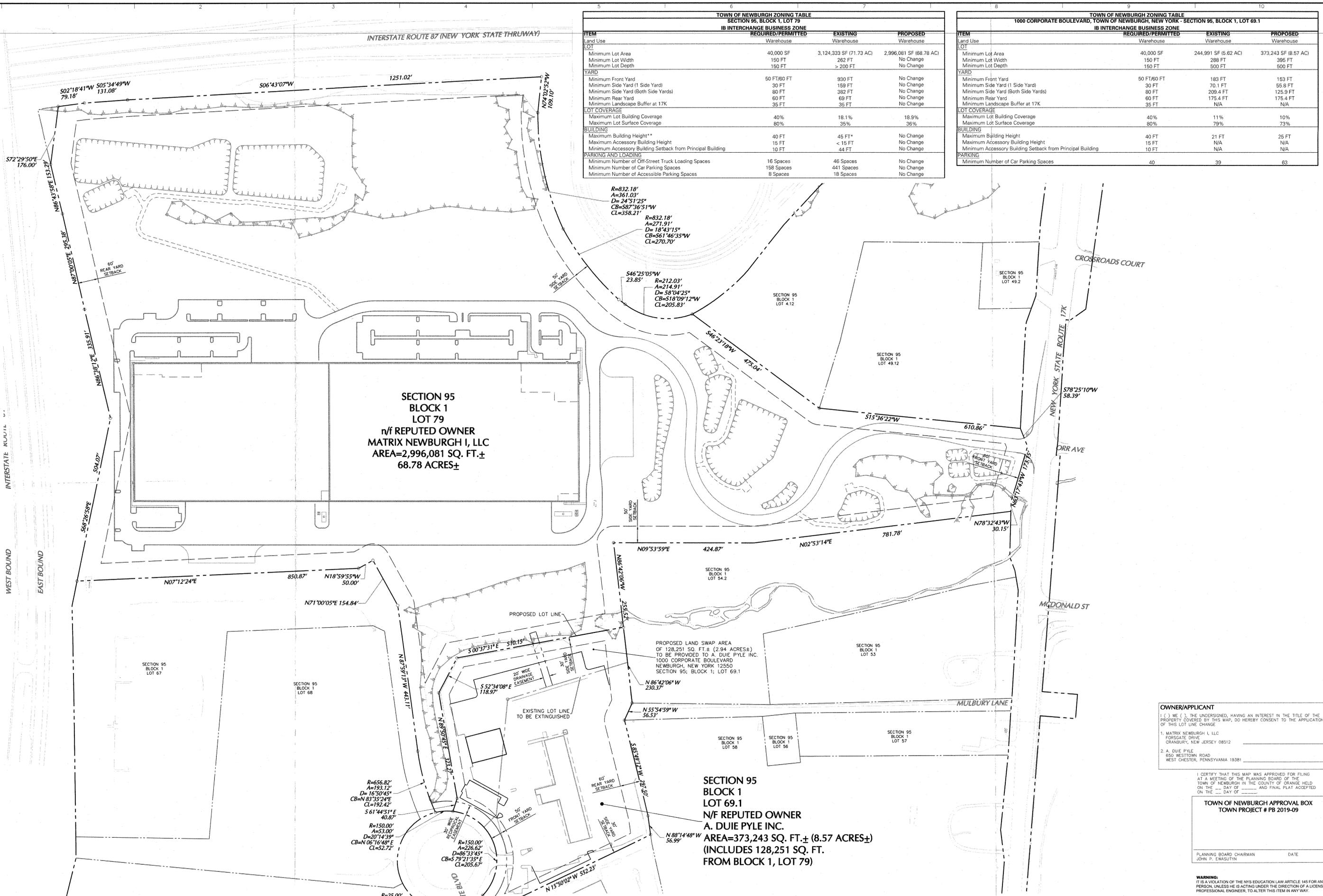
- MATRIX NEWBURGH I, LLC  
FORGATE DRIVE  
CRANBURY, NEW JERSEY 08512
- A. DUJE PYLE  
650 WESTTOWN ROAD  
WEST CHESTER, PENNSYLVANIA 19381

I CERTIFY THAT THIS MAP WAS APPROVED FOR FILING AT A MEETING OF THE PLANNING BOARD OF THE TOWN OF NEWBURGH IN THE COUNTY OF ORANGE HELD ON THE \_\_\_ DAY OF \_\_\_ AND FINAL PLAT ACCEPTED ON THE \_\_\_ DAY OF \_\_\_

**TOWN OF NEWBURGH APPROVAL BOX**  
TOWN PROJECT # PB 2019-09

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
JOHN P. EWASUTYN

**WARNING:**  
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.



| Date | Description | No. |
|------|-------------|-----|
|      | REVISIONS   |     |

SIGNATURE \_\_\_\_\_  
MARCH 11, 2019  
DATE SIGNED  
W. CHARLES UTSCHIG JR., P.E.  
PROFESSIONAL ENGINEER NY Lic. No. 062303

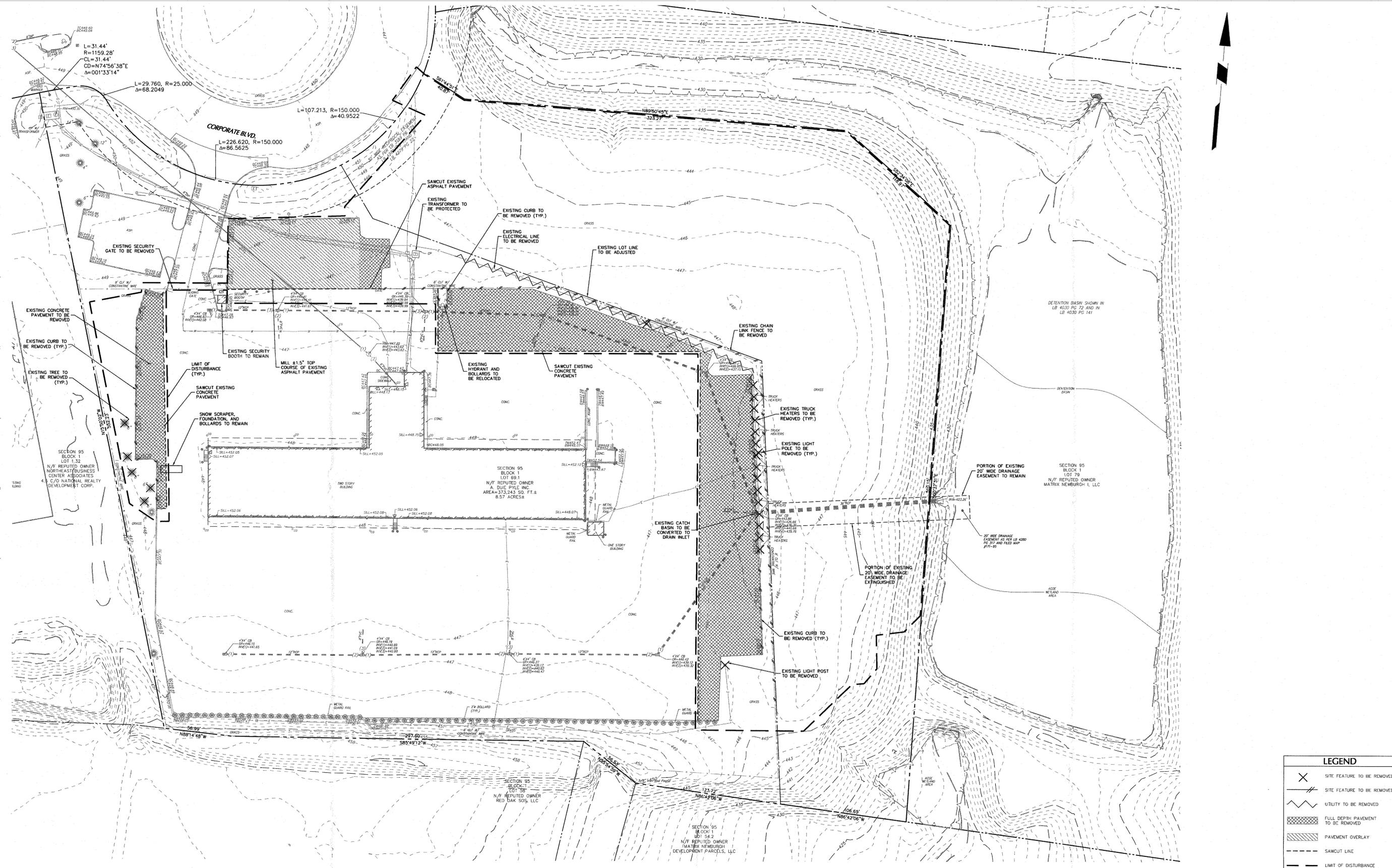
**LANGAN**  
Langan Engineering, Environmental, Surveying,  
Landscape Architecture and Geology, D.P.C.  
707 Westchester Avenue, Suite 304  
White Plains, NY 10604  
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**A. DUJE PYLE  
MAINTENANCE  
BUILDING**  
BLOCK No. 1, LOT No. 69.1  
TOWN OF NEWBURGH  
NEW YORK

Drawing Title  
**LOT LINE CHANGE  
PLAN**

Project No.  
190048601  
Date  
MARCH 11, 2019  
Drawn By  
JM  
Checked By  
MF  
Drawing No.  
**CB101**  
Sheet 1 of 1





| LEGEND |                                   |
|--------|-----------------------------------|
|        | SITE FEATURE TO BE REMOVED        |
|        | UTILITY TO BE REMOVED             |
|        | FULL DEPTH PAVEMENT TO BE REMOVED |
|        | PAVEMENT OVERLAY                  |
|        | SAWCUT LINE                       |
|        | LIMIT OF DISTURBANCE              |



**WARNING:**  
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

| Date      | Description | No. |
|-----------|-------------|-----|
| REVISIONS |             |     |

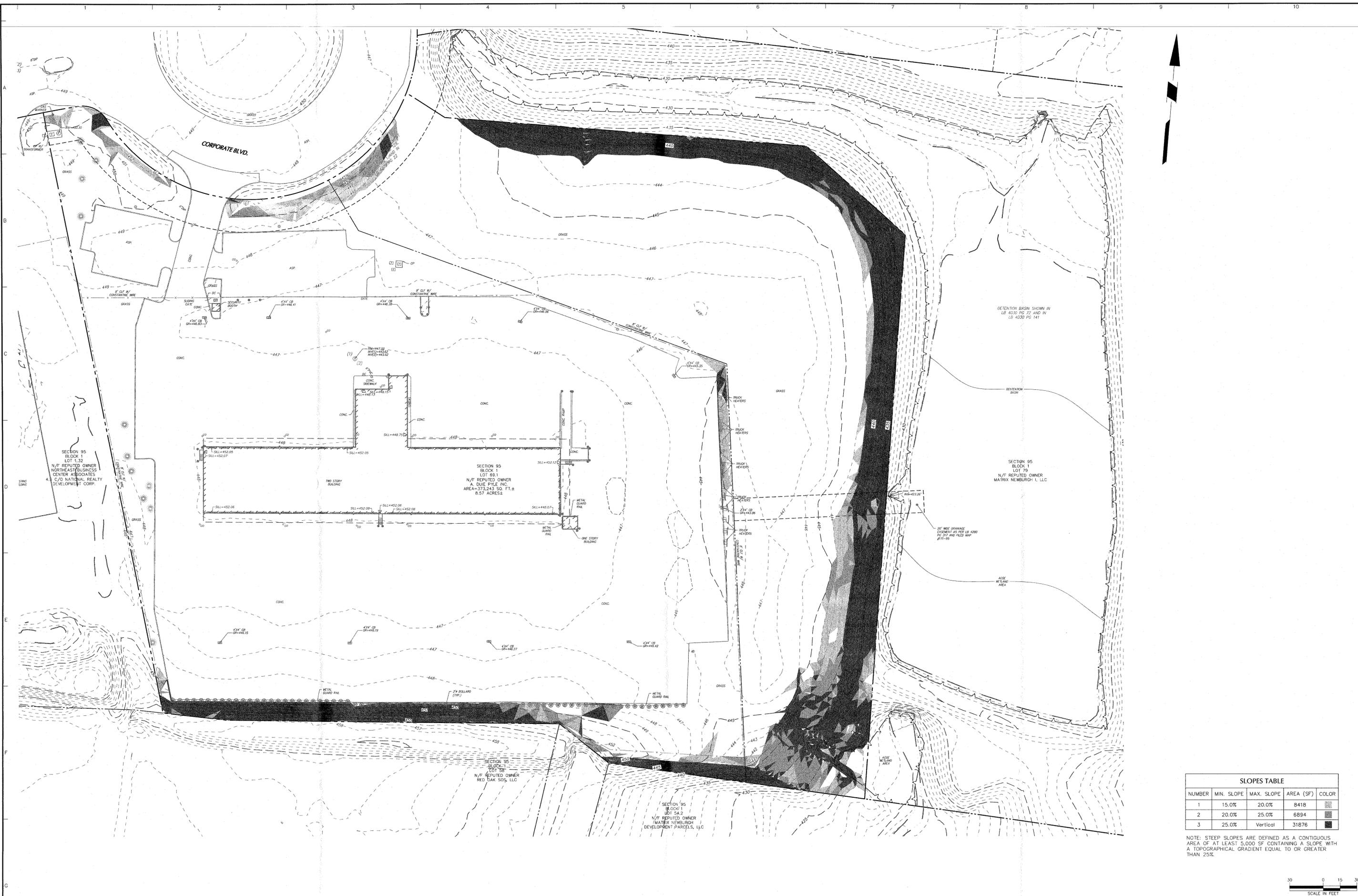
DATE SIGNED 3/11/2019  
 SIGNATURE W. CHARLES UTSCHIG JR., P.E.  
 PROFESSIONAL ENGINEER NY Lic. No. 062303

**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture and Geology, D.P.C.  
 707 Westchester Avenue, Suite 304  
 White Plains, NY 10604  
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project **A. DUIE PYLE MAINTENANCE BUILDING**  
 BLOCK No. 1, LOT No. 69.1  
 TOWN OF NEWBURGH  
 ORANGE COUNTY NEW YORK

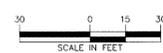
Drawing Title **EXISTING CONDITIONS & SITE REMOVALS PLAN**

Project No. 190048601  
 Date MARCH 11, 2019  
 Drawn By JM  
 Checked By MF  
 Drawing No. CD101  
 Sheet 2 of 11



| SLOPES TABLE |            |            |           |           |
|--------------|------------|------------|-----------|-----------|
| NUMBER       | MIN. SLOPE | MAX. SLOPE | AREA (SF) | COLOR     |
| 1            | 15.0%      | 20.0%      | 8418      | [Pattern] |
| 2            | 20.0%      | 25.0%      | 6894      | [Pattern] |
| 3            | 25.0%      | Vertical   | 31876     | [Pattern] |

NOTE: STEEP SLOPES ARE DEFINED AS A CONTIGUOUS AREA OF AT LEAST 5,000 SF CONTAINING A SLOPE WITH A TOPOGRAPHICAL GRADIENT EQUAL TO OR GREATER THAN 25%.



**WARNING:**  
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

| Date      | Description | No. |
|-----------|-------------|-----|
| REVISIONS |             |     |

3/11/2019  
DATE SIGNED  
SIGNATURE: W. CHARLES UTSCHIG JR., P.E.  
PROFESSIONAL ENGINEER NY Lic. No. 062303

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Langan Engineering, Environmental, Surveying,  
Landscape Architecture and Geology, D.P.C.  
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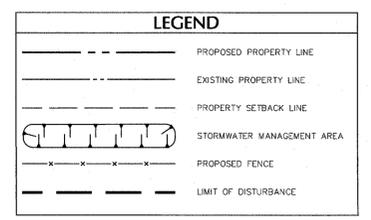
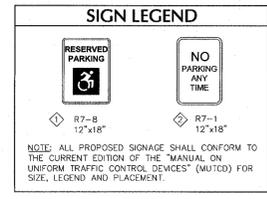
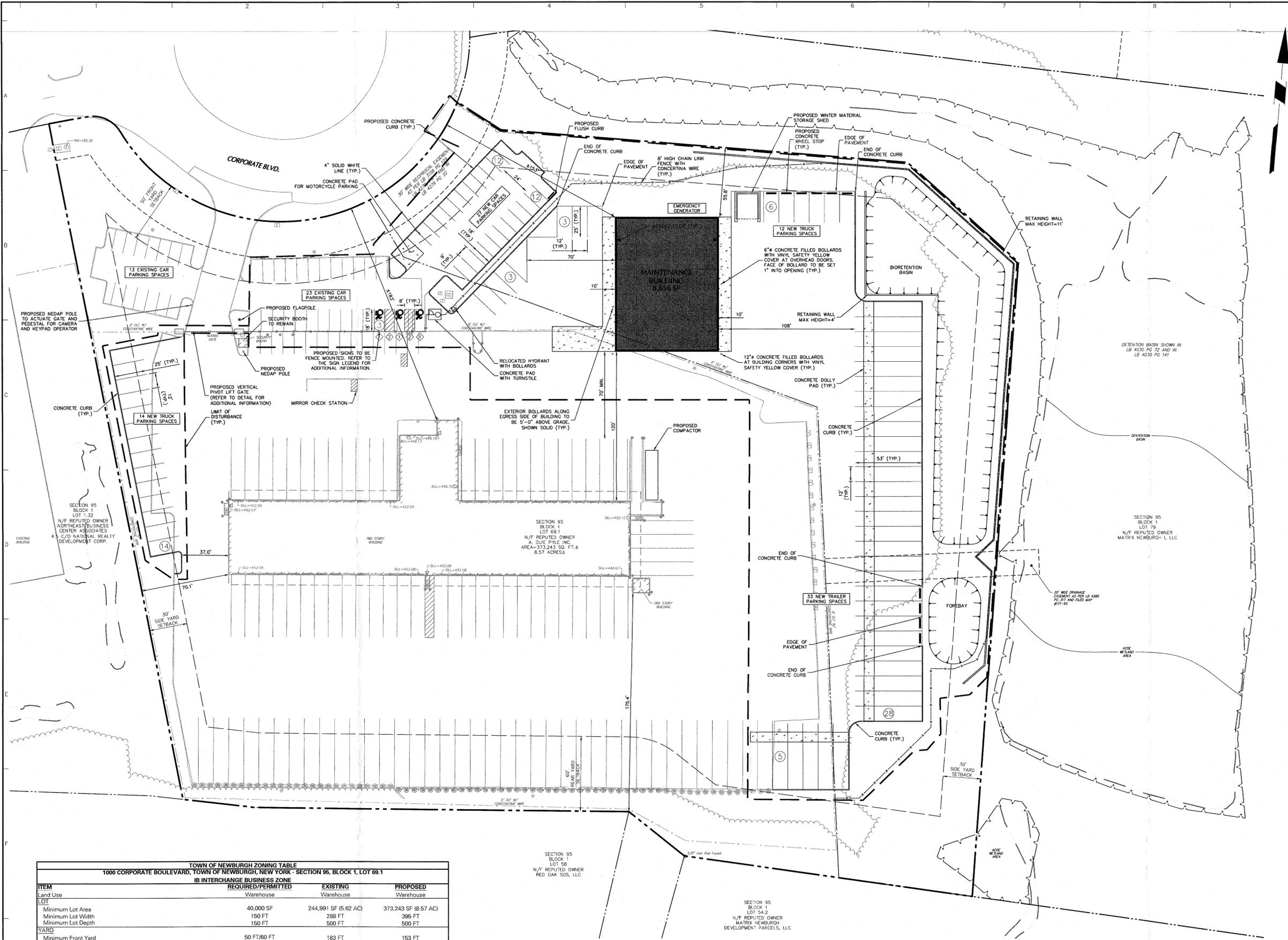
Project  
**A. DUIE PYLE  
MAINTENANCE  
BUILDING**  
BLOCK No. 1, LOT No. 69.1  
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK

Drawing Title  
**SLOPES ANALYSIS  
PLAN**

Project No.  
190048601  
Date  
MARCH 11, 2019  
Drawn By  
JM  
Checked By  
ME  
Drawing No.  
**SA101**  
Sheet 3 of 11

**GENERAL CONTRACTOR SITE NOTES**

1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS, IF HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK. ITEM THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRADE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL, BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.



**TOWN OF NEWBURGH ZONING TABLE**  
**1000 CORPORATE BOULEVARD, TOWN OF NEWBURGH, NEW YORK - SECTION 95, BLOCK 1, LOT 69.1**

| ITEM   | IB INTERCHANGE BUSINESS ZONE |                      |                      |
|--|------------------------------|----------------------|----------------------|
|  | REQUIRED/PERMITTED           | EXISTING             | PROPOSED             |
| Land Use   | Warehouse                    | Warehouse            | Warehouse            |
| LOT  |                              |                      |                      |
| Minimum Lot Area   | 40,000 SF                    | 244,991 SF (5.62 AC) | 373,243 SF (8.57 AC) |
| Minimum Lot Width  | 150 FT                       | 288 FT               | 395 FT               |
| Minimum Lot Depth  | 150 FT                       | 500 FT               | 500 FT               |
| YARD   |                              |                      |                      |
| Minimum Front Yard   | 50 FT/80 FT                  | 183 FT               | 183 FT               |
| Minimum Side Yard (1 Side Yard)                            | 30 FT                        | 70.1 FT              | 85.8 FT              |
| Minimum Side Yard (Both Side Yards)                        | 80 FT                        | 209.4 FT             | 125.9 FT             |
| Minimum Rear Yard  | 60 FT                        | 175.4 FT             | 175.4 FT             |
| Minimum Landscape Buffer at 17K                            | 35 FT                        | N/A                  | N/A                  |
| LOT COVERAGE   |                              |                      |                      |
| Maximum Lot Building Coverage                              | 40%                          | 11%                  | 10%                  |
| Maximum Lot Surface Coverage                               | 80%                          | 79%                  | 73%                  |
| BUILDING   |                              |                      |                      |
| Maximum Building Height                                    | 40 FT                        | 21 FT                | 25 FT                |
| Maximum Accessory Building Height                          | 15 FT                        | N/A                  | N/A                  |
| Minimum Accessory Building Setback from Principal Building | 10 FT                        | N/A                  | N/A                  |
| PARKING  |                              |                      |                      |
| Minimum Number of Car Parking Spaces                       | 40                           | 39                   | 63                   |

**WARNING:**  
 IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

3/11/2019  
 DATE SIGNED  
 W. CHARLES UTSCHIG JR., P.E.  
 PROFESSIONAL ENGINEER NY Lic. No. 062303

REVISIONS

| Date | Description | No. |
|------|-------------|-----|
|      |             |     |

**LANGAN**  
 Langan Engineering, Environmental, Surveying,  
 Landscape Architecture and Geology, D.P.C.  
 707 Westchester Avenue, Suite 304  
 White Plains, NY 10604  
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**A. DUJE PYLE MAINTENANCE BUILDING**  
 BLOCK No. 1, LOT No. 69.1  
 TOWN OF NEWBURGH  
 ORANGE COUNTY NEW YORK

Drawing Title  
**SITE PLAN**

Project No.  
**190048601**

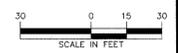
Date  
**MARCH 11, 2019**

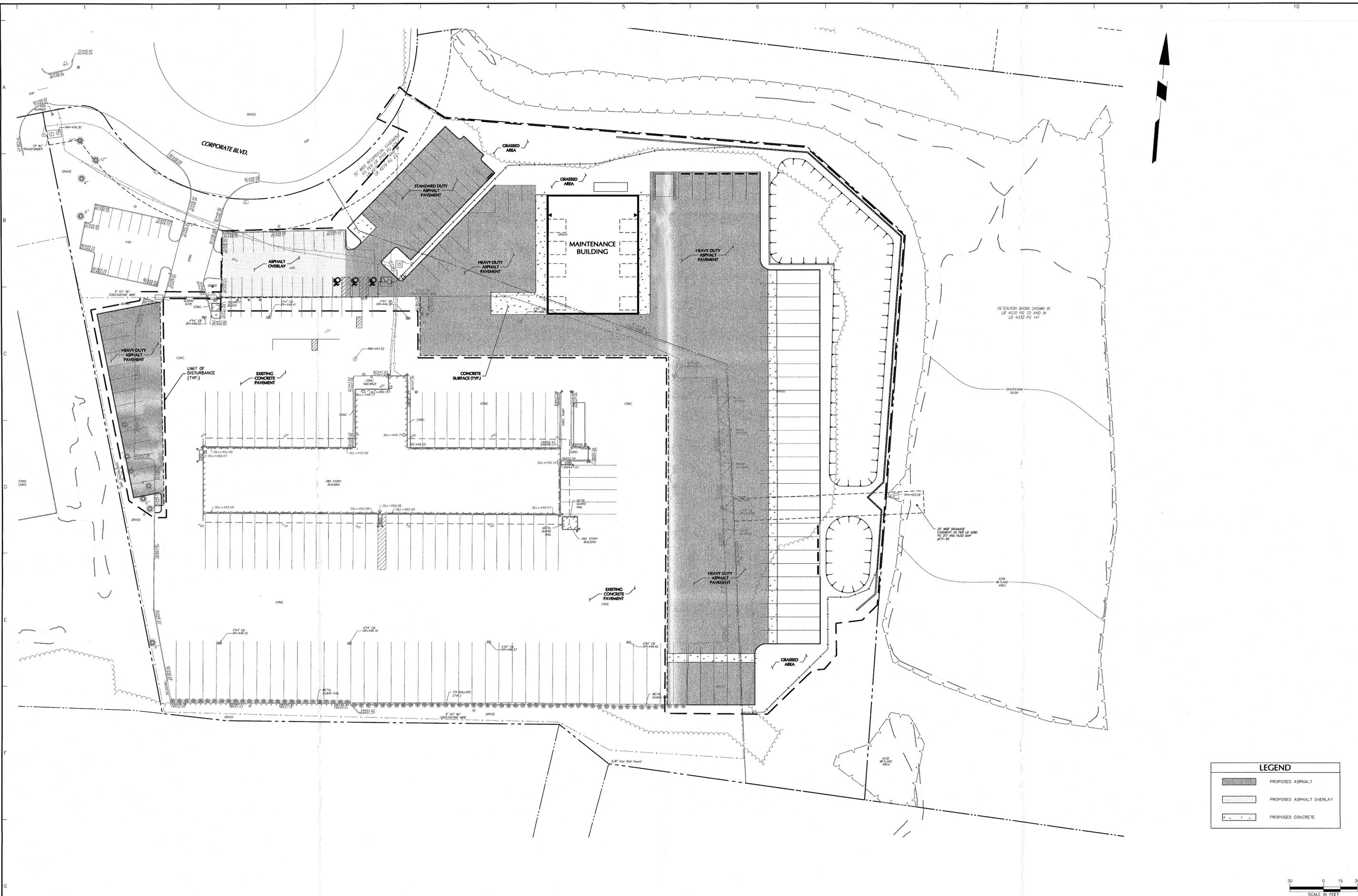
Drawn By  
**JM**

Checked By  
**ME**

Drawing No.  
**CS101**

Sheet 4 of 11





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ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

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|-----------|-------------|-----|
| REVISIONS |             |     |

SIGNATURE  
W. CHARLES UTSCHIG JR., P.E.  
PROFESSIONAL ENGINEER NY Lic. No. 062303

DATE SIGNED  
3/11/2019

**LANGAN**  
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707 Westchester Avenue, Suite 304  
White Plains, NY 10604  
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**A. DUIE PYLE  
MAINTENANCE  
BUILDING**  
BLOCK No. 1, LOT No. 69.1  
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK

Drawing Title  
**SURFACE  
MATERIALS PLAN**

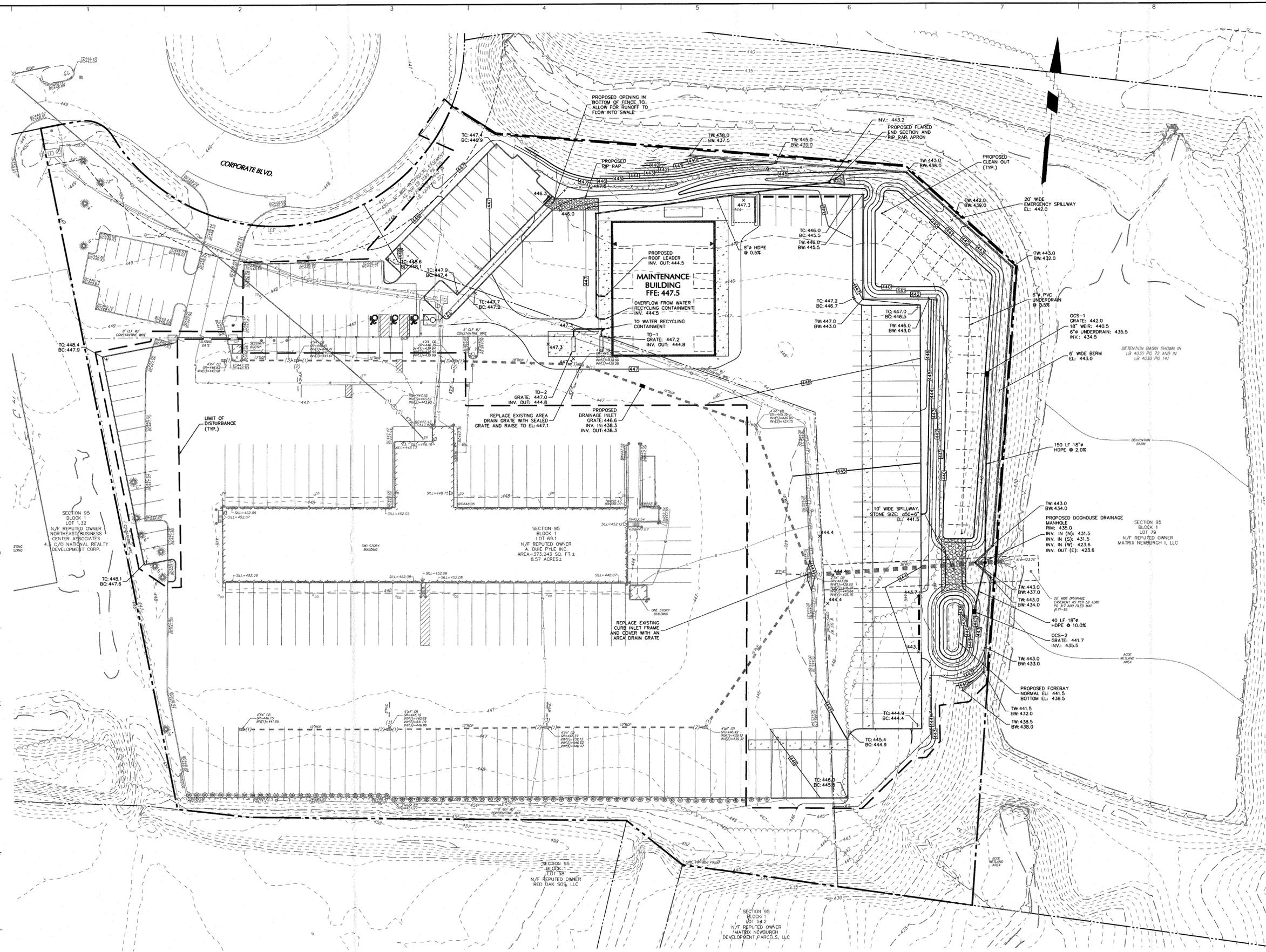
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|--------------------------|----------------------|
| Project No.<br>190048601 | Drawing No.<br>CS201 |
| Date<br>MARCH 11, 2019   | Sheet 5 of 11        |
| Drawn By<br>JM           |                      |
| Checked By<br>ME         |                      |

PROJECT NO. 190048601

Langan

| APPROXIMATE EARTHWORK QUANTITIES |               |
|----------------------------------|---------------|
| • CUT:                           | 6,660 CU. YD. |
| • FILL:                          | 3,570 CU. YD. |
| • NET:                           | 3,030 CU. YD. |

NOTE:  
 1. EARTHWORK CALCULATIONS ARE BASED ON COMPARING THE FINISHED GRADE OF THE PAVEMENT, FINISHED FLOOR ELEVATION OF THE MAINTENANCE BUILDING, AND BOTTOM ELEVATION OF THE BIOTENTION BASIN SYSTEM.  
 2. ANALYSIS DOES NOT ACCOUNT FOR ANY COMPACTION OR EXPANSION OF MATERIAL.



| LEGEND      |                        |
|-------------|------------------------|
| --- 448 --- | EXISTING MINOR CONTOUR |
| --- 445 --- | EXISTING MAJOR CONTOUR |
| --- 448 --- | PROPOSED MINOR CONTOUR |
| --- 445 --- | PROPOSED MAJOR CONTOUR |
| ---         | LIMIT OF DISTURBANCE   |



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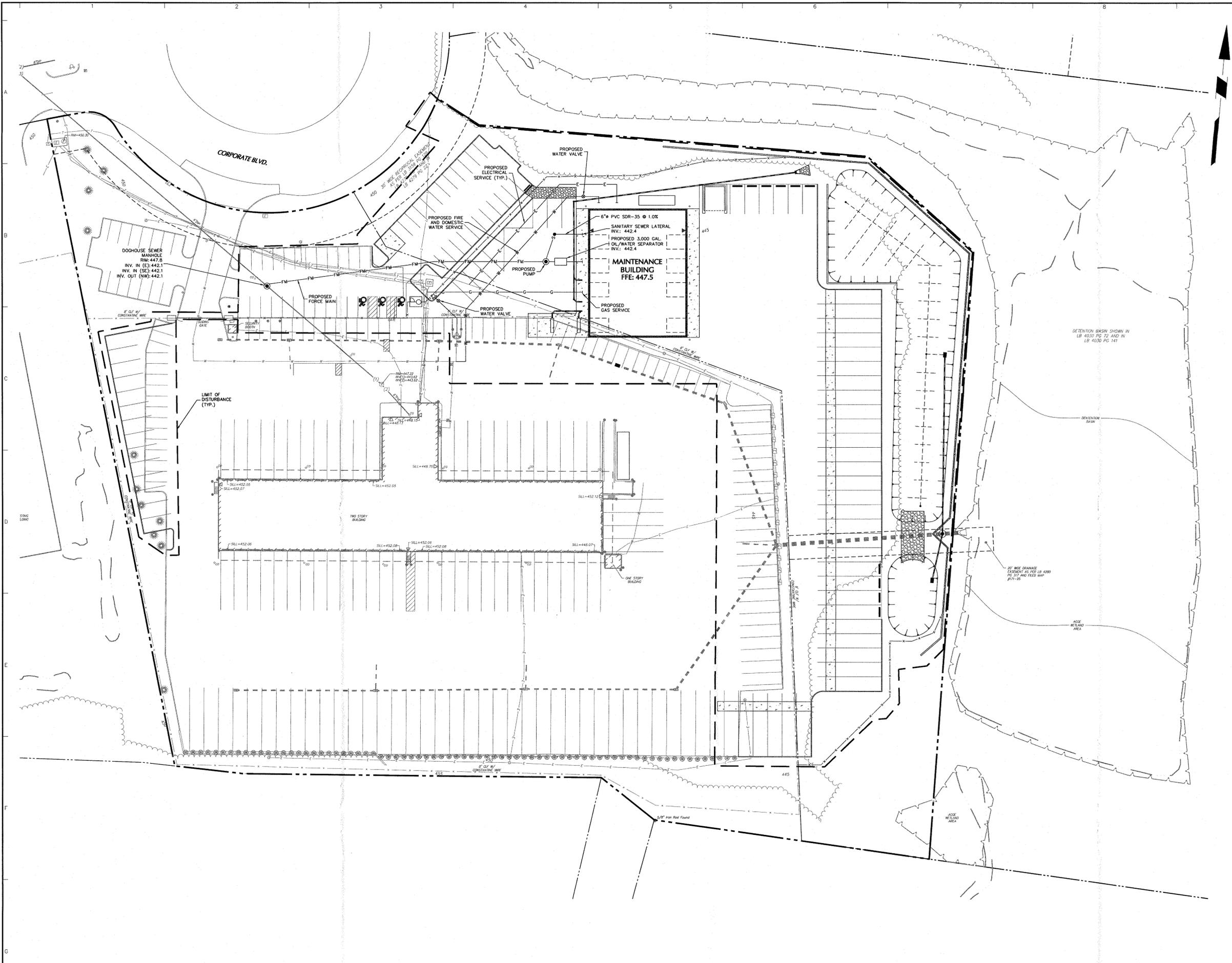
Project  
**A. DUIE PYLE  
 MAINTENANCE  
 BUILDING**  
 BLOCK No. 1, LOT No. 69.1  
 TOWN OF NEWBURGH  
 ORANGE COUNTY NEW YORK

Drawing Title  
**GRADING &  
 DRAINAGE PLAN**

| Project No.            | Drawing No.      |
|------------------------|------------------|
| 190048601              | CG101            |
| Date<br>MARCH 11, 2019 | Checked By<br>JM |
| Drawn By<br>JM         | Sheet 6 of 11    |
| Checked By<br>MF       |                  |

**UTILITY NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY (WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE) LOCATIONS, INVERTS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND REQUIRING MODIFICATIONS TO THE SITE DESIGN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE CONSTRUCTION. DIFFERING UTILITY CONDITIONS THAT REQUIRE MODIFICATIONS TO THE SITE DESIGN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION. THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT HIS SOLE COST.
3. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, CABLE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS AND LOCATIONS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY AGENCIES FOR APPROVAL OF UTILITY LOCATIONS AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
4. THE LOCATION OF EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
5. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
6. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SERVICES SHALL BE TWO (2) FT.
7. THE CONTRACTOR SHALL COORDINATE THE WATER WORK WITH THE TOWN OF NEWBURGH AND ORANGE COUNTY DEPARTMENT OF HEALTH. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION. ALL PROPOSED WATER MAINS SHALL BE DUCTILE IRON PIPE CLASS 50 BITUMINOUS COATED DOUBLE CEMENT MORTAR LINED. THE CONTRACTOR MUST CONTACT THE TOWN OF NEWBURGH ONE WEEK PRIOR TO WATER MAIN CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATION NEAR AND CONNECTION TO EXISTING WATER AND SEWER MAIN. ALL WATER MAIN FITTINGS AND VALVES SHALL BE MECHANICAL JOINT (RESTRAINED) AND THE FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DETAILS FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES. ALL FIRE HYDRANTS AND VALVES SHALL OPEN RIGHT (CLOCKWISE).
8. THE CONTRACTOR SHALL COORDINATE THE SANITARY SEWER WORK WITH THE TOWN OF NEWBURGH. SANITARY SEWER SHALL BE PVC SDR 35 UNLESS SPECIFIED DIFFERENTLY ON THESE PLANS.
9. A MINIMUM FOUR (4) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND STORM SEWER. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND ALL OTHER UTILITIES. WHERE CLEARANCE CANNOT BE MAINTAINED, THEN WATER MAIN SHALL BE ENCASED IN CONCRETE TO FEET ON EACH SIDE OF THE CROSSING. IN CASES WHERE THE UTILITY IS A SANITARY OR STORM SEWER MAIN OR LATERAL AND THE CLEARANCE CANNOT BE MAINTAINED, THEN THE SEWER SHALL ALSO BE ENCASED.
10. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FT BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND CONCRETE CURBS. A MINIMUM DISTANCE OF 10 FT SHALL BE PROVIDED BETWEEN NEW WATER AND SEWER SERVICE LINES AND LIGHT POLES, TREES ETC.



**LEGEND**

|      |      |                          |
|------|------|--------------------------|
| —FM— | —FM— | PROPOSED FORCEMAIN       |
| —S—  | —S—  | PROPOSED SEWER           |
| —E—  | —E—  | PROPOSED ELECTRICAL LINE |
| —W—  | —W—  | PROPOSED WATER LINE      |
| —G—  | —G—  | PROPOSED GAS LINE        |
| ---  | ---  | LIMIT OF DISTURBANCE     |



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Project: **A. DUJE PYLE MAINTENANCE BUILDING**  
 BLOCK No. 1, LOT No. 69.1  
 TOWN OF NEWBURGH  
 ORANGE COUNTY NEW YORK

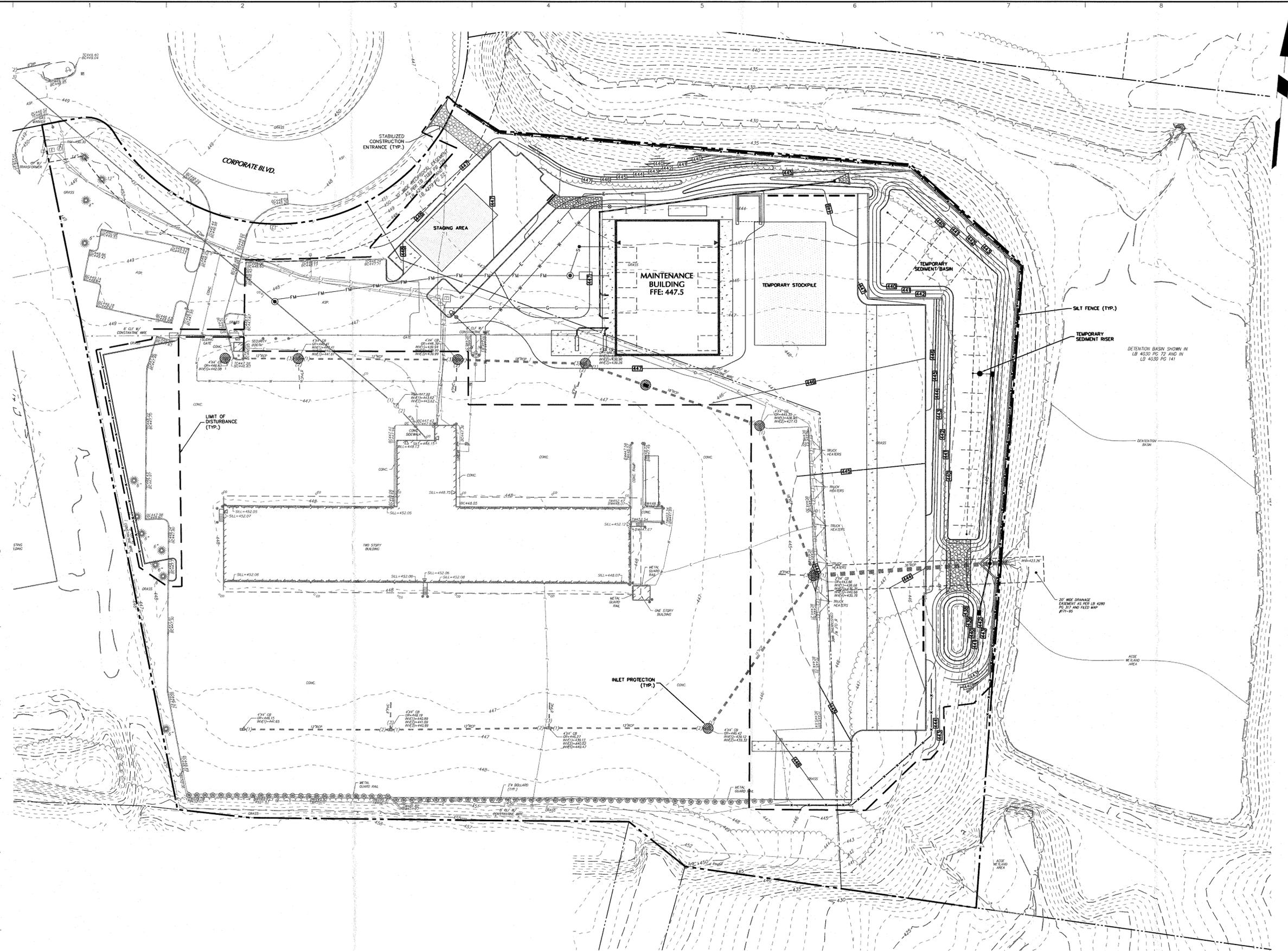
Drawing Title: **UTILITY PLAN**

Project No.: 190048601  
 Date: MARCH 11, 2019  
 Drawn By: JM  
 Checked By: MF  
 Drawing No.: CU101  
 Sheet 7 of 11

PROJECT NO. 190048601

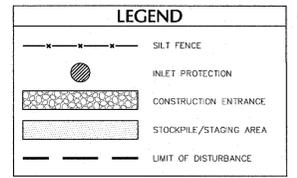
**EROSION AND SEDIMENT CONTROL NOTES**

1. REFER TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) SPDES GENERAL PERMIT IN APPENDIX A OF THE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," LATEST EDITION.
3. BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A PRE-CONSTRUCTION MEETING WITH THE QUALIFIED PROFESSIONAL, QUALIFIED INSPECTOR, CONTRACTORS, AND SUBCONTRACTORS TO DISCUSS THE RESPONSIBILITIES RELATED TO THE STORMWATER POLLUTION PREVENTION PLAN IMPLEMENTATION.
4. THE CONTRACTOR AND SUBCONTRACTOR MUST IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
5. BEFORE BEGINNING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES MUST BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISTURBANCE. EXISTING VEGETATION TO REMAIN MUST BE PROTECTED TO ENSURE OVER CLEARING DOES NOT OCCUR.
6. PERMANENT TRAFFIC CORRIDORS MUST BE ESTABLISHED AND "ROUTES OF CONVENIENCE" MUST BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE LOCATIONS SHOWN ON THE PROJECT PLANS.
7. STOCKPILED TOPSOIL MUST BE ENCLOSED WITH SILT FENCE OR HAY BALES AND COVERED OR TEMPORARILY SEEDED. ALL GRASS SEED MUST CONTAIN AT LEAST 25% RAPID GERMINATING PERENNIAL RYE GRASS.
8. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION MUST BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
9. DUST MUST BE CONTROLLED BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED.
10. EROSION MATERIAL TEMPORARILY STOCKPILED ON SITE DURING CONSTRUCTION MUST BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND MUST BE PROPERLY PROTECTED BY A SILT FENCE BARRIER.
11. EARTHWORK ACTIVITIES MUST BE CONSISTENT WITH THE PHASING PLANS. THE EARTHWORK OPERATION AREAS MUST BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS THAT ARE NOT CURRENTLY UNDER CONSTRUCTION LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 14 DAYS.
12. EROSION AND SEDIMENT CONTROL INSPECTIONS:
  - A. THE TRAINED INDIVIDUAL MUST INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP MUST BE CLEANED AND REMOVED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROLS MUST BE REPAIRED AT THE END OF THE WORK DAY.
  - B. THE QUALIFIED INSPECTOR MUST CONDUCT SITE INSPECTIONS EVERY 7 DAYS. ANY DEFICIENCIES NOTED IN THE REPORTS MUST BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
  - C. IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WINTER SHUTDOWN, IF APPROVED BY THE NYSDEC OR MSA MUNICIPALITY, THE FREQUENCY OF INSPECTIONS BY THE QUALIFIED INSPECTOR MAY BE REDUCED TO ONE INSPECTION EVERY 30 DAYS.
  - D. IF AUTHORIZED BY THE NYSDEC OR MSA MUNICIPALITY TO DISTURB MORE THAN 5 ACRES AT ONE TIME, THE QUALIFIED INSPECTOR MUST CONDUCT AT LEAST 2 SITE INSPECTIONS, SEPARATED BY 2 DAYS, EVERY 7 DAYS UNTIL SUCH TIME THAT LESS THAN 5 ACRES OF SOIL REMAIN EXPOSED.
13. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION. WHEN UPGRADE SURFACES ARE PROPERLY STABILIZED AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERATIONAL, ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE FILLED IN, TOPSOILED, SEEDED, AND MULCHED. FINAL STABILIZATION IS ACHIEVED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% IS ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PAVED OR COVERED BY PERMANENT STRUCTURES.



DETENTION BASIN SHOWN IN LB 4020 PG 72 AND IN LB 4030 PG 141

20" DIA. DRAINAGE CATCHMENT 45' PER 10' 4" RFD PG. 317 AND PAVED MAP #011-02



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3/11/2019  
DATE SIGNED  
SIGNATURE: W. CHARLES UTSCHIG JR., P.E.  
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Project  
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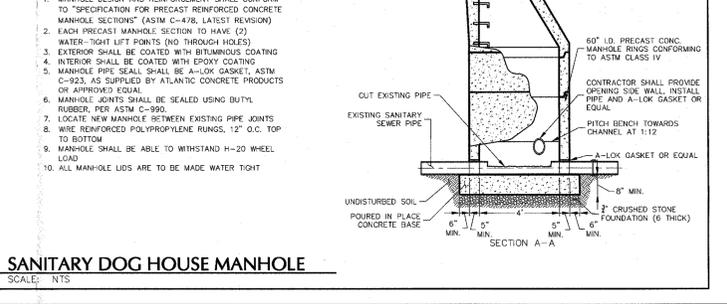
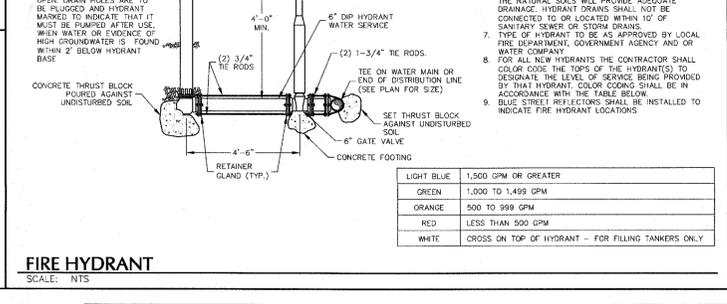
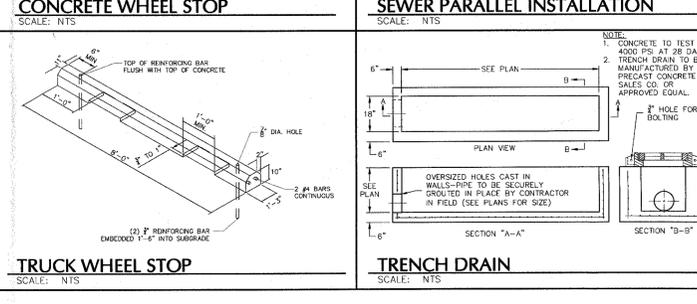
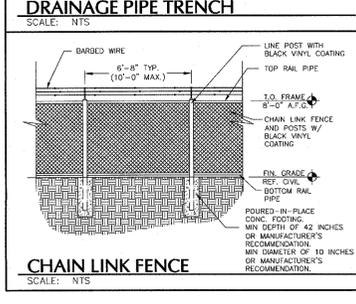
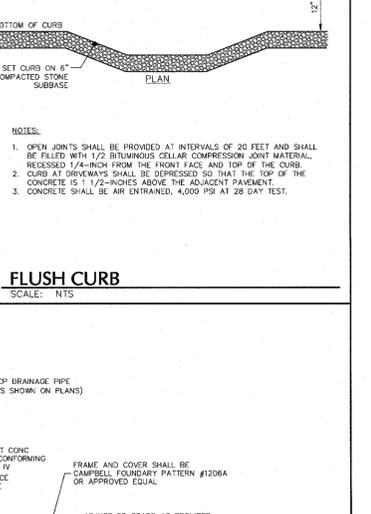
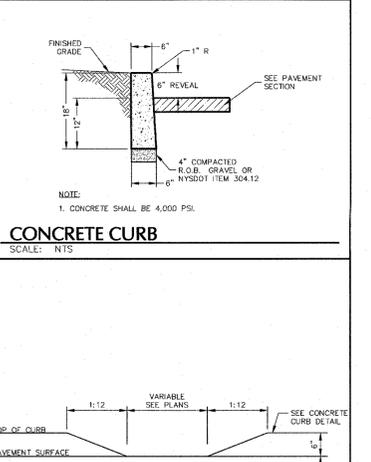
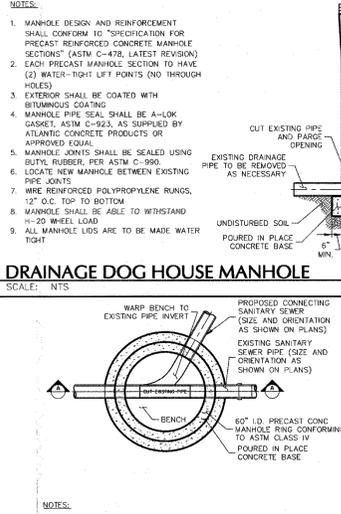
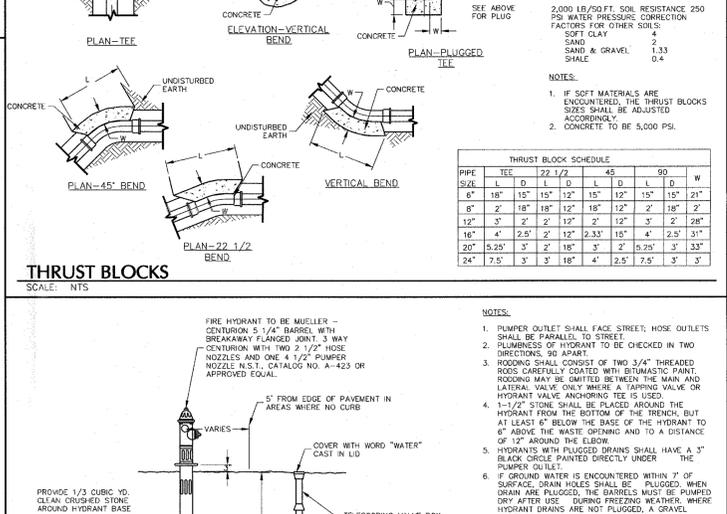
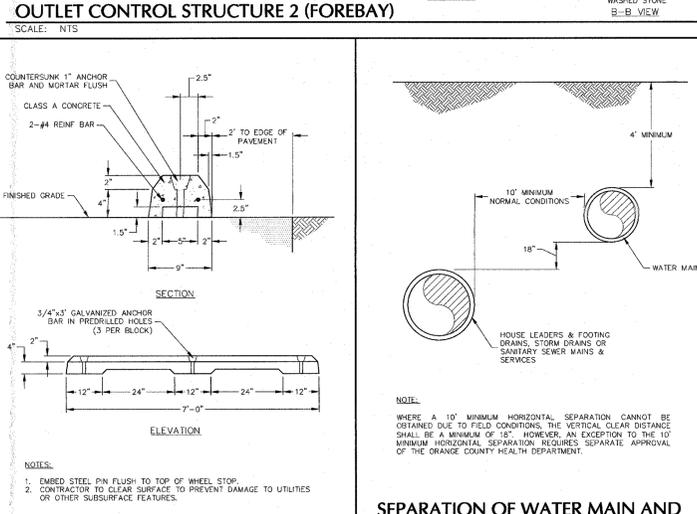
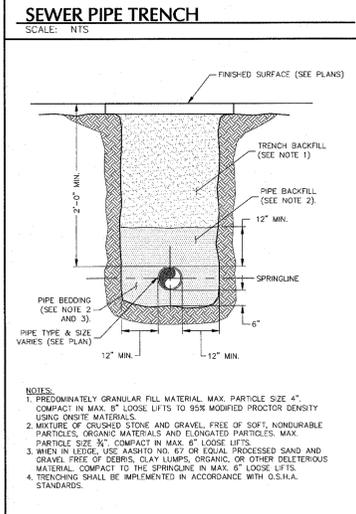
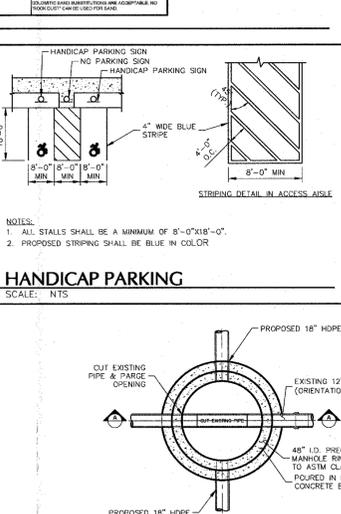
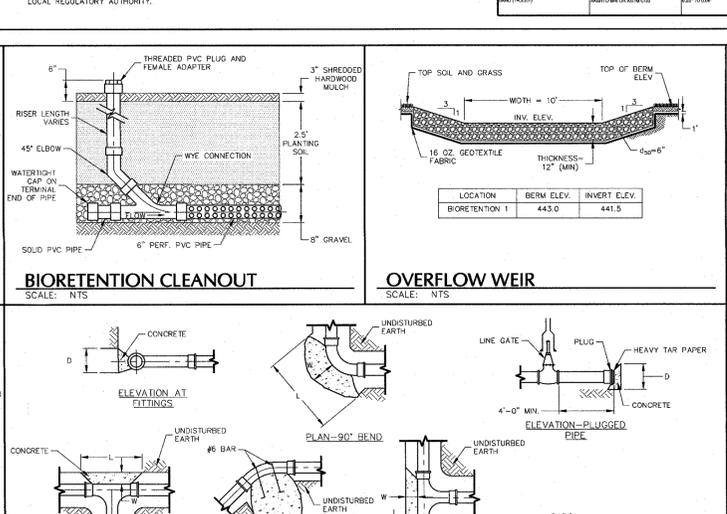
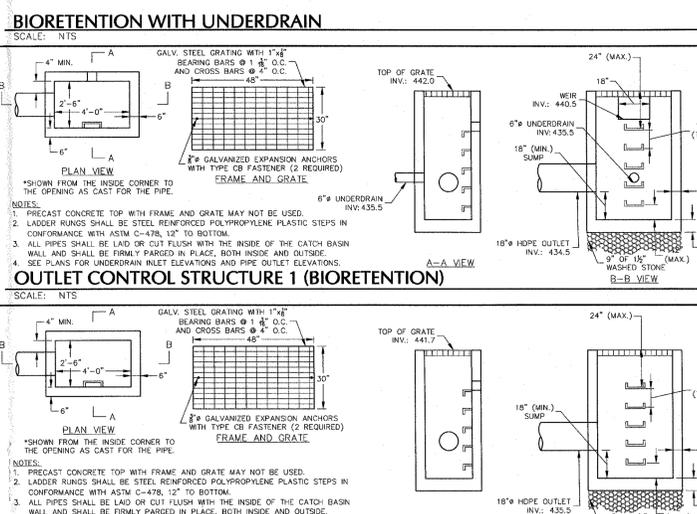
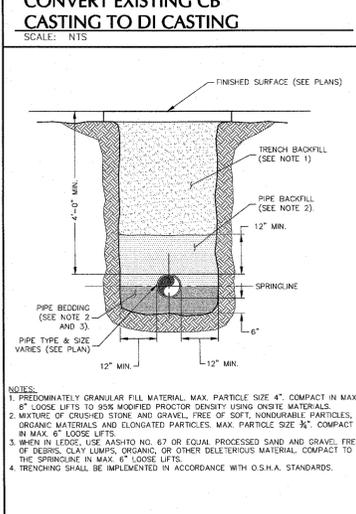
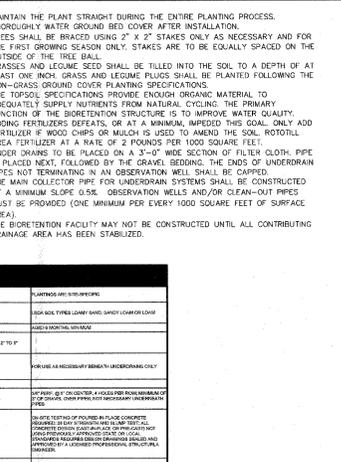
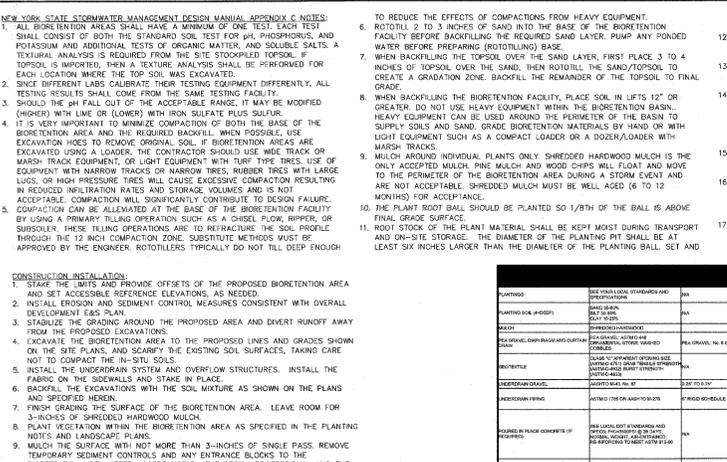
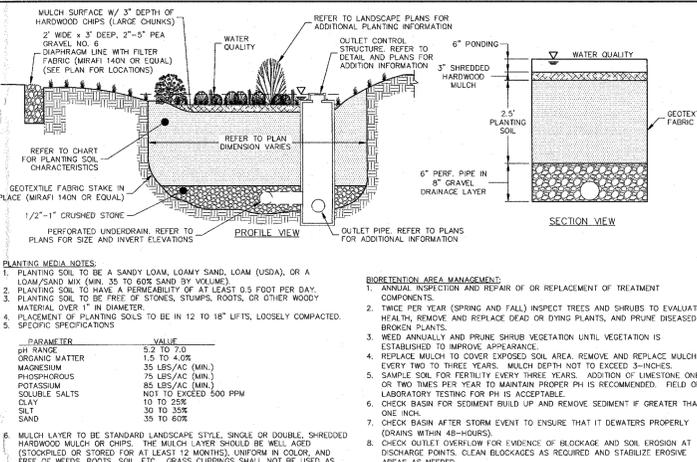
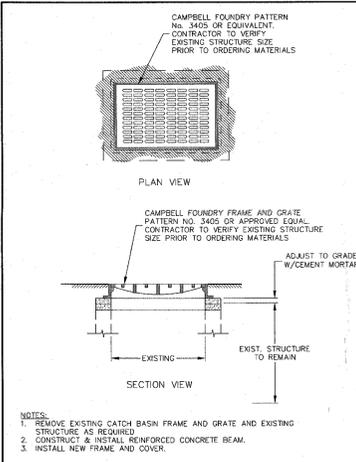
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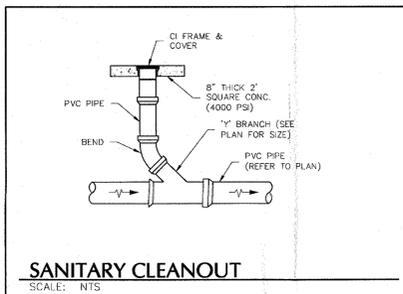
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Date MARCH 11, 2019  
Drawn By JM  
Checked By ME  
Sheet 8 of 11

PROJECT NO. 190048601

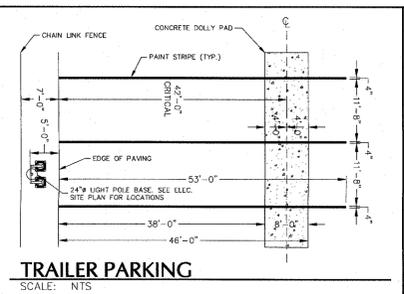
LAWRENCE



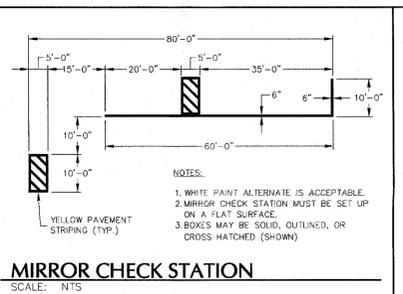




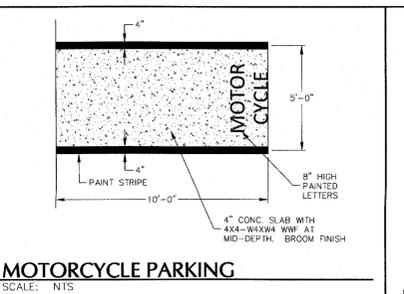
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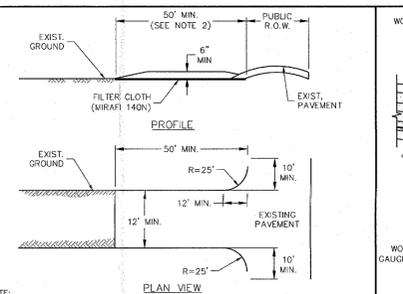
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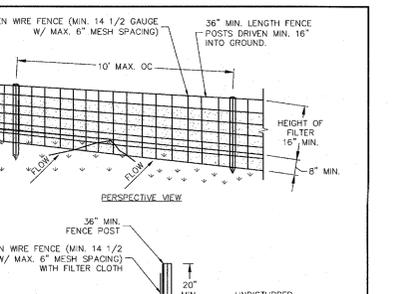
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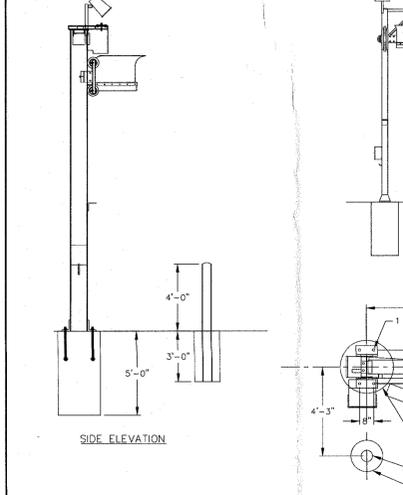
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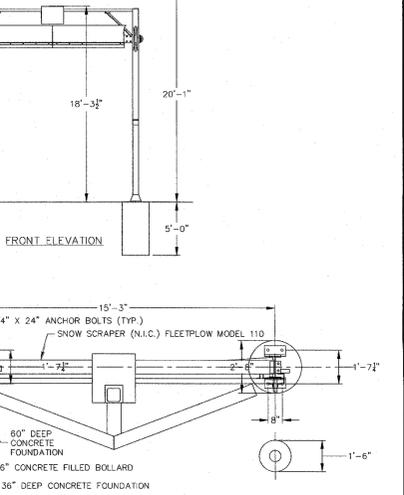
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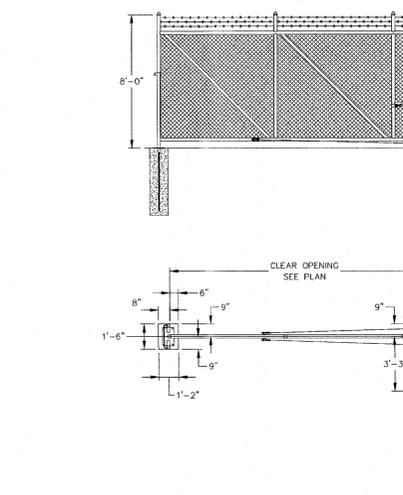
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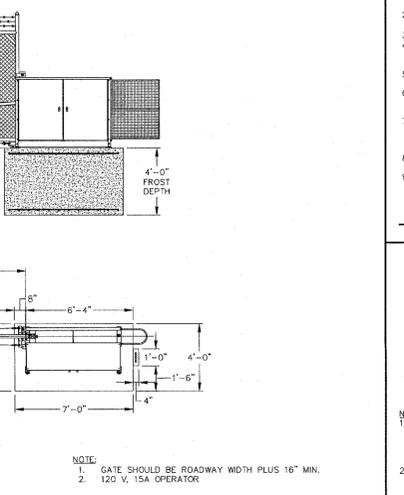
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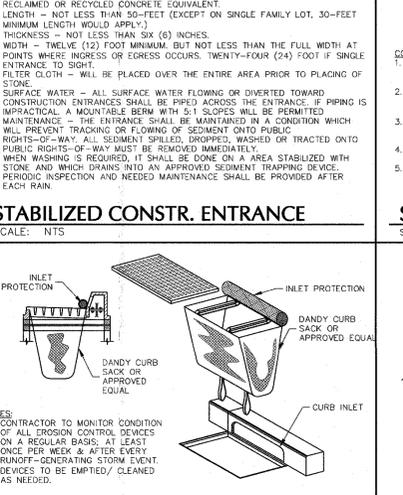
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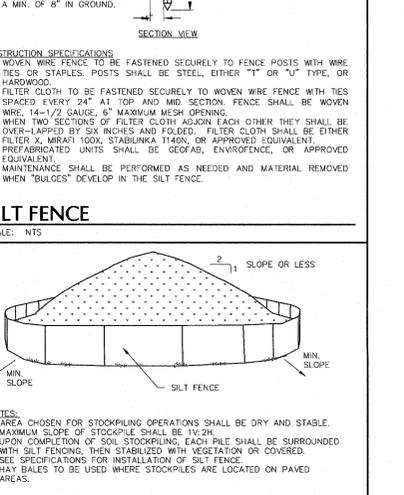
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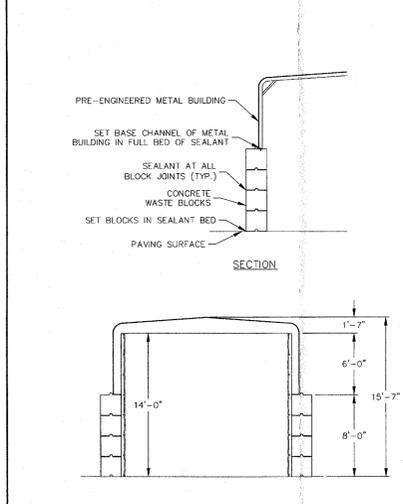
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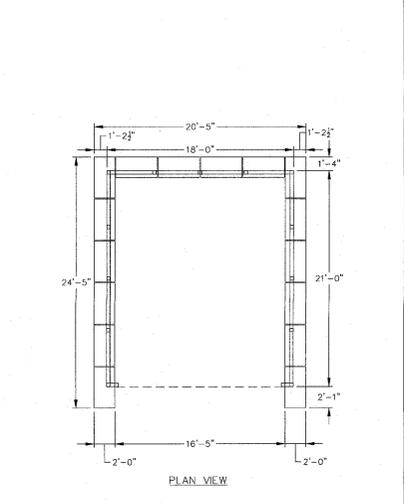
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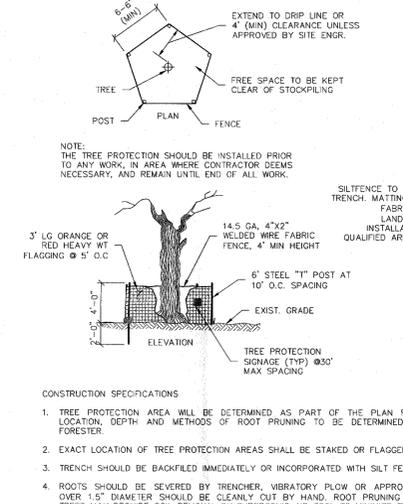
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SCALE: NTS



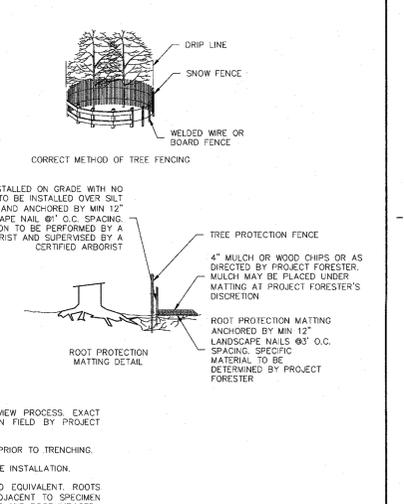
**WINTER MATERIAL SHED**  
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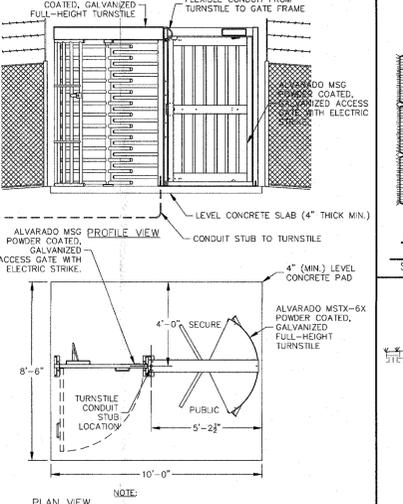
**TREE VEGETATION PROTECTION BARRIER**  
SCALE: NTS



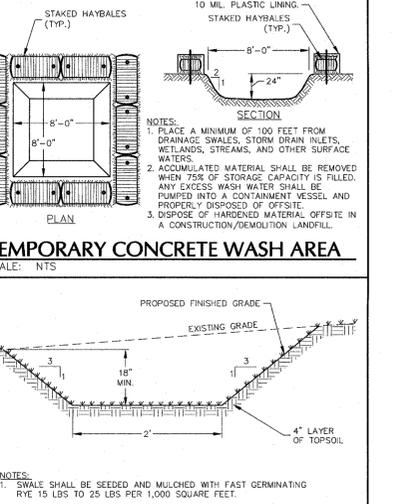
**ASPHALT PAVEMENT SECTION**  
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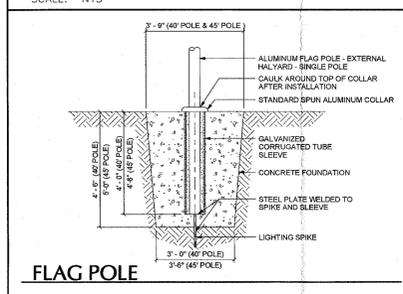
**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
SCALE: NTS



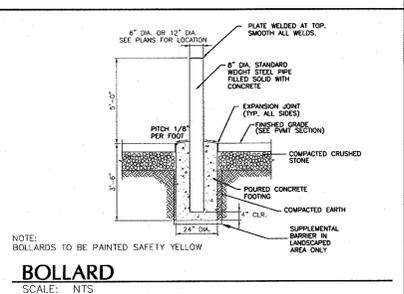
**CONCRETE PAVEMENT SECTION FOR LOADING APRONS AND DOLLY STRIPS**  
SCALE: NTS



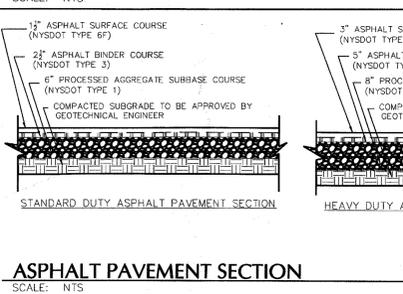
**FLAG POLE**  
SCALE: NTS



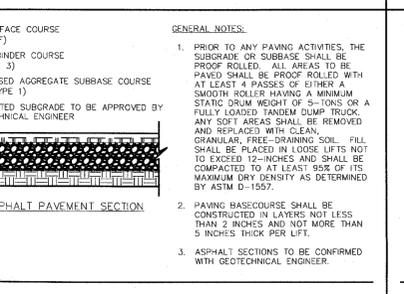
**BOLLARD**  
SCALE: NTS



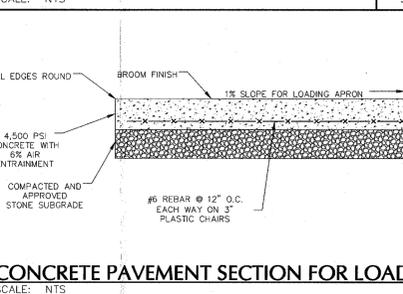
**ASPHALT PAVEMENT SECTION**  
SCALE: NTS



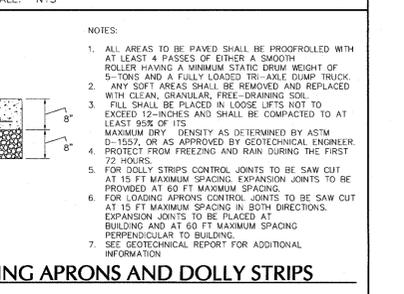
**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
SCALE: NTS



**CONCRETE PAVEMENT SECTION FOR LOADING APRONS AND DOLLY STRIPS**  
SCALE: NTS



**FLAG POLE**  
SCALE: NTS



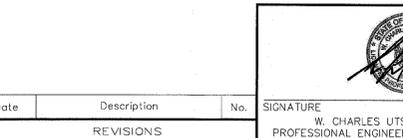
**BOLLARD**  
SCALE: NTS



**FLAG POLE**  
SCALE: NTS



**BOLLARD**  
SCALE: NTS



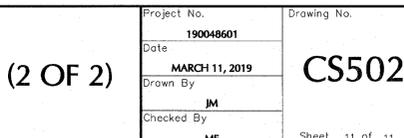
**ASPHALT PAVEMENT SECTION**  
SCALE: NTS



**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
SCALE: NTS



**CONCRETE PAVEMENT SECTION FOR LOADING APRONS AND DOLLY STRIPS**  
SCALE: NTS



**FLAG POLE**  
SCALE: NTS

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| Date | Description | No. |
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|      | REVISIONS   |     |

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3/11/2019  
DATE SIGNED  
SIGNATURE: W. CHARLES UTSCHIG, JR., P.E.  
PROFESSIONAL ENGINEER NY Lic. No. 062303

Project: **A. DUJE PYLE MAINTENANCE BUILDING**  
BLOCK No. 1, LOT No. 69.1  
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK

Drawing Title: **DETAILS (2 OF 2)**

Project No.: 190048601  
Date: MARCH 11, 2019  
Drawn By: JM  
Checked By: ME  
Sheet 11 of 11

PROJECT NO. 190048601