

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
PATRICK J. HINES
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: A. DUIE PYLE MAINTENANCE BUILDING
PROJECT NO.: 19-09
PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 69.1 & 79
REVIEW DATE: 10 MAY 2019
MEETING DATE: 16 MAY 2019
PROJECT REPRESENTATIVE: LANGDON ENGINEERS/Justin Macalintal, Snr. Staff Engineer

1. Outstanding comments from the 18 April 2109 Technical Review should be addressed.
2. Bonding/security for the stormwater improvements will be required. A cost estimate for the proposed stormwater management system should be prepared by the Applicants representative and submitted for review.
3. Orange County Planning Departments comments have been received with one mandatory comment regarding stormwater. It is noted the Planning Board is reviewing the project with regard to its location in the Washington Lake watershed. The Applicant has designed the system to treat 110% of the water quality volume in compliance with Town of Newburgh Planning Board policy. The stormwater plan has been designed to consider the site as a stormwater hot spot in compliance with NYSDEC design regulations. A bio-retention filtering practice has been incorporated into the design plans with an impervious liner and under drain system.
4. In addition to the required stormwater management based on NYSDEC and Town of Newburgh regulations the Applicants were requested to evaluate the existing drainage system with regard to retrofitting the system with water quality improvements. The Applicants have added two proprietary hydrodynamic separator devices within the existing stormwater conveyance system to provide additional water quality benefits for the project.
5. The Stormwater Facilities Maintenance Agreement will be required to be executed for the entire site to provide for long term operation maintenance and monitoring of the stormwater management facilities on the site.
6. A separate cost estimate for water and sewer utilities should be prepared to be provided to the Town Engineer's office for review.

• Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •

7. A condition of approval regarding filing of the lot line change must be incorporated into any approval resolutions.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal
PJH/kbw

April 9, 2019

Mr. John Ewasutyn
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

**Re: A.Duie Pyle Maintenance Building
Responses to Technical Review Comments
Project No.:PB 2019-09
Langan Project No.: 190048601**

Dear Mr Ewasutyn:

On behalf of the Applicant, A. Duie Pyle, please accept this resubmission package in response to the technical review comment letters dated March 15, 2019 and March 21, 2019 for the above referenced project. Enclosed for your review are fourteen (14) copies of the following documents:

- A. "Site Plan and Lot Line Change Documents for A. Duie Pyle Maintenance Building," prepared by Langan, revised April 9, 2019 (12 sheets);
- B. "Boundary and Topographic Survey," prepared by Langan, dated January 24, 2019 (1 sheet);
- C. Stormwater Pollution Prevention Plan," prepared by Langan, revised April 9, 2019 (narrative only);
- D. "Sanitary Sewer Report," prepared by Langan, dated April 9, 2019.

The following is an itemized response to the Technical Review comments (comments are italicized and our responses are in bold text):

Review Letter prepared by Creighton Manning Engineers, dated March 15, 2019

Comment 1. The existing employee parking lot surface is rough. The plan shows that the existing 23-space lot will be resurfaced, stopping short of the concrete driveway. We recommend that the resurface extend all the way to the concrete driveway, an additional ±260 SF. In addition, the 13-space employee parking lot could use a resurfacing, or at a minimum, the parking stalls restriped to Town standards.

Response: The Applicant agrees to mill and overlay the employee parking area in the front of the property. See sheet 4 of 12 of the revised site plans.

Comment 2. The site plan should show new striping for the two existing employee parking lots.

Response: The plans were revised to show the two existing employee parking lots to be restriped. See sheet 4 of 12 of the revised site plans.

Comment 3. We concur with the narrative that project will not add any substantial increase in traffic or trucks.

Response: Comment noted.

Comment 4. Independent of this project, we note that the exit curb of Corporate Boulevard at Route 17K is being damaged by trucks turning right from the project. Tractor trailers off-track over the curb, damaging it and the signal pullbox (see photos below). The signal appears to be a permit signal, so the ultimate responsibility for repair or correction may fall to the park owner. Whether part of this project or independently, we suggest discussing this condition with NYSDOT.

Response: The damaged exit curb of Corporate Boulevard and Route 17K will be brought to the attention of the park owner.

Review Letter prepared by McGoey, Hauser and Edsall, dated March 21, 2019

Comment 1. Project involves a lot line change between the proposed project and the adjoining lot owned by Matrix Newburgh I, LLC. Lot line change proposes to transfer 2.94 acres from the Matrix parcel to the A. Duie Pyle parcel. A review of the Bulk Table for both parcels identifies continued compliance with all Bulk Table regulations after the lot line change. No zoning deficiencies are identified.

Response: Comment noted.

Comment 2. Water connection to the building must be designed to separate the fire flow and potable water systems whereby if fire flow systems are terminated potable water to the building is terminated. Typical detail for Town of Newburgh is required.

Response: The utility plan was revised to show separate fire flow and potable water service lines to the proposed maintenance building. Water utility details for the Town of Newburgh were added to the detail sheets.

Comment 3. Sanitary sewer design incorporates a proposed oil/water separator and pump station with force main. Design report and design details for this must be provided. Sizing of the oil/water separator as well as design of all the pump station must be included.

Response: The proposed oil/water separator and pump station were designed based on an anticipated sanitary demand of 800± gallons per day. The project will include an oil/water separator with a 1,250 gallon capacity (50% additional reserve capacity over sanitary demand) and a low pressure pump station (E/One Model WH231 or approved equal) capable of conveying 850 gallons per day.

Comment 4. A review of the drainage plans identify "overflow from water recycling containment." This overflow from the recycled containment should be discharged to the sanitary sewer system and not the stormwater system. Project site discharge is tributary to a NYSDEC Class A Watershed.

Response: The wash bay operates such that, when in use, excess water from the trucks is collected by the trench drains and conveyed to a clarifier tank where it is treated and recycled for future washes. An overflow discharge pipe from the clarifier tank sends excess water to the oil/water separator and is then pumped to the on-site gravity sewer line. When the wash bay is not in operation, an automated 3-way pneumatic valve reroutes the stormwater runoff collected from the trench drains to a roof leader that discharges to the pretreatment swale. Details of the wash bay piping infrastructure will be provided when filing for the building permit.

Comment 5. A City of Newburgh Flow Acceptance letter for the increased flow from the maintenance building and wash bays must be received

Response: A City of Newburgh Flow Acceptance Letter has been sent to James Osborne, Town Engineer requesting for permission to discharge into the Town sanitary sewer collection system. A response letter from the City of Newburgh will be distributed upon receipt.

Comment 6. Check grading at proposed swale from passenger parking lot. A defined swale should be located in this area as all run off from the parking lot will discharge via the drop curb to the rip rap in this vicinity.

Response: The grading around the passenger parking lot has been revised to establish a more defined swale to the bioretention basin. See sheet 6 of 12 of the revised site plans.

Comment 7. Accessible parking spaces are depicted on the opposite side of the fence. Applicants are requested to evaluate the accessible route as a row of parking exists on the interior side of the fence. A gate is identified in this vicinity as well.

Response: The site plans were revised to remove employee parking spaces inside the fenced area in order to keep employee traffic and truck traffic separate for safety purposes. The proposed handicap spaces are located next to the proposed turnstile entrance to the facility. See sheet 4 of 12 of the revised site plans.

Comment 8. This office is reviewing a Stormwater Pollution Prevention Plan submitted for the project. Initial review identifies that the project has not been evaluated as a stormwater hot spot in accordance with the NYSDEC design manual Section 4.11. Project design utilizing bio- retention with infiltration practices should be further evaluated.

Response: The bioretention basin detail was revised to show a 30 mil PVC liner as accepted by the NYSDEC when treating hot spot runoff. Therefore, the bioretention basin serves as a filtration practice and complies with Section 4.11 of the NYSDEC Design Manual.

Comment 9. Project is located within a City of Newburgh tributary to Class A stream. Town of Newburgh policy is to require 110% treatment of the water quality volume.

Response: According to the NYSDEC Design Manual, the calculated WQv is 10,176 cubic-feet. 110% of the WQv is 11,194 cubic-feet. The bioretention basin has been resized to a volume of 11,688 cubic-feet which exceeds 110% treatment of the water quality volume. See sheet 6 of 12 of the revised site plans and the revised SWPPP for more information.

Comment 10. While portions of the site are considered re-development, no stormwater improvements have been identified on the existing site. Existing site was constructed prior to stormwater regulations being in effect. It is requested the Applicant evaluate implementation of Best Management Practices which could be utilized to retro-fit/treat stormwater from the existing site.

Response: The Applicant agrees to install two hydrodynamic separators to replace two existing catch basins in order to treat the existing impervious area of the site that will remain undisturbed during construction. Doing so will exceed the NYSDEC requirements for redevelopment projects and further improve the water quality for the Town and City of Newburgh. See sheet 6 of 12 of the revised site plans and the revised SWPPP for more information.

Comment 11. Extensive retaining walls are proposed along the eastern portion of the site. Design of these retaining walls should be incorporated into the plan sheets. An evaluation as to the impacts of the retaining wall on Stormwater Management Facilities located in close proximity should be prepared.

Response: The site plan was revised to include a segmental block wall detail. The structural design of the retaining wall will be included with our application for building permit.

Comment 12. Pre-treatment of stormwater discharging to the bio-retention area is required.

Response: The project proposes a pre-treatment forebay that provides 3,525 cubic-feet of pre-treatment at the east end of the property and a pre-treatment swale that provides 2,145 cubic-feet of pre-treatment along the north face of the maintenance building prior to discharging to the bioretention basin. Both pre-treatment practices meet the required volumes per the NYSDEC Design Manual. See Appendix E of the revised SWPPP.

Comment 13. Emergency spill way for bio-retention area discharges at a retaining wall, this should be further evaluated.

Response: The emergency spillway elevation for the bioretention basin was set to the 100-year water surface elevation (EL: 442.0) with 1 foot of freeboard to the top of the berm. The spillway and retaining wall were redesigned to include rip rap at the bottom of the wall to prevent eroding the soil during storm events beyond the 100-year storm. See sheet 6 of 12 of the revised site plans.

We trust that the above responses and enclosed documents satisfy the comment letters pertaining to this application. If you have any questions or require additional information, please do not hesitate to contact us.

Sincerely,

**Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.**



W. Charles Utschig, Jr., P.E.
Associate

MF/lr

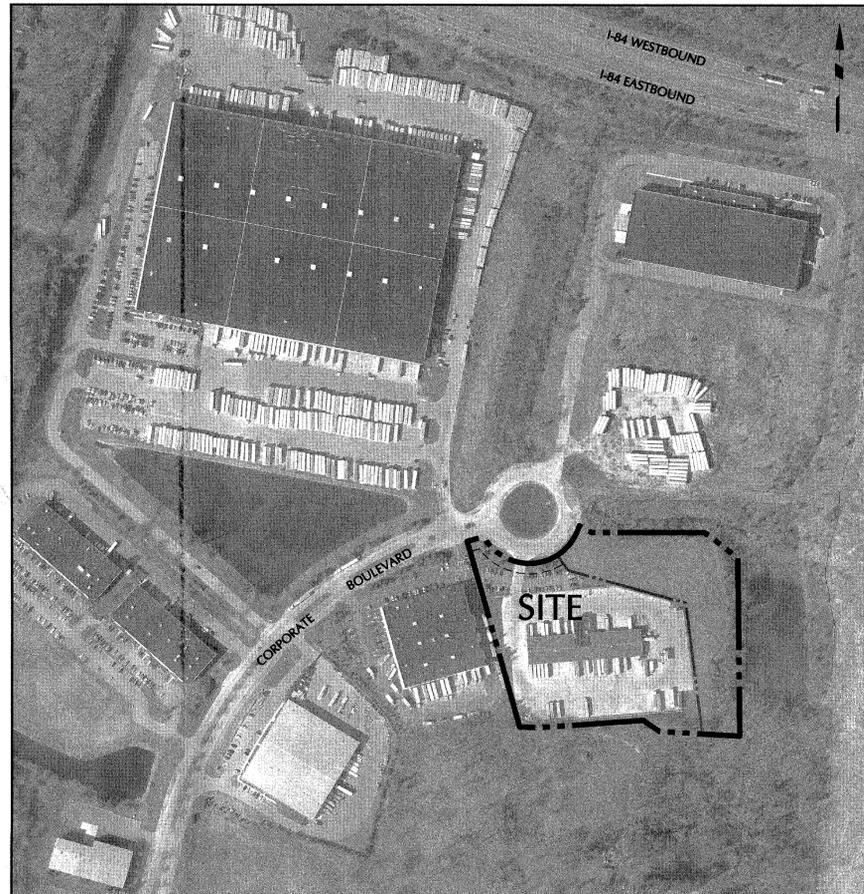
Cc: Michael H. Donnelly, Esq.
Patrick Hines – McGoey, Hauser and Edsall Consulting Engineers, D.P.C.
Kenneth Wersted, PE – Creighton Manning Engineering, LLP
Timothy Koch – A. Duie Pyle
Greg Seifert – Geis Companies
David Everett, Esq. – Whiteman Osterman & Hanna, LLP
Michael Finan, PE - Langan

SITE PLAN AND LOT LINE CHANGE DOCUMENTS

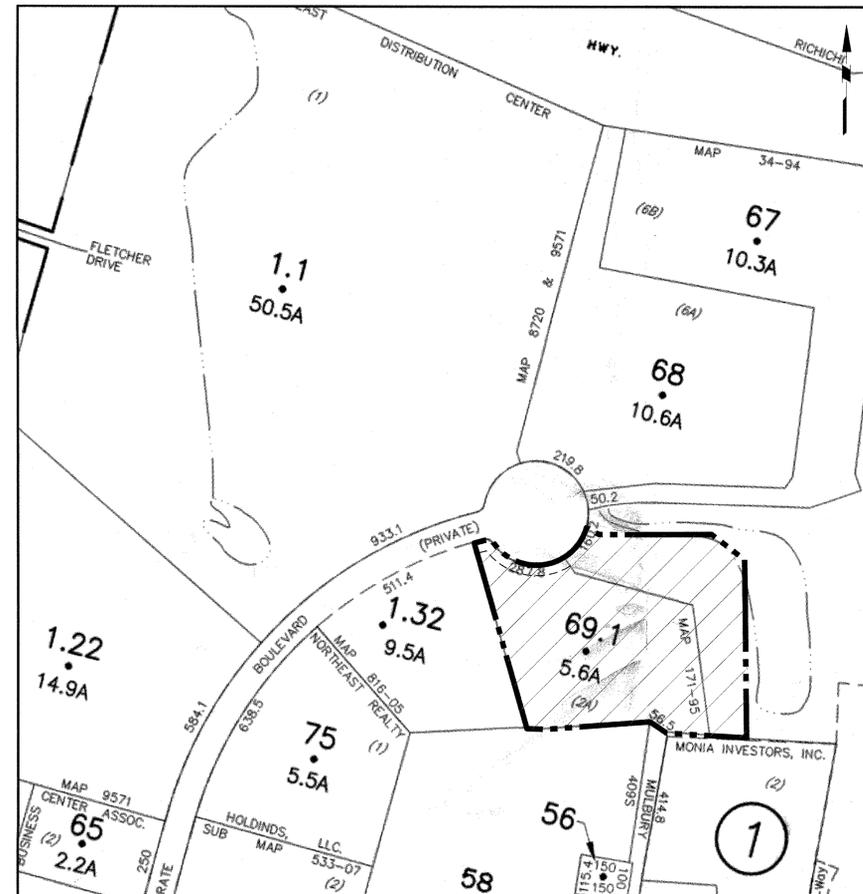
A. DUIE PYLE

MAINTENANCE BUILDING

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



LOCATION MAP
1"=200'



TAX MAP
1"=200'

SITE INFORMATION	
ADDRESS: 1000 CORPORATE BOULEVARD NEWBURGH, NY 12550	
SECTION:	95
BLOCK:	1
LOT:	69.1
ZONE: IB - INTERCHANGE BUSINESS	

APPLICANT	
A. DUIE PYLE	
650 WESTTOWN ROAD WEST CHESTER, PA 19381-0564	
TELEPHONE: 610-350-3048	
CONTACT: TIM KOCH	

CIVIL ENGINEER	
LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE, AND GEOLOGY, D.P.C.	
ONE NORTH BROADWAY SUITE 910 WHITE PLAINS, NY 10601	
TEL: 914-323-7400	
CONTACT: MICHAEL FINAN, PE	

SURVEYOR	
LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE, AND GEOLOGY, D.P.C.	
ONE NORTH BROADWAY SUITE 910 WHITE PLAINS, NY 10601	
TEL: 914-323-7400	
CONTACT: STEVE WALDEMER, LS	

DRAWING LIST		
DRAWING NO.	SHEET NO.	DRAWING TITLE
CIVIL		
CS001	1 OF 12	COVER SHEET
CD101	2 OF 12	SITE REMOVALS PLAN
SA101	3 OF 12	SLOPES ANALYSIS PLAN
CS101	4 OF 12	SITE PLAN
CS201	5 OF 12	SURFACE MATERIALS PLAN
CG101	6 OF 12	GRADING & DRAINAGE PLAN
CU101	7 OF 12	UTILITY PLAN
CE101	8 OF 12	EROSION & SEDIMENT CONTROL PLAN
LS101	9 OF 12	LANDSCAPE PLAN, NOTES, & DETAILS
CS501	10 OF 12	DETAILS (1 OF 3)
CS502	11 OF 12	DETAILS (2 OF 3)
CS502	12 OF 12	DETAILS (3 OF 3)
SURVEY		
VB101	1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY



TOWN OF NEWBURGH APPROVAL BOX TOWN PROJECT # PB 2019-09	
PLANNING BOARD CHAIRMAN JOHN P. EWASUTYN	DATE

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ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

04/09/19	REVISED PER TOWN COMMENTS	1.
Date	Description	No.
REVISIONS		

DATE SIGNED
4/9/2019
 SIGNATURE
W. CHARLES UTSCHIG JR., P.E.
 PROFESSIONAL ENGINEER NY Lic. No. 062303

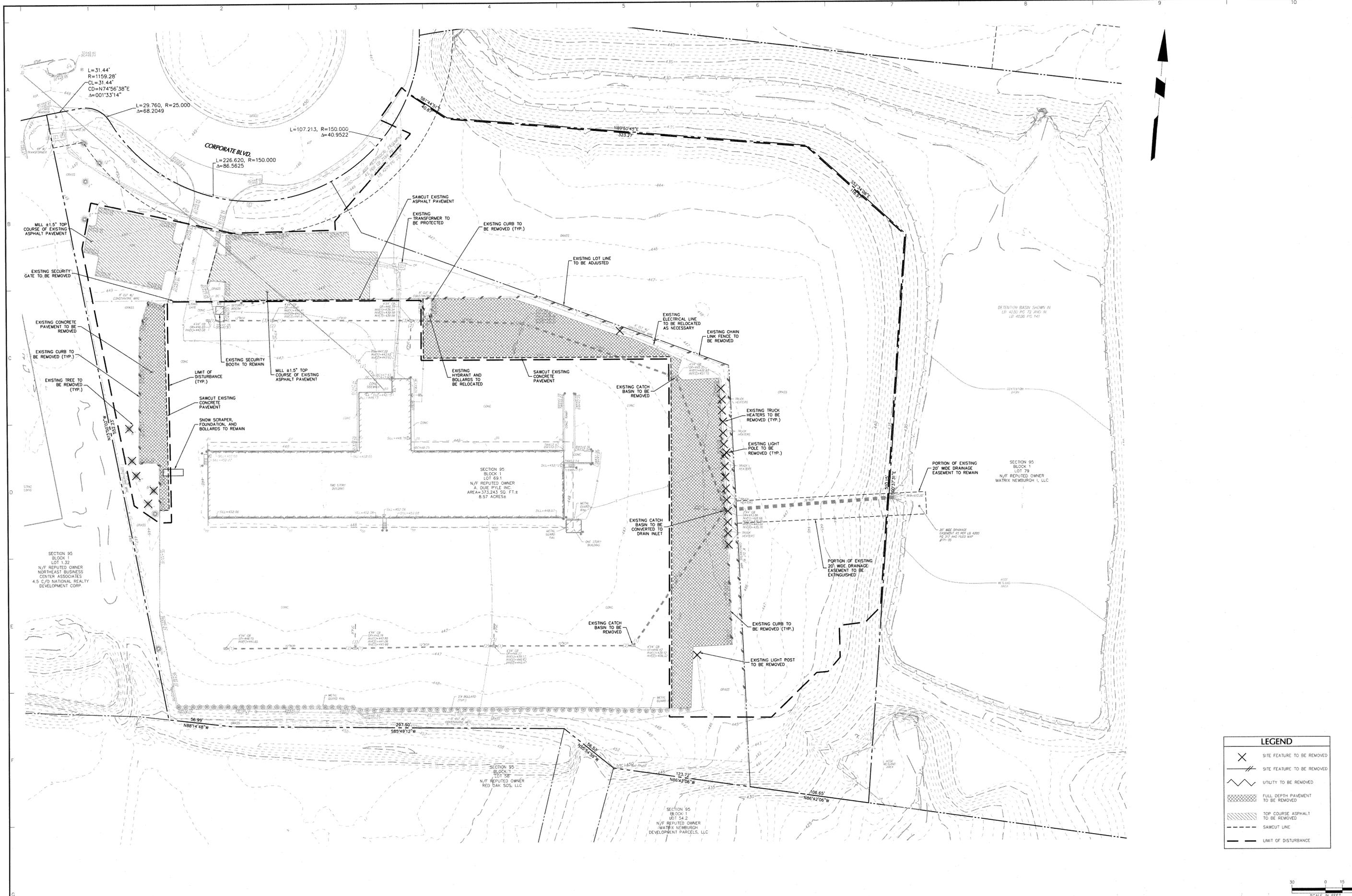
LANGAN
 Langan Engineering, Environmental, Surveying,
 Landscape Architecture and Geology, D.P.C.
 One North Broadway, Suite 910
 White Plains, NY 10601
 T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
**A. DUIE PYLE
 MAINTENANCE
 BUILDING**
 BLOCK No. 1, LOT No. 69.1
 TOWN OF NEWBURGH
 ORANGE COUNTY NEW YORK

Drawing Title
COVER SHEET

Project No. 190048601	Drawing No. CS001
Date MARCH 11, 2019	
Drawn By JM	
Checked By MF	Sheet 1 of 12

PROJECT NO. 190048601



LEGEND	
	SITE FEATURE TO BE REMOVED
	SITE FEATURE TO BE REMOVED
	UTILITY TO BE REMOVED
	FULL DEPTH PAVEMENT TO BE REMOVED
	TOP COURSE ASPHALT TO BE REMOVED
	SAWCUT LINE
	LIMIT OF DISTURBANCE



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Date	Description	No.
04/09/19	REVISED PER TOWN COMMENTS	1.
REVISIONS		

4/9/2019
DATE SIGNED
W. CHARLES UTSCHIG JR., P.E.
PROFESSIONAL ENGINEER NY Lic. No. 062303

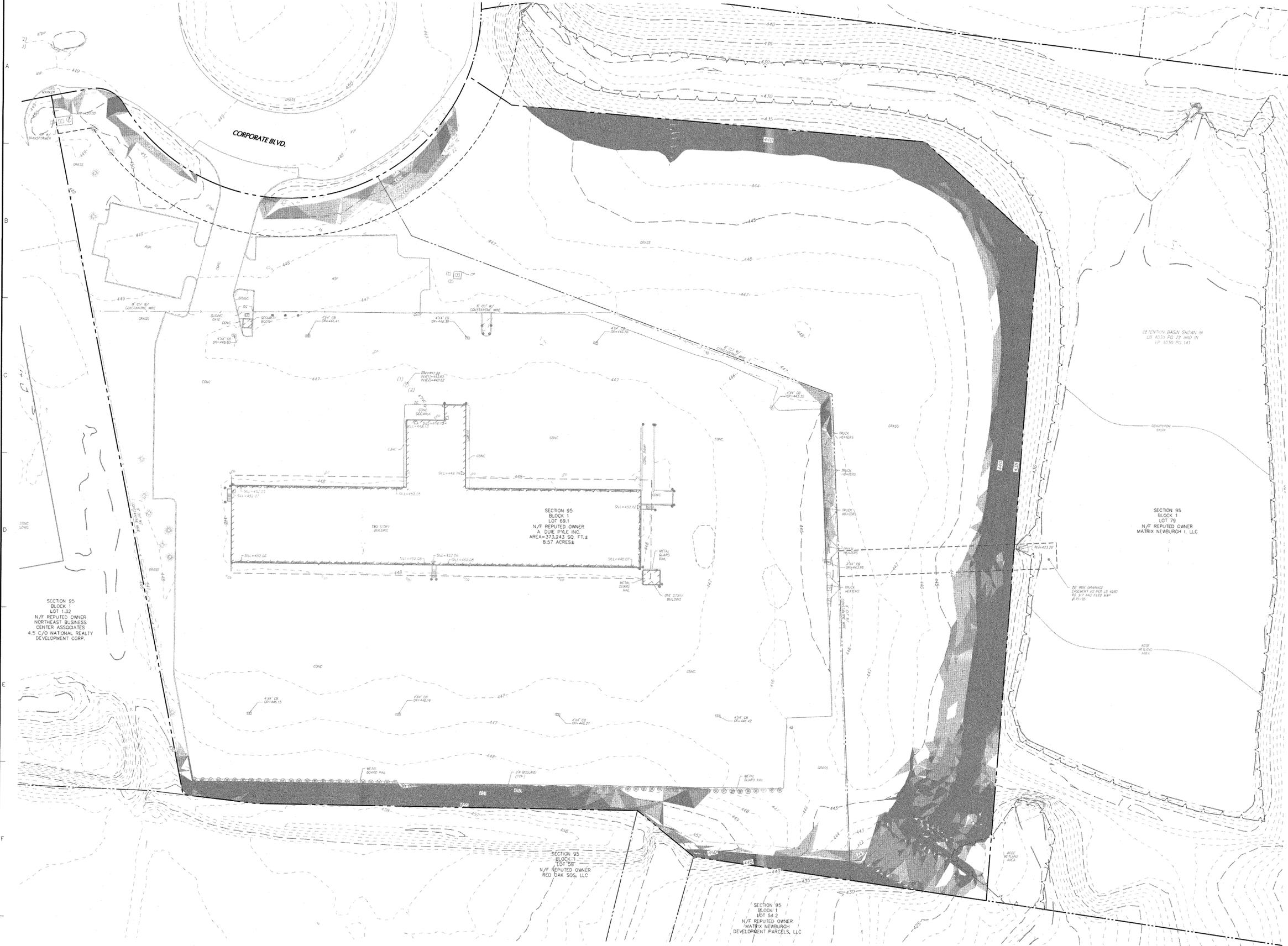
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One North Broadway, Suite 910
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Project
**A. DUIE PYLE
MAINTENANCE
BUILDING**
BLOCK No. 1, LOT No. 69.1
TOWN OF NEWBURGH
NEW YORK

Drawing Title
SITE REMOVALS PLAN

Project No.
190048601
Date
MARCH 11, 2019
Drawn By
JM
Checked By
MF

Drawing No.
CD101
Sheet 2 of 12



SLOPES TABLE				
NUMBER	MIN. SLOPE	MAX. SLOPE	AREA (SF)	COLOR
1	15.0%	20.0%	8418	[Pattern]
2	20.0%	25.0%	6894	[Pattern]
3	25.0%	Vertical	31876	[Pattern]

NOTE: STEEP SLOPES ARE DEFINED AS A CONTIGUOUS AREA OF AT LEAST 5,000 SF CONTAINING A SLOPE WITH A TOPOGRAPHICAL GRADIENT EQUAL TO OR GREATER THAN 25%.



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Date	Description	No.
04/09/19	REVISED PER TOWN COMMENTS	1.
REVISIONS		


 SIGNATURE: W. CHARLES UTSCHIG JR., P.E.
 DATE SIGNED: 4/9/2019
 PROFESSIONAL ENGINEER NY Lic. No. 062303

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 Langan Engineering, Environmental, Surveying,
 Landscape Architecture and Geology, D.P.C.
 One North Broadway, Suite 910
 White Plains, NY 10601
 T: 914.323.7400 F: 914.323.7401 www.langan.com

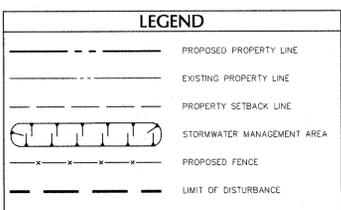
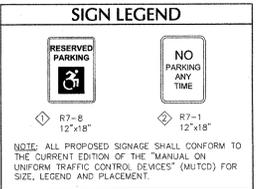
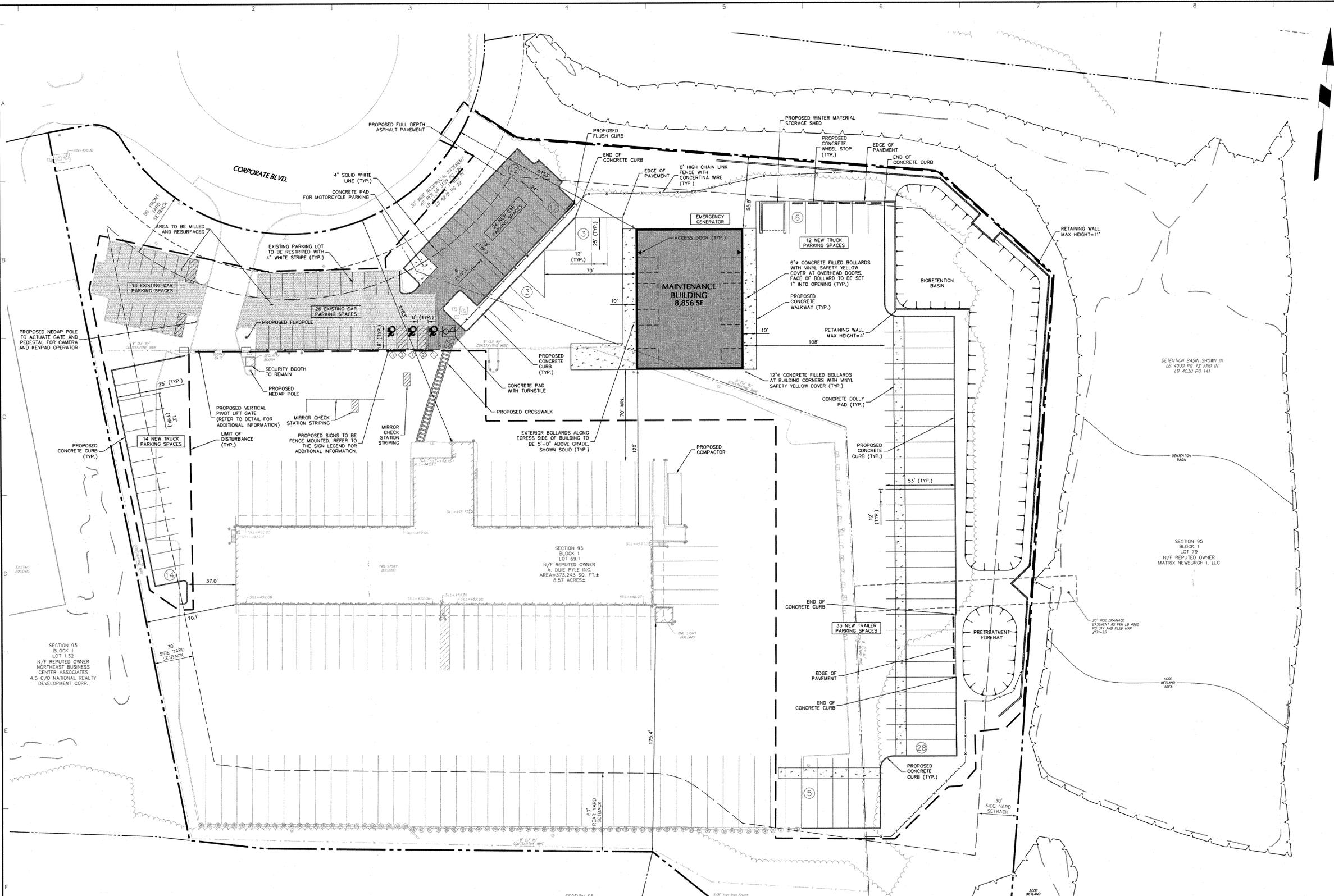
Project: **A. DUIE PYLE MAINTENANCE BUILDING**
 BLOCK No. 1, LOT No. 69.1
 TOWN OF NEWBURGH
 ORANGE COUNTY NEW YORK

Drawing Title: **SLOPES ANALYSIS PLAN**

Project No.: 190048601
 Date: MARCH 11, 2019
 Drawn By: JM
 Checked By: MF
 Drawing No.: SA101
 Sheet 3 of 12

GENERAL CONTRACTOR SITE NOTES

1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS IF HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER, AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RISE ELEVATIONS, GRADE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.



TOWN OF NEWBURGH ZONING TABLE
1000 CORPORATE BOULEVARD, TOWN OF NEWBURGH, NEW YORK - SECTION 95, BLOCK 1, LOT 69.1
IB INTERCHANGE BUSINESS ZONE

ITEM	REQUIRED/PERMITTED		PROPOSED
	Warehouse	Warehouse	
Land Use	Warehouse	Warehouse	Warehouse
LOT			
Minimum Lot Area	40,000 SF	244,991 SF (5.62 AC)	373,243 SF (8.67 AC)
Minimum Lot Width	150 FT	288 FT	395 FT
Minimum Lot Depth	150 FT	600 FT	500 FT
YARD			
Minimum Front Yard	50 FT/60 FT	183 FT	153 FT
Minimum Side Yard (1 Side Yard)	30 FT	70.1 FT	55.8 FT
Minimum Side Yard (Both Side Yards)	80 FT	209.4 FT	125.9 FT
Minimum Rear Yard	60 FT	175.4 FT	175.4 FT
Minimum Landscape Buffer at 17K	35 FT	N/A	N/A
LOT COVERAGE			
Maximum Lot Building Coverage	40%	11%	10%
Maximum Lot Surface Coverage	80%	79%	73%
BUILDING			
Maximum Building Height	40 FT	21 FT	25 FT
Maximum Accessory Building Height	15 FT	N/A	N/A
Minimum Accessory Building Setback from Principal Building	10 FT	N/A	N/A
PARKING			
Minimum Number of Car Parking Spaces	40	39	63

REVISIONS

Date	Description	No.
04/09/19	REVISED PER TOWN COMMENTS	1.

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Project: **A. DUIE PYLE MAINTENANCE BUILDING**
 BLOCK No. 1, LOT No. 69.1
 TOWN OF NEWBURGH
 NEW YORK

Drawing Title: **SITE PLAN**

Date: **MARCH 11, 2019**

Drawn By: **JM**

Checked By: **MF**

Project No.: **190048601**

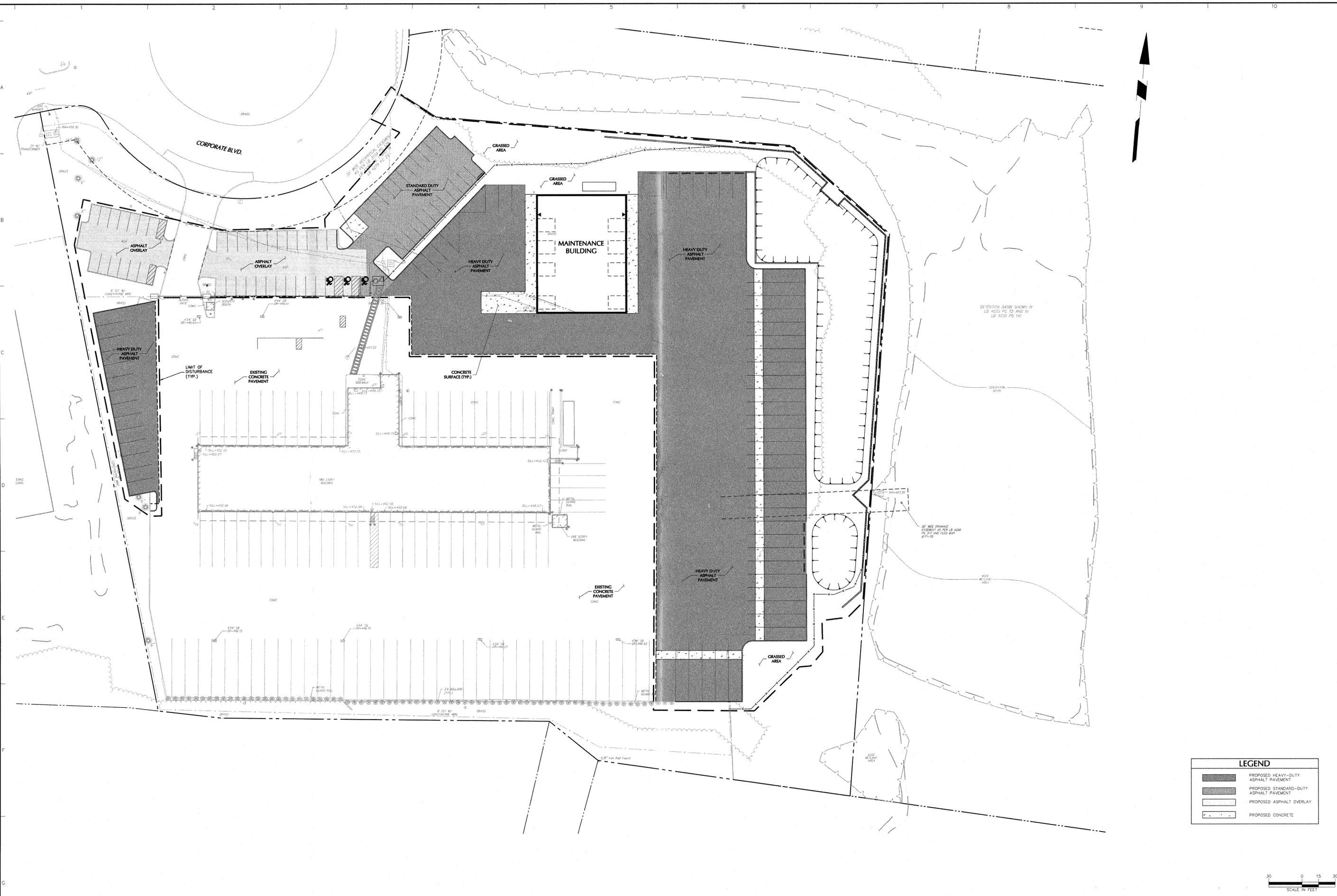
Drawing No.: **CS101**

Sheet 4 of 12

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PROJECT NO. 190048601





LEGEND

	PROPOSED HEAVY-DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD-DUTY ASPHALT PAVEMENT
	PROPOSED ASPHALT OVERLAY
	PROPOSED CONCRETE



Date	Description	No.
04/09/19	REVISED PER TOWN COMMENTS	1.
REVISIONS		


 SIGNATURE: W. CHARLES UTSCHIG JR., P.E.
 DATE SIGNED: 4/9/2019
 PROFESSIONAL ENGINEER NY Lic. No. 062303

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Project: **A. DUIE PYLE MAINTENANCE BUILDING**
 BLOCK No. 1, LOT No.69.1
 TOWN OF NEWBURGH
 ORANGE COUNTY NEW YORK

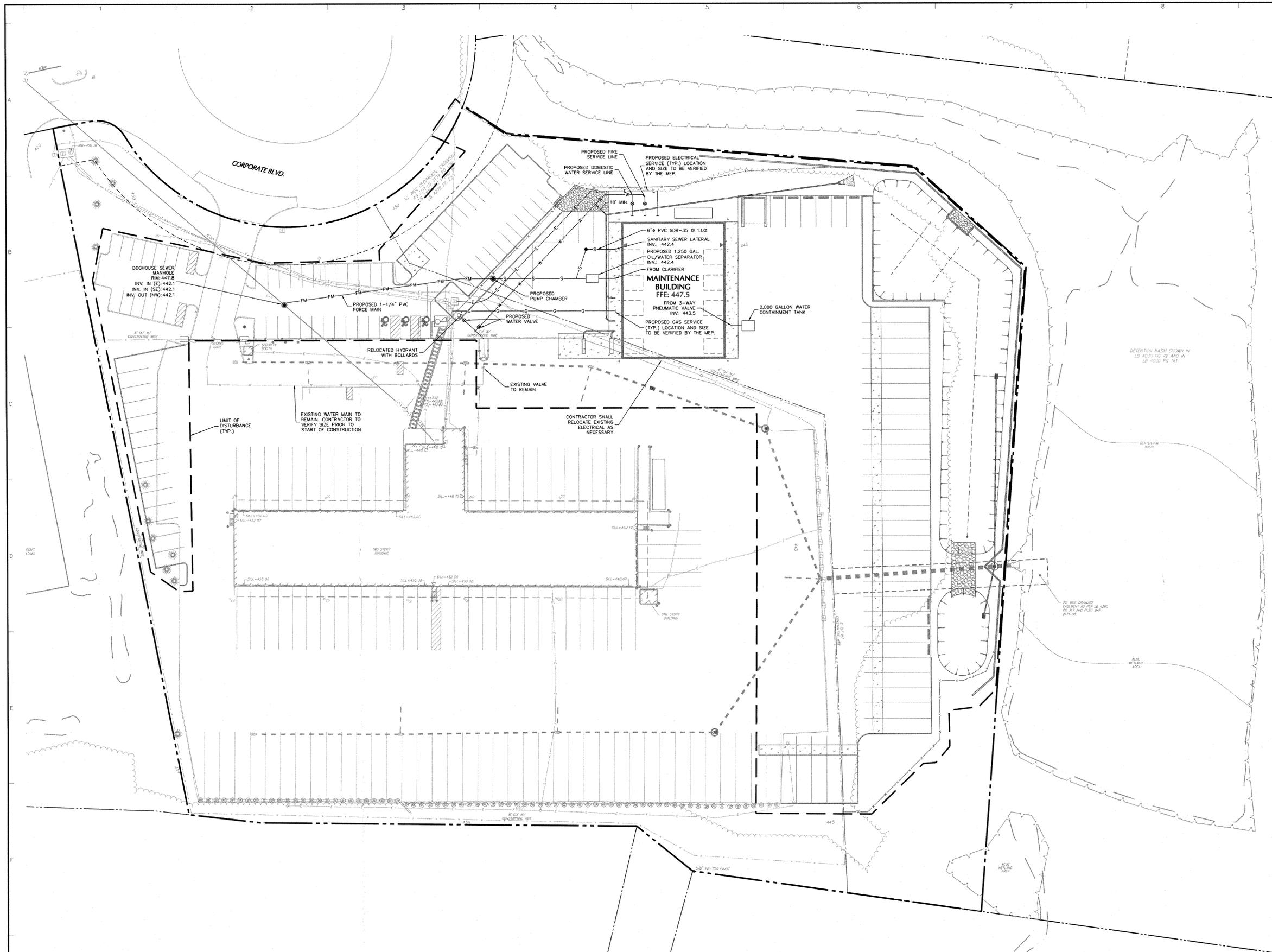
Drawing Title: **SURFACE MATERIALS PLAN**

Project No.	190048601	Drawing No.	CS201
Date	MARCH 11, 2019	Drawn By	JM
Checked By	MF	Sheet	5 of 12

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 ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

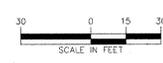
UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY (WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE) LOCATIONS, INVERTS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND REQUIRING MODIFICATIONS TO THE SITE DESIGN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE CONSTRUCTION. DEFERRING UTILITY CONDITIONS THAT ARE ENCOUNTERED BY THE CONTRACTOR THAT REQUIRE MODIFICATION OF SITE DESIGN AND THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT HIS SOLE COST.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, CABLE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS AND LOCATIONS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY AGENCIES FOR APPROVAL OF UTILITY LOCATIONS AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
4. THE LOCATION OF EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
5. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
6. MIN. DEPTH OF COVER OVER ELECTRIC, GAS, AND CABLE SERVICES SHALL BE TWO (2) FT.
7. THE CONTRACTOR SHALL COORDINATE THE WATER WORK WITH THE TOWN OF NEWBURGH AND ORANGE COUNTY DEPARTMENT OF HEALTH. ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION. ALL PROPOSED WATER MAINS SHALL BE DUCTILE IRON PIPE CLASS 50 BITUMINOUS COATED DOUBLE CEMENT MORTAR LINED. THE CONTRACTOR MUST CONTACT THE TOWN OF NEWBURGH ONE WEEK PRIOR TO WATER MAIN CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATION NEAR AND CONNECTION TO EXISTING WATER AND SEWER MAIN. ALL WATER MAIN FITTINGS AND VALVES SHALL BE MECHANICAL JOINT (RESTRAINED) AND THE FITTINGS SHALL BE PROVIDED WITH THRUST BLOCKING. REFER TO DETAILS FOR THRUST BLOCK DETAILS AND FITTING SCHEDULES. ALL FIRE HYDRANTS AND VALVES SHALL OPEN RIGHT (CLOCKWISE).
8. THE CONTRACTOR SHALL COORDINATE THE SANITARY SEWER WORK WITH THE TOWN OF NEWBURGH. SANITARY SEWER SHALL BE PVC SDR 35 UNLESS SPECIFIED DIFFERENTLY ON THESE PLANS.
9. A MINIMUM FOUR (4) FOOT HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND STORM SEWER. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN WATER MAIN AND ALL OTHER UTILITIES, WHERE CLEARANCE CANNOT BE MAINTAINED, THEN WATER MAIN SHALL BE ENCASED IN CONCRETE 10 FEET ON EACH SIDE OF THE CROSSING. IN CASES WHERE THE UTILITY IS SANITARY OR STORM SEWER MAIN OR LATERAL AND THE CLEARANCE CANNOT BE MAINTAINED, THEN THE SEWER SHALL ALSO BE ENCASED.
10. PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 10 FT BETWEEN SANITARY SEWER MAINS AND WATER MAINS. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND ALL OTHER UTILITIES. PROVIDE A 5 FT MINIMUM HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER MAINS AND CONCRETE CURBS. A MINIMUM DISTANCE OF 10 FT SHALL BE PROVIDED BETWEEN NEW WATER AND SEWER SERVICE LINES AND LIGHT POLES, TREES ETC.



LEGEND

—FM—	FM	PROPOSED FORCEMAIN
—S—	S	PROPOSED SEWER
—E—	E	PROPOSED ELECTRICAL LINE
—W—	W	PROPOSED WATER LINE
—G—	G	PROPOSED GAS LINE
---		LIMIT OF DISTURBANCE



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SIGNATURE

 W. CHARLES UTSCHIG JR., P.E.
 PROFESSIONAL ENGINEER NY Lic. No. 062303

LANGAN
 Langan Engineering, Environmental, Surveying,
 Landscape Architecture and Geology, D.P.C.
 One North Broadway, Suite 910
 White Plains, NY 10601
 T: 914.323.7400 F: 914.323.7401 www.langan.com

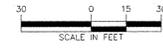
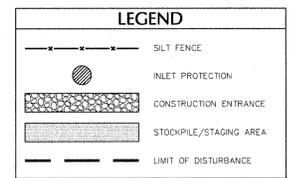
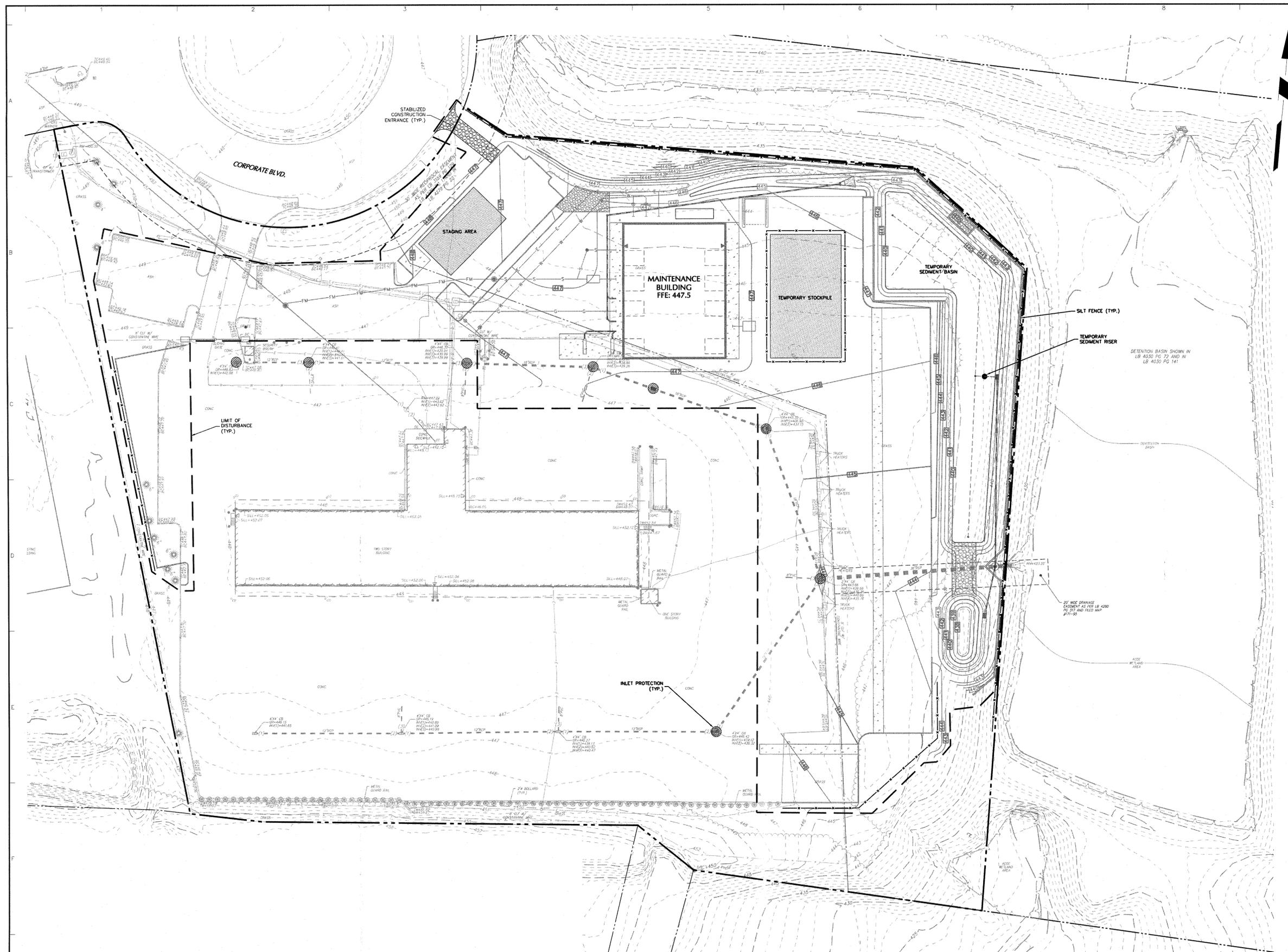
Project
**A. DUIE PYLE
 MAINTENANCE
 BUILDING**
 BLOCK No. 1, LOT No. 69.1
 TOWN OF NEWBURGH
 ORANGE COUNTY NEW YORK

Drawing Title
UTILITY PLAN

Project No.
 190048601
 Date
 MARCH 11, 2019
 Drawn By
 JM
 Checked By
 MF
 Drawing No.
CU101
 Sheet 7 of 12

EROSION AND SEDIMENT CONTROL NOTES

- REFER TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) SPDES GENERAL PERMIT IN APPENDIX A OF THE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL REQUIREMENTS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" LATEST EDITION.
- BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A PRE-CONSTRUCTION MEETING WITH THE QUALIFIED PROFESSIONAL, QUALIFIED INSPECTOR, CONTRACTOR, AND SUBCONTRACTORS TO DISCUSS THE RESPONSIBILITIES RELATED TO THE STORMWATER POLLUTION PREVENTION PLAN IMPLEMENTATION.
- THE CONTRACTOR AND SUBCONTRACTOR MUST IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- BEFORE BEGINNING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES MUST BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISTURBANCE. EXISTING VEGETATION TO REMAIN MUST BE PROTECTED TO ENSURE OVER CLEARING DOES NOT OCCUR.
- PERMANENT TRAFFIC CORRIDORS MUST BE ESTABLISHED AND "ROUTES OF CONVENIENCE" MUST BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE LOCATIONS SHOWN ON THE PROJECT PLANS.
- STOCKPILE TOPSOIL MUST BE ENCLOSED WITH SILT FENCE OR HAY BALES AND COVERED OR TEMPORARILY SEEDED. ALL GRASS SEED MUST CONTAIN AT LEAST 25% RAPID GERMINATING PERENNIAL RYE GRASS.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION MUST BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- DUST MUST BE CONTROLLED BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED.
- EROSIVE MATERIAL TEMPORARILY STOCKPILED ON SITE DURING CONSTRUCTION MUST BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND MUST BE PROPERLY PROTECTED BY A SILT FENCE BARRIER.
- EARTHWORK ACTIVITIES MUST BE CONSISTENT WITH THE PHASING PLANS. THE EARTHWORK OPERATION AREAS MUST BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS THAT ARE NOT CURRENTLY UNDER CONSTRUCTION LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 14 DAYS.
- EROSION AND SEDIMENT CONTROL INSPECTIONS:
 - THE TRAINED INDIVIDUAL MUST INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP MUST BE CLEANED AND REMOVED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROLS MUST BE REPAIRED AT THE END OF THE WORK DAY.
 - THE QUALIFIED INSPECTOR MUST CONDUCT SITE INSPECTIONS EVERY 7 DAYS. ANY DEFICIENCIES NOTED IN THE REPORTS MUST BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
 - IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WINTER SHUTDOWN, TEMPORARY STABILIZATION MEASURES WILL BE APPLIED TO ALL DISTURBED AREAS. IF APPROVED BY THE NYSDEC OR MS4 MUNICIPALITY, THE FREQUENCY OF INSPECTIONS BY THE QUALIFIED INSPECTOR MAY BE REDUCED TO ONE INSPECTION EVERY 30 DAYS.
 - IF AUTHORIZED BY THE NYSDEC OR MS4 MUNICIPALITY TO DISTURB MORE THAN 5 ACRES AT ONE TIME, THE QUALIFIED INSPECTOR MUST CONDUCT AT LEAST 2 SITE INSPECTIONS, SEPARATED BY 2 DAYS, EVERY 7 DAYS UNTIL SUCH TIME THAT LESS THAN 5 ACRES OF SOIL REMAIN EXPOSED.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION. WHEN UPGRADE SURFACES ARE PROPERLY STABILIZED AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERATIONAL, ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE FILLED IN, TOPSOILED, SEEDED, AND MULCHED. FINAL STABILIZATION IS ACHIEVED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% IS ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PAVED OR COVERED BY PERMANENT STRUCTURES.



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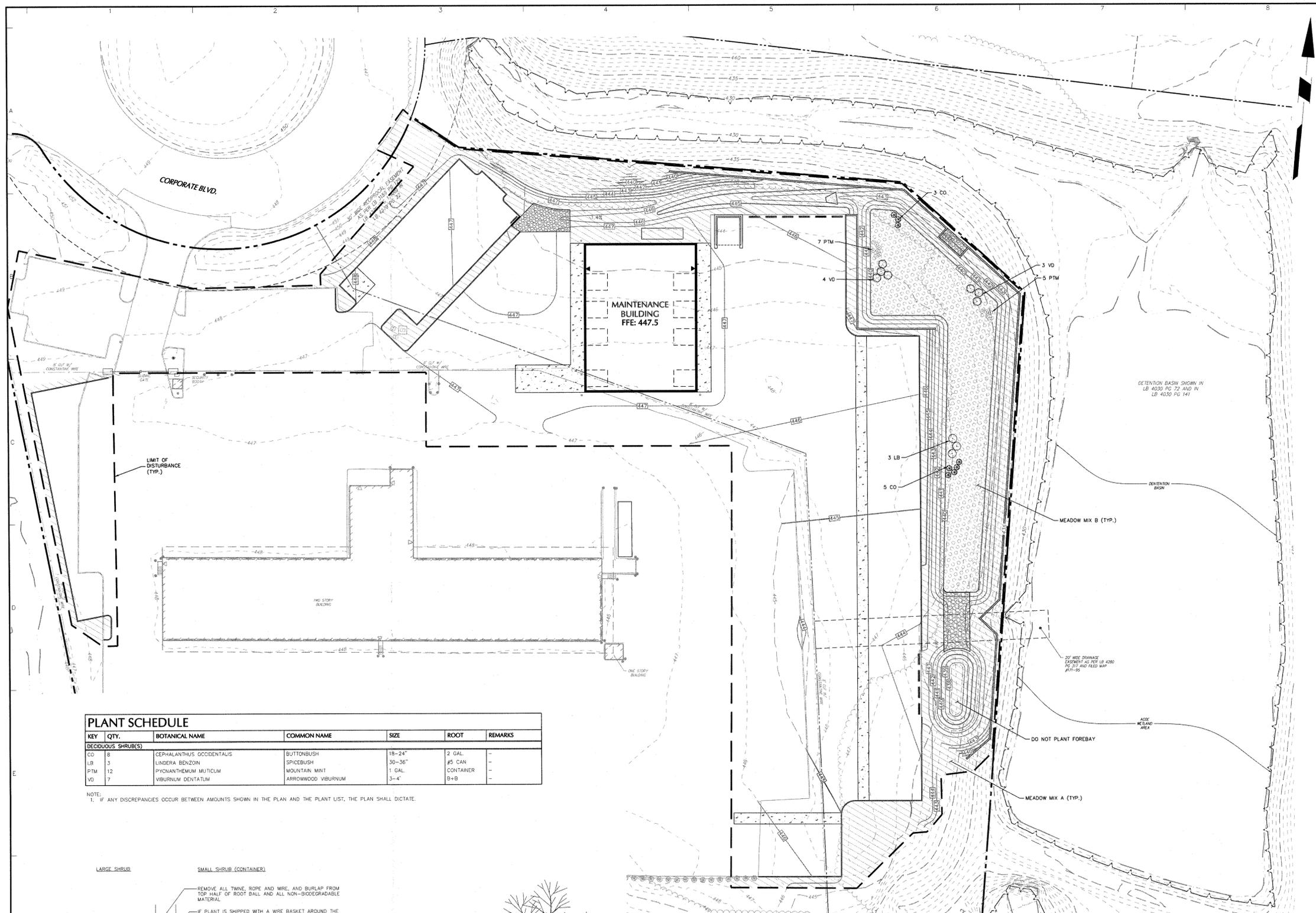
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**A. DUIE PYLE
MAINTENANCE
BUILDING**
BLOCK No. 1, LOT No. 69.1
TOWN OF NEWBURGH
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Drawing Title
**EROSION &
SEDIMENT
CONTROL PLAN**

Project No.
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JM
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MF
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CE101
Sheet 8 of 12

PROJECT NO. 190048601 LANGAN



- ### GENERAL PLANTING NOTES:
- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
 - ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
 - NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
 - STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
 - NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMBED AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
 - THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
 - LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE PLANTING WORK BEGINS. THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
 - THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
 - DELIVERY, STORAGE, AND HANDLING
 - A PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
 - TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BING-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSPORT. DO NOT CRIP-BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
 - ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
 - THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY. THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
 - ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNLEVEL SURFACES PRIOR TO PLANTING OR MULCHING.
 - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
 - NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
 - ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
 - THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
 - AFTER PLANT IS PLACED IN TREE FIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
 - MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
 - ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
 - CONTRACTOR TO COORDINATE FENCE INSTALLATION WITH OTHER TRADES INVOLVED WITH SITE WORK. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL FENCE POST INSTALLATION WITH EXISTING AND PROPOSED UTILITIES.
 - REFER TO SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS FOR EROSION CONTROL BLANKET SPECIFICATIONS. MAT TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
 - ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.
 - ALL PLANTINGS AND EXISTING TREES DESIGNATED FOR PRESERVATION THAT DIE OR ARE DESTROYED WITHIN TWO YEARS MUST BE REPLACED.

- ### MEADOW SEEDING NOTES:
- MEADOW SEED MIX A - ERNST SEED MIX ERNWX-181 "NATIVE STEEP SLOPE SLOPE MIX W/ ANNUAL RYE"

20%	LOLIUM MULTIFLORUM	ANNUAL RYEGRASS
20%	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM CAMPER
20%	ELYMUS CANADENSIS	CANADA WILD RYE
10%	SPOROBOLUS ASPER	ROUGH BROUSET
10%	BROMUS CILIATUS	FRINGED BROME
10%	AGROSTIS PERENNANS	AUTUMN BENTGRASS
5%	RUBROCKIA VIRGATA	BLACK EYED SUSAN
3%	ASTER PRENANTHOIDES/NOV-BELGII	ZIGZAG ASTER/NEW YORK ASTER MIX
2%	SOLIDAGO NEVADENSIS	GRAY GOLDENROD
 - MEADOW SEED MIX B - ERNST SEED MIX ERNWX-127 "RETENTION BASIN FLOOR SEEDING MIX"

20%	AGROSTIS STOLONIFERA	CREeping BENTGRASS
25%	ALOPECURUS AURINDINACEUS	GARRISON CREeping FOXTAIL
15%	ELYMUS VEGICUS	VERGINA WILD RYE
5%	FESTUCA RUBRA	CREeping RED FESCUE
5%	BIDENS CERNUIS	NOODING BUR-MARIGOLD
4%	SPARGANIUM EURYCARPUM	GIANT BUR-REED
4%	SCIRPUS ATROVIRENS	GREEN BURBURST
4%	SCIRPUS PHYLLOIDUS	MANY HEADED BURBURST
3%	VERBERA HASTATA	BLUE VERVAIN
1%	SCIRPUS COPENSIENSIS	WOLFGRASS
1%	MIMULUS RINGENS	MONKEY FLOWER
1%	SOLIDAGO PATULA	ROUGH LEAF GOLDENROD
- NOTES:
- SEED AT A RATE OF 30 LBS./ACRE.
 - APPLY A NURSE CROP OF ANNUAL RYE AT A RATE OF 10 LBS./ACRE.

- ### LAWN WATERING SCHEDULE:
- THE FOLLOWING WATERING SCHEDULE COVERS ROUGHLY 8 WEEKS TO ESTABLISH A HEALTHY STAND OF GRASS FROM SEED. THE CONTRACTOR SHALL BE OBLIGATED TO ENSURE A HEALTHY STAND OF GRASS AT THE END OF THE MAINTENANCE/BOND PERIOD. ANY BARE OR DEAD AREAS IN THE LAWN SHALL BE PREPARED, RESEEDED AND REESTABLISHED PRIOR TO THE END OF THE MAINTENANCE/BOND PERIOD AND TO THE SATISFACTION OF THE PROJECT LANDSCAPE ARCHITECT AND THE OWNER.
- IMPORTANT ASPECTS TO ATTAINING AND SUSTAINING A HEALTHY STAND OF GRASS ARE THE INSTALLATION OF TOPSOIL, SEED BED PREPARATION, ATTAINING OPTIMAL PH FOR THE INTENDED PLANT SPECIES, FERTILIZING, MULCH COVERING, AND SUFFICIENT WATERING PER THESE NOTES AND/OR PROJECT SPECIFICATIONS.
- SEEDING SHALL BE DONE DURING THE SEASONS SPECIFIED IN THE LAWN SEED MIX NOTES AND/OR PROJECT SPECIFICATIONS.
 - AFTER THE SEEDBED IS PREPARED, SEED IS INSTALLED, AND MULCH IS APPLIED, WATER LIGHTLY TO KEEP THE TOP 2 INCHES OF SOIL CONSISTENTLY MOIST, NOT SATURATED. AT NO TIME SHOULD WATER BE APPLIED TO THE POINT OF RUNOFF OR THE DISPLACEMENT OF SEED.
 - DEPENDING ON SOIL TEMPERATURES, IT MAY TAKE SEVERAL WEEKS FOR GERMINATION TO OCCUR. DIFFERENT SPECIES WITHIN THE MIX GERMINATE AT DIFFERENT TIMES AND THEREFORE CONTRACTOR SHOULD CONTINUE THE LIGHT WATERING, AS DESCRIBED ABOVE, UNTIL THERE IS AT LEAST 2 INCHES OF GROWTH THROUGHOUT.
 - AT THIS POINT, WATERING FREQUENCY MAY BE REDUCED TO EVERY 3 TO 5 DAYS. WATER SHALL BE APPLIED TO WET A 6 INCH MINIMUM SOIL DEPTH TO PROMOTE HEALTHY DEEP ROOTS.
 - BEGIN MOWING ONCE PER WEEK AFTER THE GRASS HAS REACHED 3 INCHES HEIGHT. MOW TO A HEIGHT OF NO LESS THAN 2-3/8 INCHES. AFTER 2 TO 3 WEEKS OF MOWING, CONTINUE TO WATER TO A 6 INCH MINIMUM SOIL DEPTH AS NECESSARY PER WEATHER CONDITIONS, AND SOIL MOISTURE SENSORS IF APPLICABLE.

LEGEND

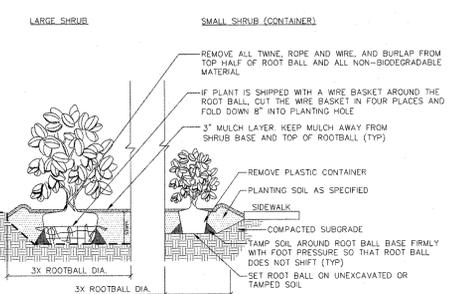
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[Pattern]	MEADOW MIX B

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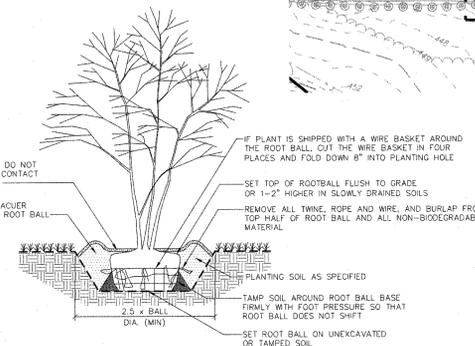
PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
CO	8	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	18-24"	2 GAL	
LB	3	LIMNEA BENZONI	SPICEBUSH	30-36"	45 CAN	
PTM	12	PHYCANTHEMUM MUTICUM	MOUNTAIN MINT	1 GAL	CONTAINER	
VO	7	VIERNUM DENTATUM	ARROWWOOD VIBURNUM	3-4'	B+B	

NOTE: 1. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.



- NOTES:
- ALL SHRUBS TO BE SET PLUMBED.
 - REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.
 - REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.



- ### SHRUB PLANTING NOTES
- ### MULTISTEM TREE PLANTING NOTES

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 146 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

Date	Description	No.
04/09/19	REVISED PER TOWN COMMENTS	1.
REVISIONS		

W. CHARLES UTSCHIG JR., P.E.
 PROFESSIONAL ENGINEER - NY Lic. No. 062303

DATE SIGNED: 4/9/2019

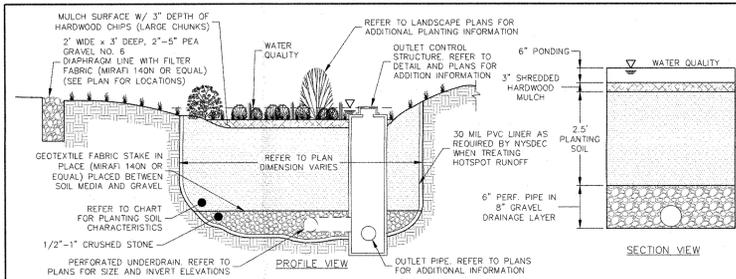
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 Langan Engineering, Environmental, Surveying,
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 One North Broadway, Suite 810
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A. DUIE PYLE
MAINTENANCE
BUILDING
 BLOCK No. 1, LOT No. 69.1
 TOWN OF NEWBURGH
 ORANGE COUNTY NEW YORK

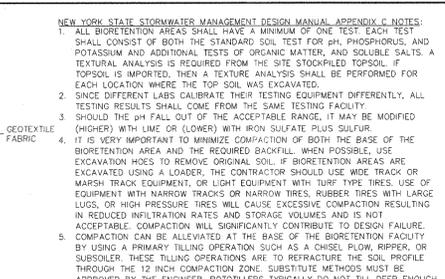
LANDSCAPE PLAN,
NOTES, & DETAILS

Project No. 190048601
 Date: MARCH 11, 2019
 Drawing No. LS101
 Drawn By: JM
 Checked By: MF
 Sheet 9 of 12

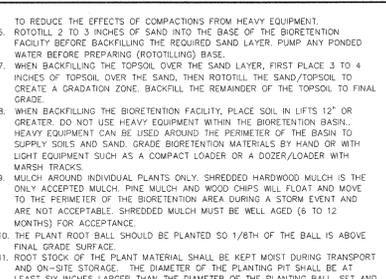
PROJECT NO. 190048601 LANGAN



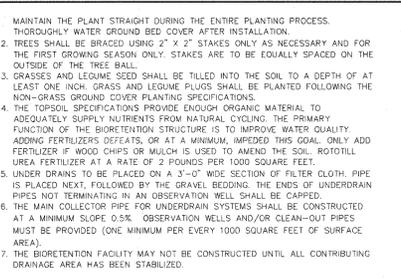
- PLANTING MEDIA NOTES**
- PLANTING SOIL TO BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (MIN. 35 TO 60% SAND BY VOLUME).
 - PLANTING SOIL TO HAVE A PERMEABILITY OF AT LEAST 0.5 FT PER DAY.
 - PLANTING SOIL TO BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER.
 - PLACEMENT OF PLANTING SOILS TO BE IN 12 TO 18" LIFTS, LOOSELY COMPACTED.
 - SPECIFIC SPECIFICATIONS
- | PARAMETER | VALUE |
|----------------|------------------|
| pH RANGE | 5.2 TO 7.0 |
| ORGANIC MATTER | 1.5 TO 4.0% |
| MAGNESIUM | 35 LBS/AC (MIN.) |
| PHOSPHOROUS | 75 LBS/AC (MIN.) |
| POTASSIUM | 85 LBS/AC (MIN.) |
| SOLUBLE SALTS | 10 TO 25% |
| SILT | 30 TO 35% |
| SAND | 35 TO 60% |
- BIORETENTION AREA MANAGEMENT**
- ANNUAL INSPECTION AND REPAIR OF OR REPLACEMENT OF TREATMENT COMPONENTS.
 - TWICE PER YEAR (SPRING AND FALL) INSPECT TREES AND SHRUBS TO EVALUATE HEALTH, REMOVE AND REPLACE DEAD OR DYING PLANTS, AND PRUNE DISEASED OR BROKEN PLANTS.
 - WEED ANNUALLY AND PRUNE SHRUB VEGETATION UNTIL VEGETATION IS ESTABLISHED TO IMPROVE APPEARANCE.
 - REPLACE MULCH TO COVER EXPOSED SOIL AREA. REMOVE AND REPLACE MULCH EVERY TWO TO THREE YEARS. MULCH DEPTH NOT TO EXCEED 3-INCHES.
 - SAMPLE SOIL FOR FERTILITY EVERY THREE YEARS. ADDITION OF LIMESTONE ONE OR TWO TIMES PER YEAR TO MAINTAIN PROPER PH IS RECOMMENDED. FIELD OR LABORATORY TESTING FOR PH IS ACCEPTABLE.
 - CHECK BASIN FOR SEDIMENT BUILD UP AND REMOVE SEDIMENT IF GREATER THAN ONE INCH.
 - CHECK BASIN AFTER STORM EVENT TO ENSURE THAT IT DRAINAGES PROPERLY (GRASS WITHIN 48-HOURS).
 - CHECK OUTLET OVERFLOW FOR EVIDENCE OF BLOCKAGE AND SOIL EROSION AT DISCHARGE POINTS. CLEAN BLOCKAGES AS REQUIRED AND STABILIZE EROSION AREAS AS NEEDED.



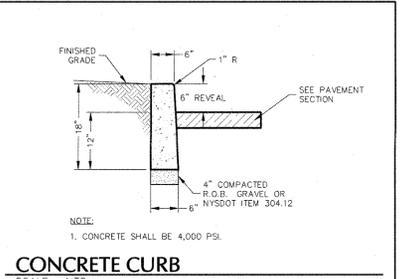
- CONSTRUCTION INSTALLATION**
- STAKE THE LIMITS AND PROVIDE OFFSETS OF THE PROPOSED BIORETENTION AREA AND SET ACCESSIBLE REFERENCE ELEVATIONS, AS NEEDED.
 - INSTALL EROSION AND SEDIMENT CONTROL MEASURES CONSISTENT WITH OVERALL DEVELOPMENT EAS PLAN.
 - STABILIZE THE GRADING AROUND THE PROPOSED AREA AND DIVERT RUNOFF AWAY FROM THE PROPOSED EXCAVATION.
 - EXCAVATE THE BIORETENTION AREA TO THE PROPOSED LINES AND GRASSES SHOWN ON THE SITE PLANS, AND SCARIFY THE EXISTING SOIL SURFACES, TAKING CARE NOT TO COMPACT THE IN-SITU SOILS.
 - INSTALL THE UNDERDRAIN SYSTEM AND OVERFLOW STRUCTURES. INSTALL THE FABRIC ON THE SIDEWALLS AND STAKE IN PLACE.
 - BACKFILL THE EXCAVATIONS WITH THE SOIL MIXTURE AS SHOWN ON THE PLANS AND SPECIFIED HEREIN.
 - FINISH GRADING THE SURFACE OF THE BIORETENTION AREA. LEAVE ROOM FOR 3-INCHES OF SHREDED HARDWOOD MULCH.
 - PLANT VEGETATION WITHIN THE BIORETENTION AREA AS SPECIFIED IN THE PLANTING NOTES AND LANDSCAPE PLANS.
 - MULCH THE SURFACE WITH NOT MORE THAN 3-INCHES OF SINGLE PASS. REMOVE TEMPORARY SEDIMENT CONTROL AND ANY ENTRANCE BLOCKS TO THE BIORETENTION AREA AFTER ACCEPTANCE BY THE DESIGN PROFESSIONAL AND THE LOCAL REGULATORY AUTHORITY.



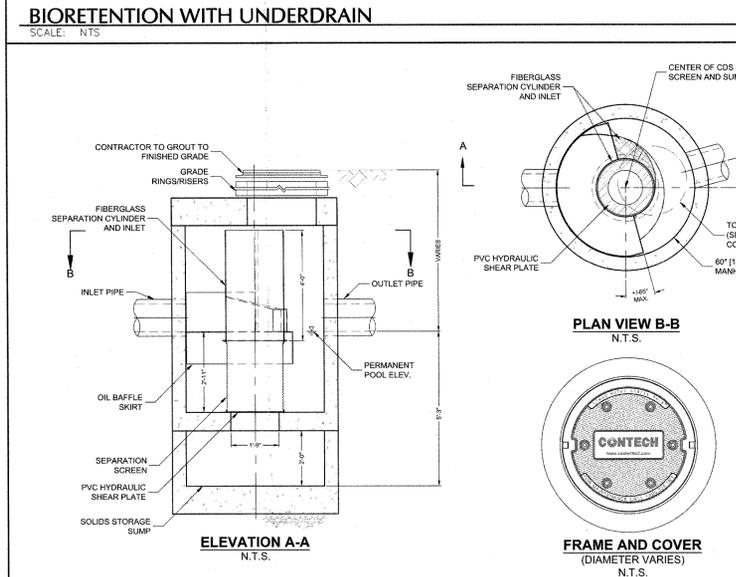
- OVERFLOW WEIR**
- SCALE: NTS
- | LOCATION | BERM ELEV. | INVERT ELEV. |
|----------------|------------|--------------|
| BIORETENTION 1 | 443.0 | 441.5 |



- HANDICAP PARKING**
- SCALE: NTS
- NOTES:
- ALL STALLS SHALL BE A MINIMUM OF 8'-0" X 18'-0".
 - PROPOSED STRIPING SHALL BE BLUE IN COLOR.

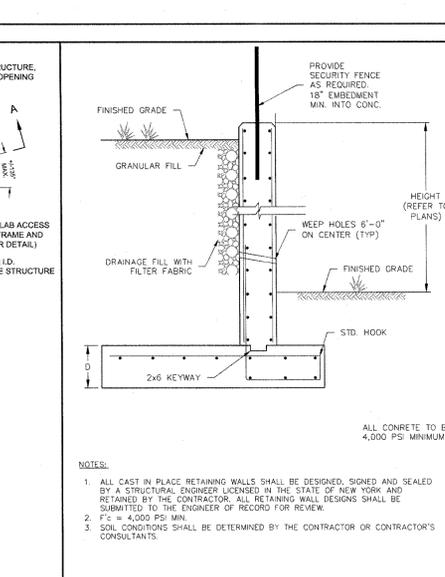


- CONCRETE CURB**
- SCALE: NTS
- NOTES:
- CONCRETE SHALL BE 4,000 PSI.
 - BIORETENTION FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.



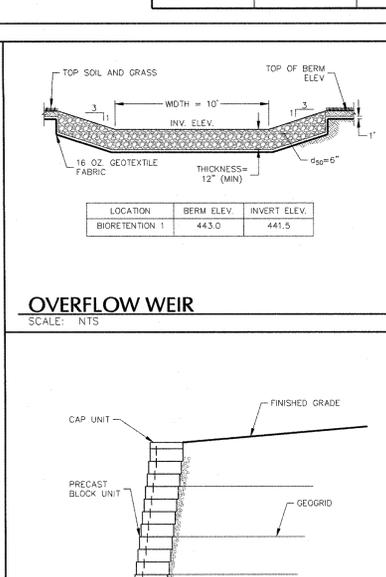
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SCALE: NTS



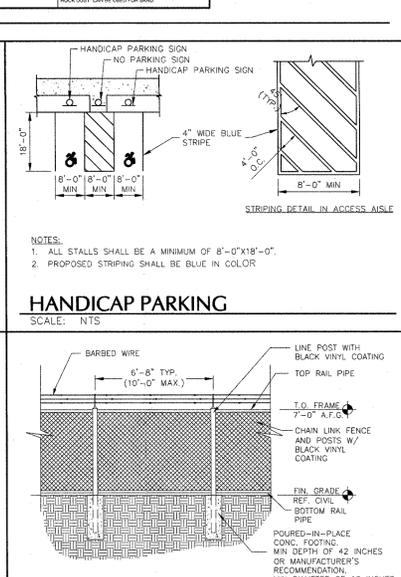
REINFORCED CONCRETE WALL

SCALE: NTS



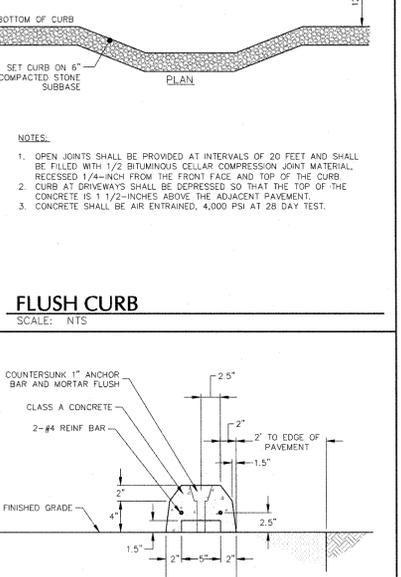
TYPICAL SEGMENTAL BLOCK RETAINING WALL

SCALE: NTS



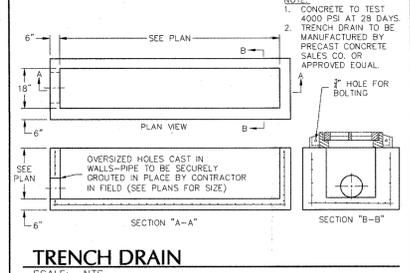
CHAIN LINK FENCE

SCALE: NTS



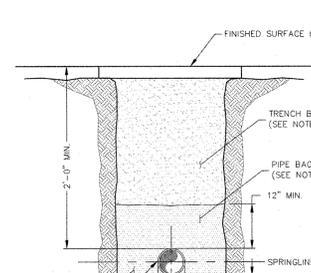
CONCRETE WHEEL STOP

SCALE: NTS



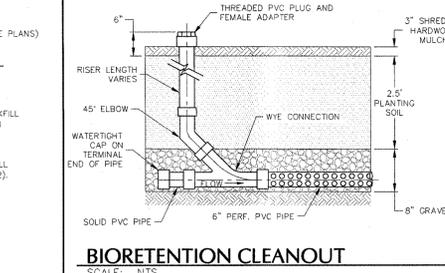
TRENCH DRAIN

SCALE: NTS



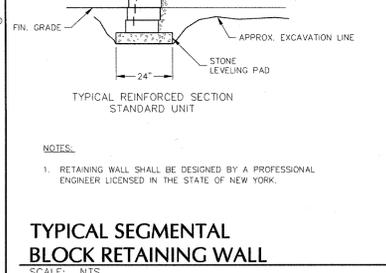
DRAINAGE PIPE TRENCH

SCALE: NTS



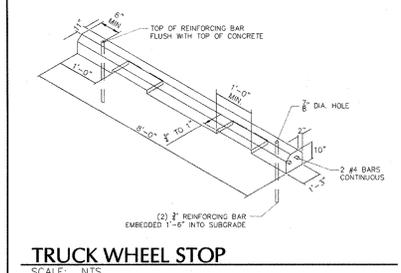
BIORETENTION CLEANOUT

SCALE: NTS



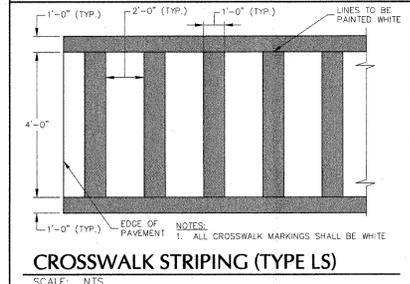
OUTLET CONTROL STRUCTURE 1 (BIORETENTION)

SCALE: NTS



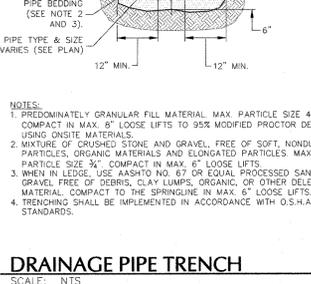
OUTLET CONTROL STRUCTURE 2 (FOREBAY)

SCALE: NTS



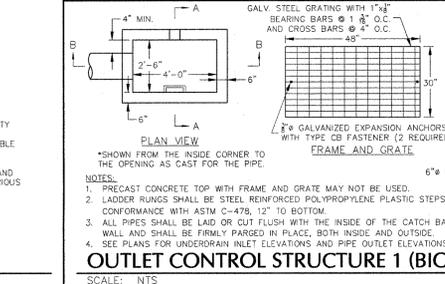
CROSSWALK STRIPING (TYPE LS)

SCALE: NTS



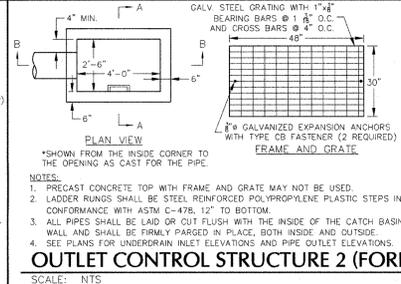
DRAINAGE PIPE TRENCH

SCALE: NTS



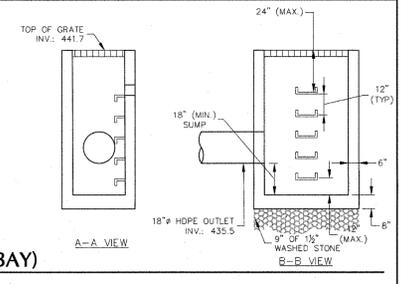
OUTLET CONTROL STRUCTURE 2 (FOREBAY)

SCALE: NTS



OUTLET CONTROL STRUCTURE 2 (FOREBAY)

SCALE: NTS



OUTLET CONTROL STRUCTURE 2 (FOREBAY)

SCALE: NTS

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Project: **A. DUIE PYLE MAINTENANCE BUILDING**
BLOCK No. 1, LOT No. 69.1
TOWN OF NEWBURGH
NEW YORK

Drawing Title: **DETAILS (1 OF 3)**

Project No.: **190048601**

Date: **MARCH 11, 2019**

Drawn By: **JM**

Checked By: **MF**

Sheet 10 of 12

Project: **A. DUIE PYLE MAINTENANCE BUILDING**
BLOCK No. 1, LOT No. 69.1
TOWN OF NEWBURGH
NEW YORK

Drawing Title: **DETAILS (1 OF 3)**

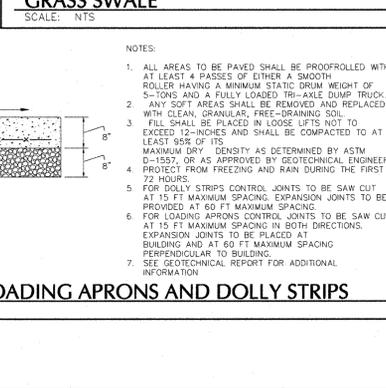
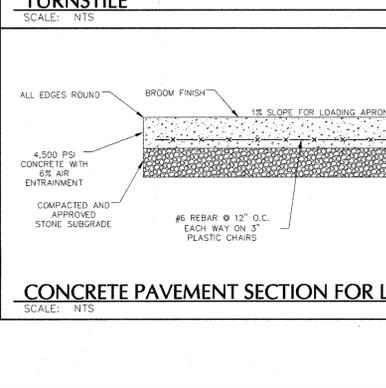
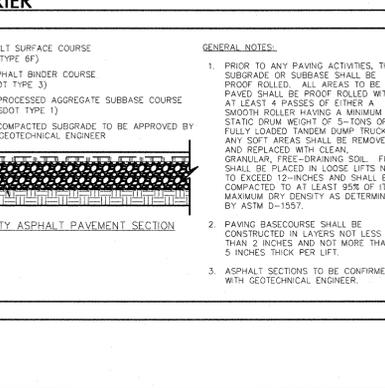
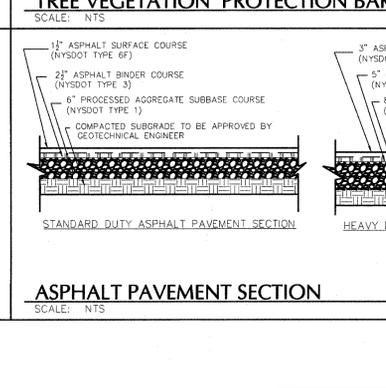
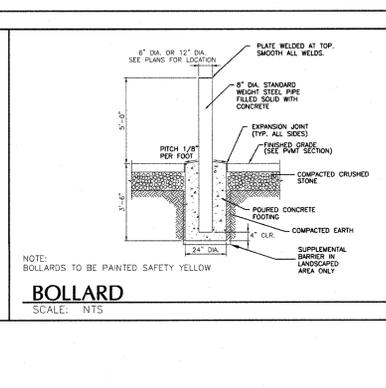
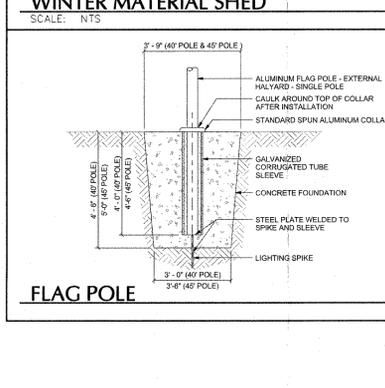
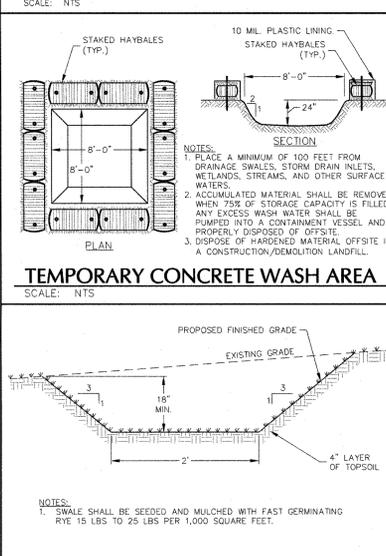
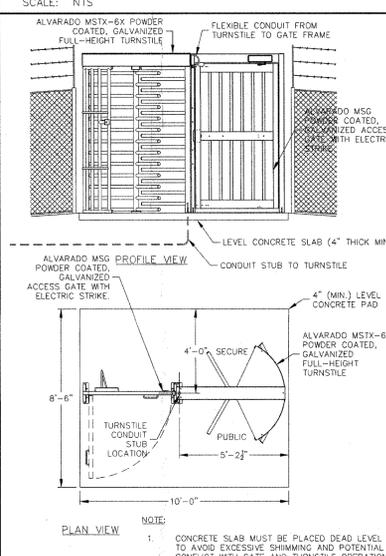
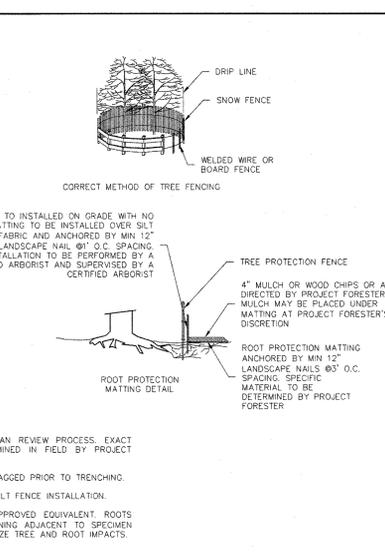
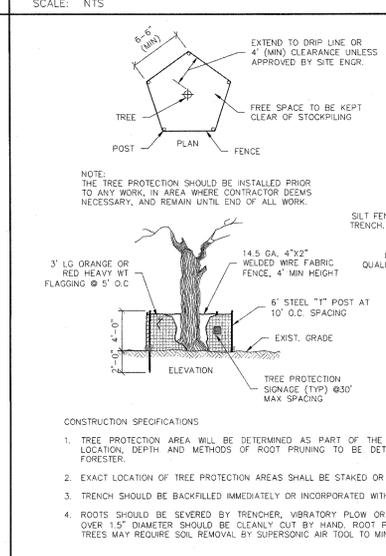
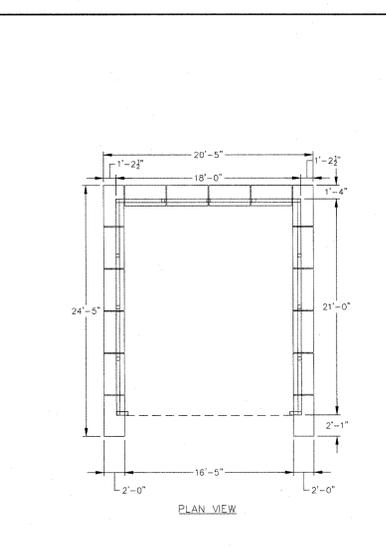
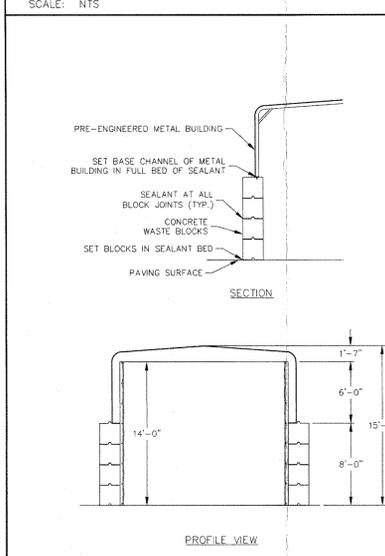
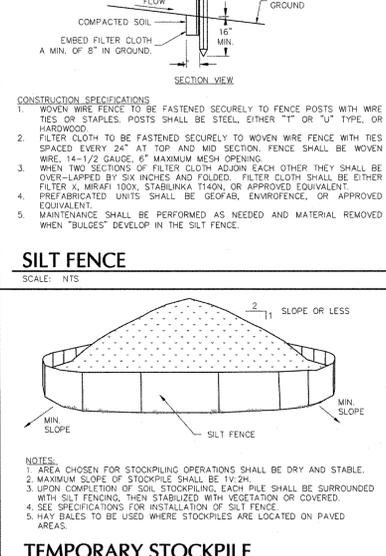
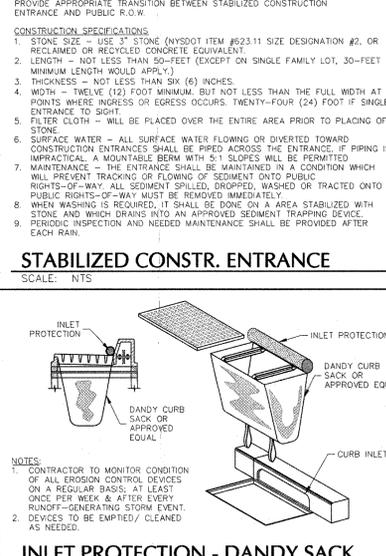
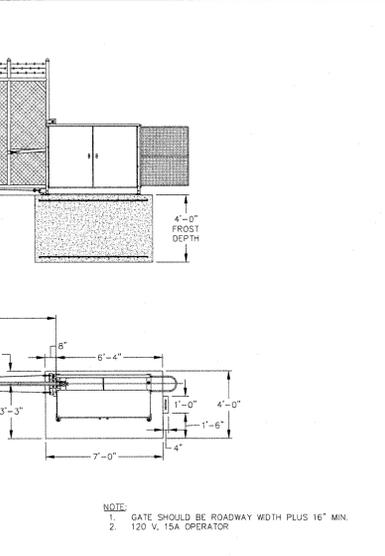
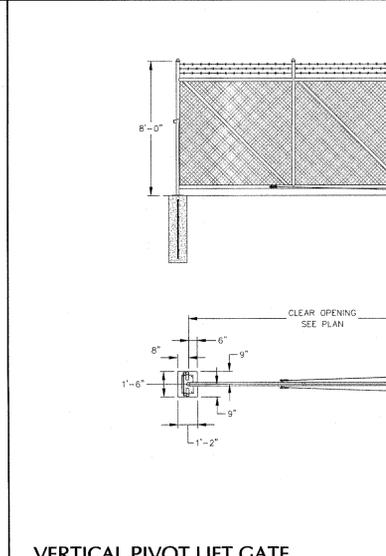
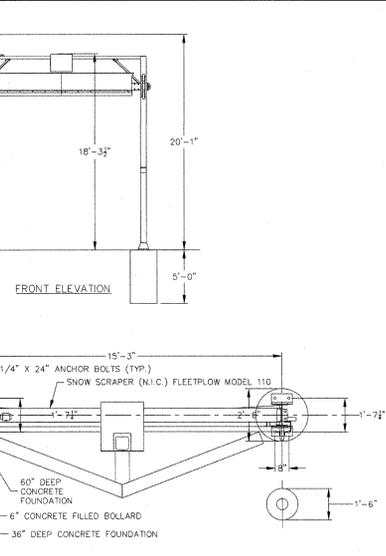
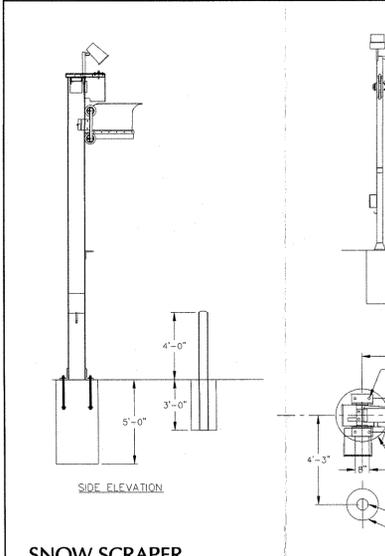
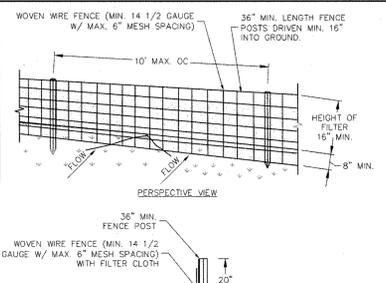
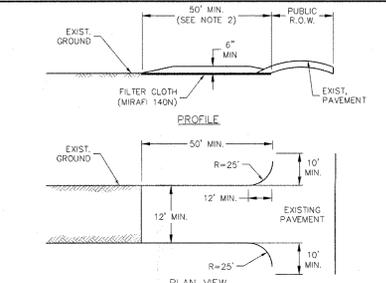
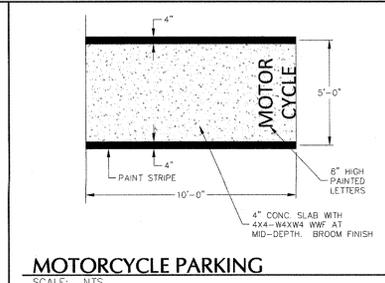
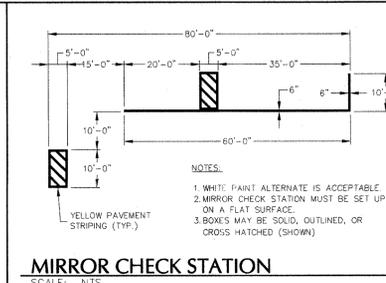
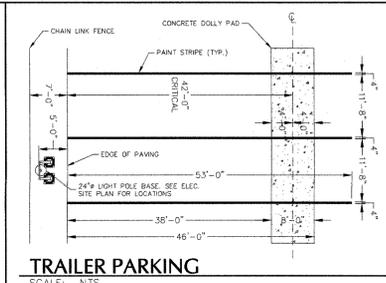
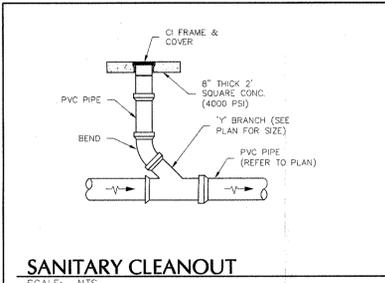
Project No.: **190048601**

Date: **MARCH 11, 2019**

Drawn By: **JM**

Checked By: **MF**

Sheet 10 of 12



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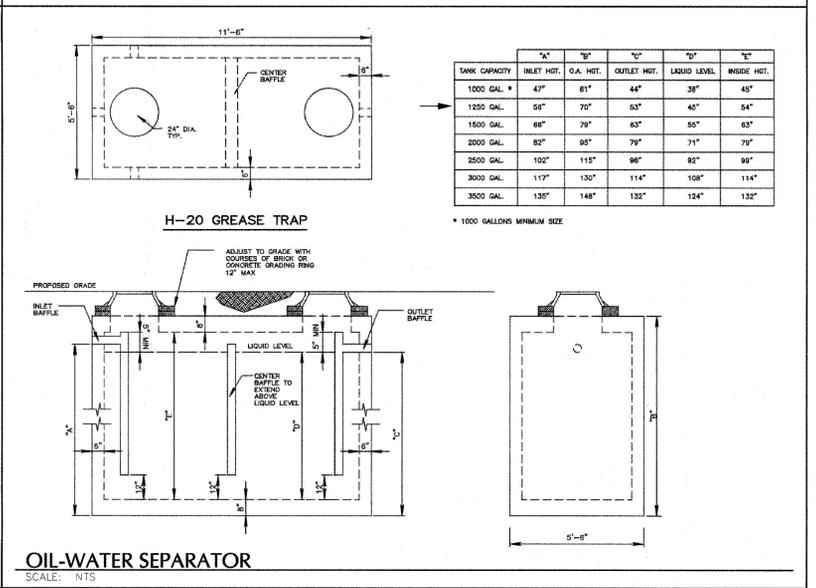
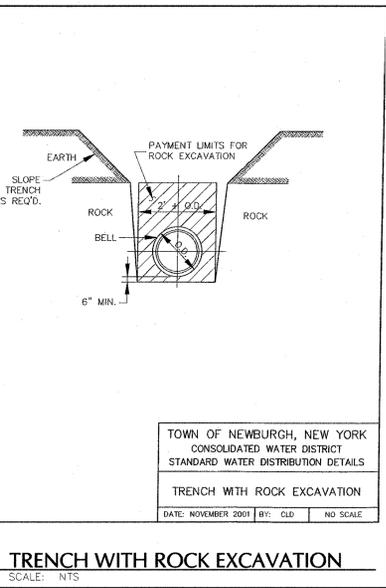
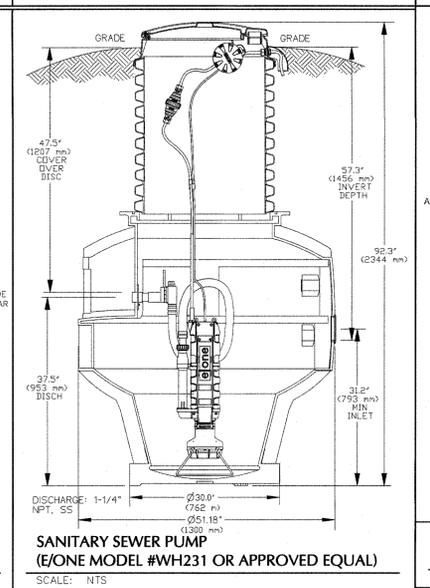
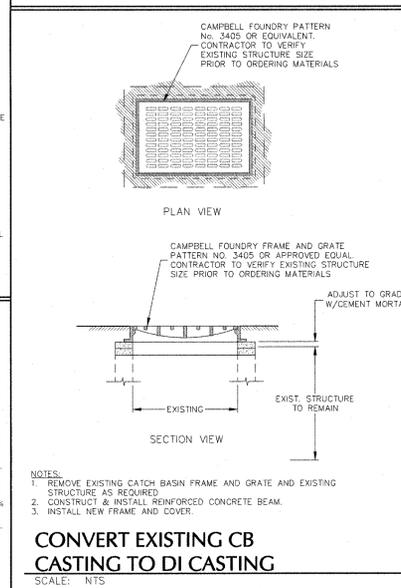
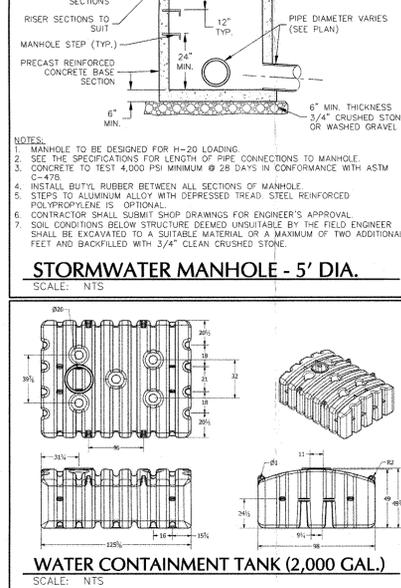
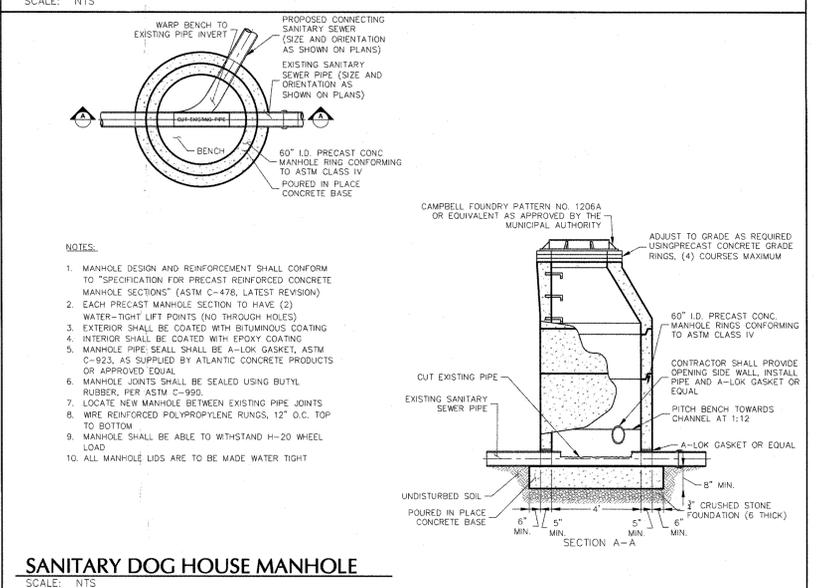
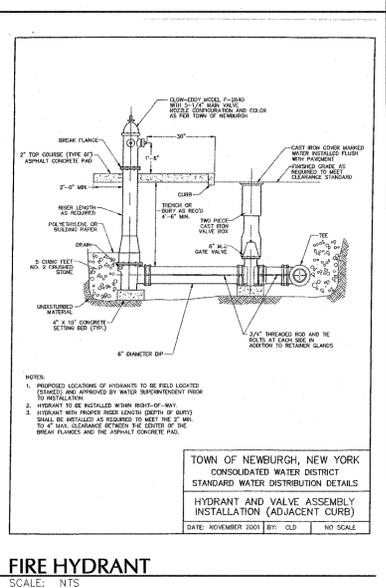
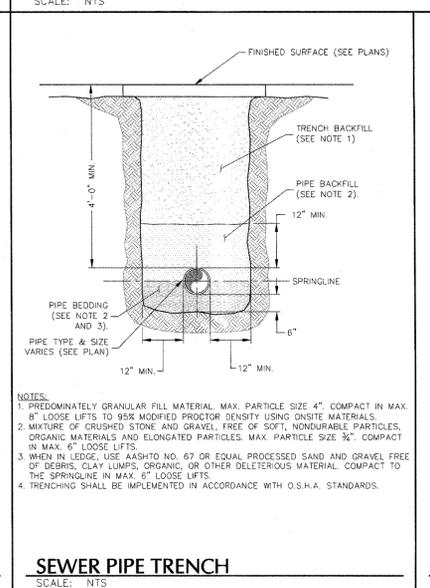
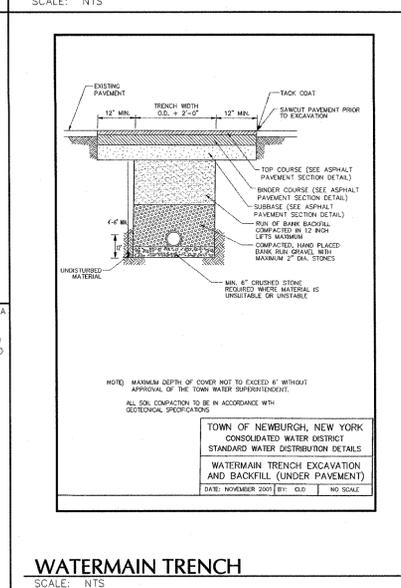
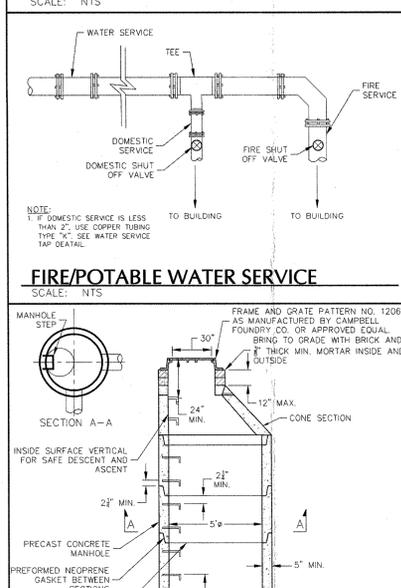
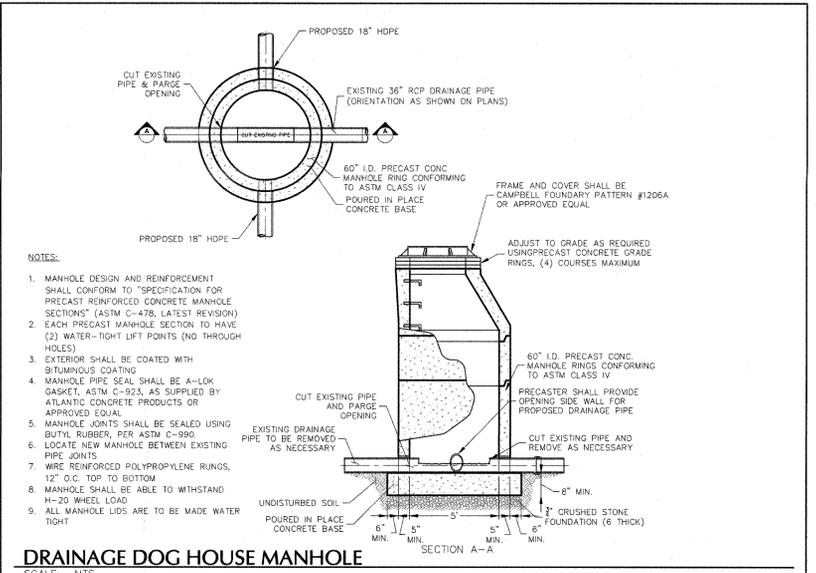
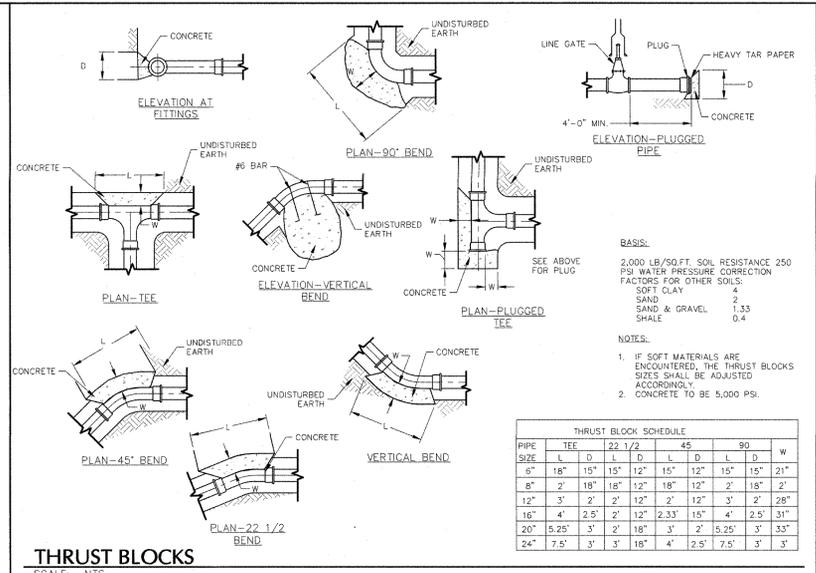
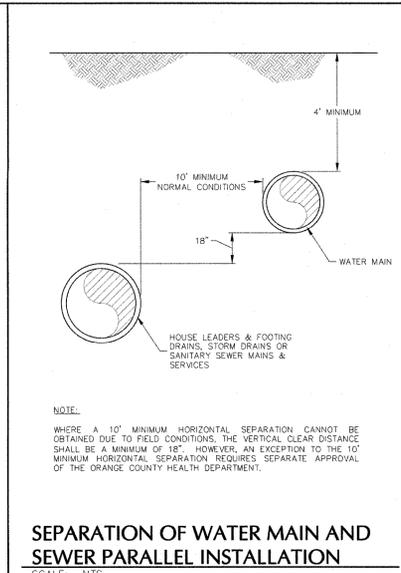
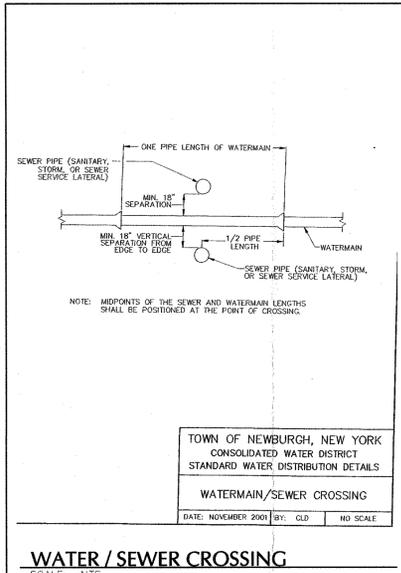
Project: A. DUE PYLE MAINTENANCE BUILDING
Block No. 1, LOT No. 69.1
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Project: A. DUE PYLE MAINTENANCE BUILDING
Block No. 1, LOT No. 69.1
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title: DETAILS (3 OF 3)

Project No.: 190048601
Date: APRIL 4, 2019
Drawn By: JM
Checked By: MF

Drawing No.: CS503
Sheet 12 of 12



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T: 914.323.7400 F: 914.323.7401 www.langan.com

4/9/2019
DATE SIGNED
W. CHARLES UTSCHIG JR., P.E.
PROFESSIONAL ENGINEER NY Lic. No. 062303

Project: **A. DUE PYLE MAINTENANCE BUILDING**
Block No. 1, Lot No. 69.1
TOWN OF NEWBURGH
ORANGE COUNTY NEW YORK

Drawing Title: **DETAILS (2 OF 3)**

Project No.: 190048601
Date: MARCH 11, 2019
Drawn By: JM
Checked By: MF

Drawing No.: **CS502**
Sheet 11 of 12

