



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** BALDWIN TRUST - SUBDIVISION  
**PROJECT NO.:** 22-13  
**PROJECT LOCATION:** HIGHLAND TERRACE  
SECTION 9, BLOCK 3, LOT 40.22  
**REVIEW DATE:** 15 JULY 2022  
**MEETING DATE:** 21 JULY 2022  
**PROJECT REPRESENTATIVE:** DAY STOKOSA ENGINEERING, PC

1. The project was previously before the Board under project #2020-12. Project received Conditional Final Approval on October 1, 2020. The Town of Newburgh previously issued a Negative Declaration for the project under the previous approval.
2. Adjoiner's Notices must be re-sent.
3. The applicant's representative identified that the previously existing non-conforming garage has been removed from the site.
4. A survey sheet stamped by a NYS Licensed Surveyor should be added to the plan set.
5. Previous condition identified Highway Superintendent's sign-off on the driveway locations. This should carry over.
6. The project requires a Public Hearing.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines  
Principal

PJH/kbw

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

**TOWN OF NEWBURGH PLANNING BOARD**

Baldwin Family Trust - Two-lot subdivision

**PROJECT NAME**

**CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.**

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. X Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11.  X  Surveyor,s Certification
12.  X  Surveyor's seal and signature
13.  X  Name of adjoining owners
14.  N/A  Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  N/A  Flood plain boundaries
16.  X  Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  X  Metes and bounds of all lots
18.  X  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  N/A  Show existing or proposed easements (note restrictions)
20.  N/A  Right-of-way width and Rights of Access and Utility Placement
21.  N/A  Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  X  Lot area (in sq. ft. for each lot less than 2 acres)
23.  X  Number of lots including residual lot
24.  N/A  Show any existing waterways
25.  N/A  A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  X  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  X  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  X  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  X  Show topographical data with 2 or 5 ft. contours on initial submission

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** \_\_\_\_\_  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**  
Baldwin Family Trust - Two-lot subdivision

**2. Owner of Lands to be reviewed:**  
**Name** Baldwin Family Trust - Charles Baldwin  
**Address** 75 Highland Terrace  
Newburgh, NY 12550  
**Phone** \_\_\_\_\_

**3. Applicant Information (If different than owner):**  
**Name** Michael Garrita  
**Address** 73 Reservoir Road  
Marlboro, NY 12542  
\_\_\_\_\_  
**Representative** \_\_\_\_\_  
**Phone** \_\_\_\_\_  
**Fax** \_\_\_\_\_  
**Email** \_\_\_\_\_

**4. Subdivision/Site Plan prepared by:**  
**Name** Day and Stokosa Engineering, PC  
**Address** 3 Van Wyck Lane  
Wappingers Falls, NY 12590  
\_\_\_\_\_  
**Phone/Fax** \_\_\_\_\_

**5. Location of lands to be reviewed:**  
Highland Terrace Newburgh, NY 12550

**6. Zone** R-3 **Fire District** Cronomer Valley Fire District  
**Acreege** 8.23 acres **School District** Marlboro Central School District

**7. Tax Map: Section** 9 **Block** 3 **Lot** 40.22

**8. Project Description and Purpose of Review:**

Number of existing lots   1   Number of proposed lots   2    
Lot line change \_\_\_\_\_  
Site plan review \_\_\_\_\_  
Clearing and grading \_\_\_\_\_  
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally)   N/A  

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Signature \_\_\_\_\_ Title \_\_\_\_\_

Date: \_\_\_\_\_

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- \_\_\_\_\_
- \_\_\_\_\_
38. X List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: \_\_\_\_\_  
Licensed Professional

Date: \_\_\_\_\_

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

3 Van Wyck Lane  
Suite 2  
Wappingers Falls, New York 12590  
Phone: 845-223-3202

June 9, 2022

Mr. John Ewasutyn  
Planning Board Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

**Re: Baldwin Family Trust – Two-lot subdivision  
Highland Terrace  
Town of Newburgh**

Dear Mr. Ewasutyn:

The project site is an 8.23-acre parcel located on Highland Terrace, identified as tax grid number Section 9, Block 3, Lot 40.22. The project site is located in the R-3 zoning district of the Town of Newburgh. The applicant is proposing to subdivide the existing lot into two separate lots ranging from 3.4 to 4.8 acres. The two lots will tie into town water and will both have their own private septic systems.

Should you have any questions, please do not hesitate to call me.

Very truly yours,



Derek J. Day



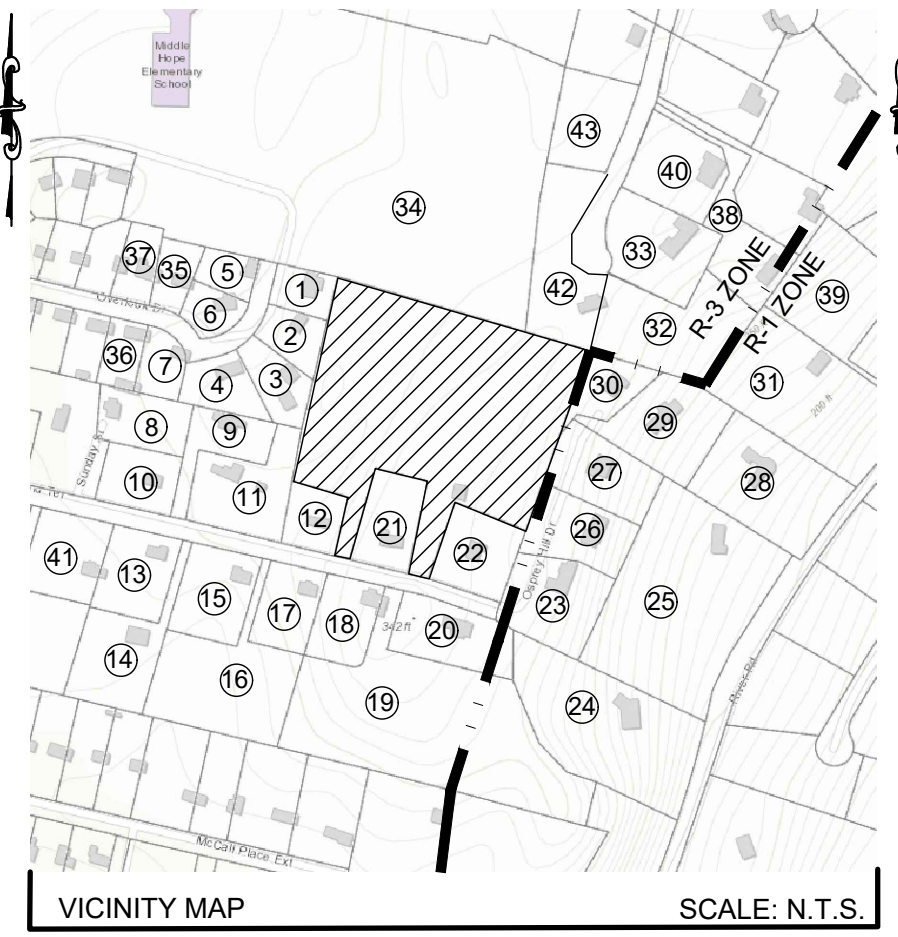
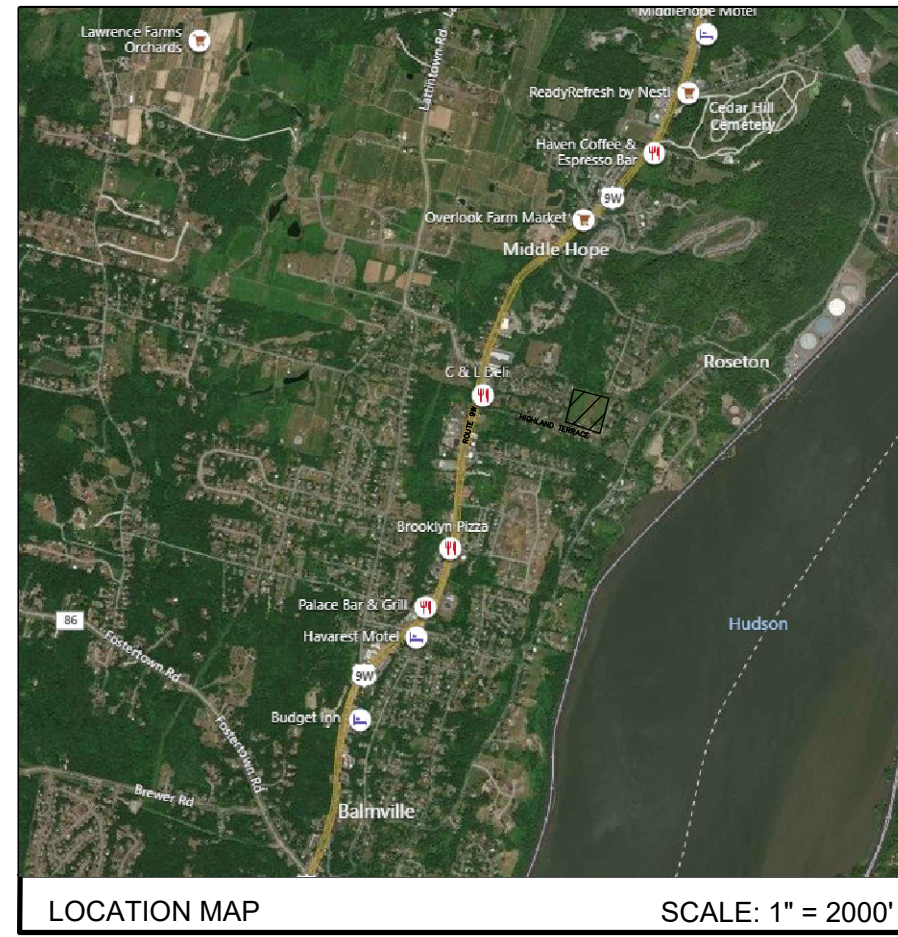
# LANDS OF BALDWIN FAMILY TRUST

## TWO-LOT SUBDIVISION

### HIGHLAND TERRACE

### TOWN OF NEWBURGH

### ORANGE COUNTY, NEW YORK



#### TOWN OF NEWBURGH WATER SYSTEM NOTES FOR SITE PLANS

- "CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH."
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8 INCH MAIN VALVE OPENING, TWO 2 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-1502N FOR 1/2 AND 1 INCH, MUELLER H-15000N OR B-25000N FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 1/2 AND 1 INCH AND MUELLER B-25204N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 1/2 AND 1 INCH AND MUELLER H-10310N FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

#### ADJOINING OWNERS WITHIN 500 FEET OF PROJECT SITE:

- |  |   |  |   |
|--|---|--|---|
| 1. Arnold and Rosemary Babcock<br>40 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-5-2                     | 12. Meghan McGuinness<br>71 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-40.21  | 23. Nidhi Khurana-Baugh<br>8 Osprey Hill Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-43.1  | 34. Middlehope School<br>21 Milton Turnpike Ste. 100<br>Marlboro, NY 12547<br>S-B-L: 9-3-30   |
| 2. Robert Haney Irrevocable Trust<br>Sean E. Joyce<br>38 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-5-3 | 13. Maurizio and Jennifer Lauria<br>54 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-81   | 24. Joseph and Jeanette Bonici<br>701 River Road<br>Newburgh, NY 12550<br>S-B-L: 9-3-41  | 35. Brandi L. Vanasco<br>27 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-4-8   |
| 3. Roland A. Brown II<br>Nikki R. Williams<br>920 Metcalf Ave Apt. 3K<br>Bronx, NY 10473<br>S-B-L: 10-5-4      | 14. Maurizio Lauria<br>54 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-83  | 25. David Eisenman<br>709 River Road<br>Newburgh, NY 12550<br>S-B-L: 9-3-43.4  | 36. Norman and Elizabeth Roberts<br>28 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-6-9  |
| 4. Randy A. Seligmann<br>Amanda J. Stillar<br>34 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-5-5         | 15. Ryan and Sabrina Tompkins<br>60 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-82  | 26. John T. Westerman Jr. Living Trust<br>Katherine A. Westerman Living Trust<br>14 Osprey Hill Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-43.2 | 37. Philomena Susan Mahood<br>Philomena Susan Mahood Revocable<br>Grantor Trust<br>25 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-4-9 |
| 5. John and Cynthia Palmer<br>31 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-4-6                         | 16. Primavera Developers LLC<br>70 Guernsey Drive<br>New Windsor, NY 12553<br>S-B-L: 20-2-84  | 27. Barbara B. Mills L.E.<br>Katherine B. Mills<br>18 Osprey Hill Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-80                                 | 38. Theresa M. Felicello<br>Alan L. Drobner<br>21 Bright Star Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-70.42                               |
| 6. Christian and Heather Cavanaugh<br>29 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-4-7                 | 17. Brian K Holliday<br>PO Box D4<br>325 Sherman Ave Apt<br>Peekskill, NY 10566<br>S-B-L: 20-2-5.13                                       | 28. Barry S. Hyman<br>Tsezana Simha<br>717 River Road<br>Newburgh, NY 12550<br>S-B-L: 9-3-44.2   | 39. Michael R. McGarvey<br>Revocable Trust<br>215 E 68th Street Apt. 11E<br>New York, NY 10065<br>S-B-L: 9-3-46.12                          |
| 7. Jill Baron<br>Jill Caputo Fka<br>30 Overlook Drive<br>Newburgh, NY 12550<br>S-B-L: 10-6-10                  | 18. John and Joan Martens<br>78 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-5.12  | 29. Shoib Aziz<br>Dr. Annie S. Aziz<br>22 Osprey Hill<br>Newburgh, NY 12550<br>S-B-L: 9-3-44.12  | 40. WPA Acquisition Corp<br>P.O. Box 211<br>Marlboro, NY 12542<br>S-B-L: 9-3-70.22  |
| 8. Richard L. Calley, Jr.<br>6 Sunday Street<br>Newburgh, NY 12550<br>S-B-L: 9-3-36.22                         | 19. David Dudley<br>Jessica Miller<br>2 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-85  | 30. Jae Joon Lee<br>Young Sun Lee<br>24 Osprey Hill Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-81   | 41. Wael Fakhoury<br>46 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-79  |
| 9. Kim S. Diamond<br>38 Warren Street<br>New York, NY 10007<br>S-B-L: 9-3-37                                   | 20. Alexander and Virginia Millar<br>80 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 20-2-5.11  | 31. Michael R. McGarvey Revocable Trust<br>215 E 68th Street Apt. 11E<br>New York, NY 10065<br>S-B-L: 9-3-45.1                                 | 42. Elapus Ltd.<br>PO Box 211<br>Marlboro, NY 12542<br>S-B-L: 9-3-70.52   |
| 10. Joseph P. Lezoli<br>2266 Route 300<br>Walkkill, NY 12589<br>S-B-L: 9-3-36.31                               | 21. Family Trust - Charles and Noreen Baldwin<br>Timothy Baldwin<br>75 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-39            | 32. Elapus Ltd.<br>PO Box 211<br>Marlboro, NY 12542<br>S-B-L: 9-3-70.51  | 43. Elapus Ltd.<br>PO Box 211<br>Marlboro, NY 12542<br>S-B-L: 9-3-48.12   |
| 11. Marcia and Guy Moguel<br>61 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-38                        | 22. Patricia Bewick Irrevocable Trust<br>Russell Bewick Irrevocable Trust<br>81 Highland Terrace<br>Newburgh, NY 12550<br>S-B-L: 9-3-40.1 | 33. Steven and Susan Pearl<br>31 Brooker Drive<br>Newburgh, NY 12550<br>S-B-L: 9-3-48.22   |   |

#### PARCEL INFORMATION

Address: Highland Terrace  
 TAX MAP No. Section 9, Block 3, Lot 40.22  
 LOT AREA: 8.23 Acres +/-  
 ZONING: R-3 (RESIDENTIAL)  
 PROPOSED USE: RESIDENTIAL  
 WATER: PUBLIC  
 SEWER: PRIVATE  
 SCHOOL DISTRICT: MARLBORO CENTRAL SCHOOL DISTRICT

#### BULK REGULATIONS FOR R-3 ZONE

	Minimum Required	Lot 1		Lot 2 (Proposed)	
		Existing	Proposed	Existing	Proposed
Lot Area (square feet)	15,000	358,421	209,537	--	148,884
Lot Width (feet)	100	652.7	379.6	--	271.3
Lot Depth (feet)	125	464.4	464.4	--	500
Front Yard (feet)	40	--	61	--	88
Rear Yard (feet)	40	--	289.3	--	152.8
1 Side Yard (feet)	15	--	54.2	--	91.5
Both Side Yards (feet)	30	--	54.2	--	91.5
Habitable Floor Area Per Dwelling Unit (square feet)	900	--	2,500	--	2,500
		Lot 1		Lot 2 (Proposed)	
	<u>Maximum Permitted</u>	Existing	Proposed	Existing	Proposed
Dwelling Units Per Acre	--	--	--	--	--
Lot Building Coverage (percent)	15%	--	1.20	--	1.70
Building Height (feet)	35	--	35	--	35
Lot Surface Coverage (percent)	30%	--	2.34	--	4.84

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
06-09-22	
01-03-21	
09-16-20	
2020.274	License No. 069646



#### DAY STOKOSA ENGINEERING P.C.

3 Van Wyck  
Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

PROJECT: Baldwin Family Trust - Two-lot  
Subdivision  
Town of Newburgh Orange County, New York

DRAWING: Title Sheet

SCALE: As Noted	DRAWN BY: DJD	DRAWING NO. TS.1
DATE: 07-13-20	CHECKED BY: MAD	1 of 7

#### Applicant

Michael Garrita  
73 Reservoir Road  
Marlboro, NY 12542

#### Owner

Baldwin Family Trust  
Charles Baldwin  
75 Highland Terrace  
Newburgh, NY 12550

#### Owner's Consent Note

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON

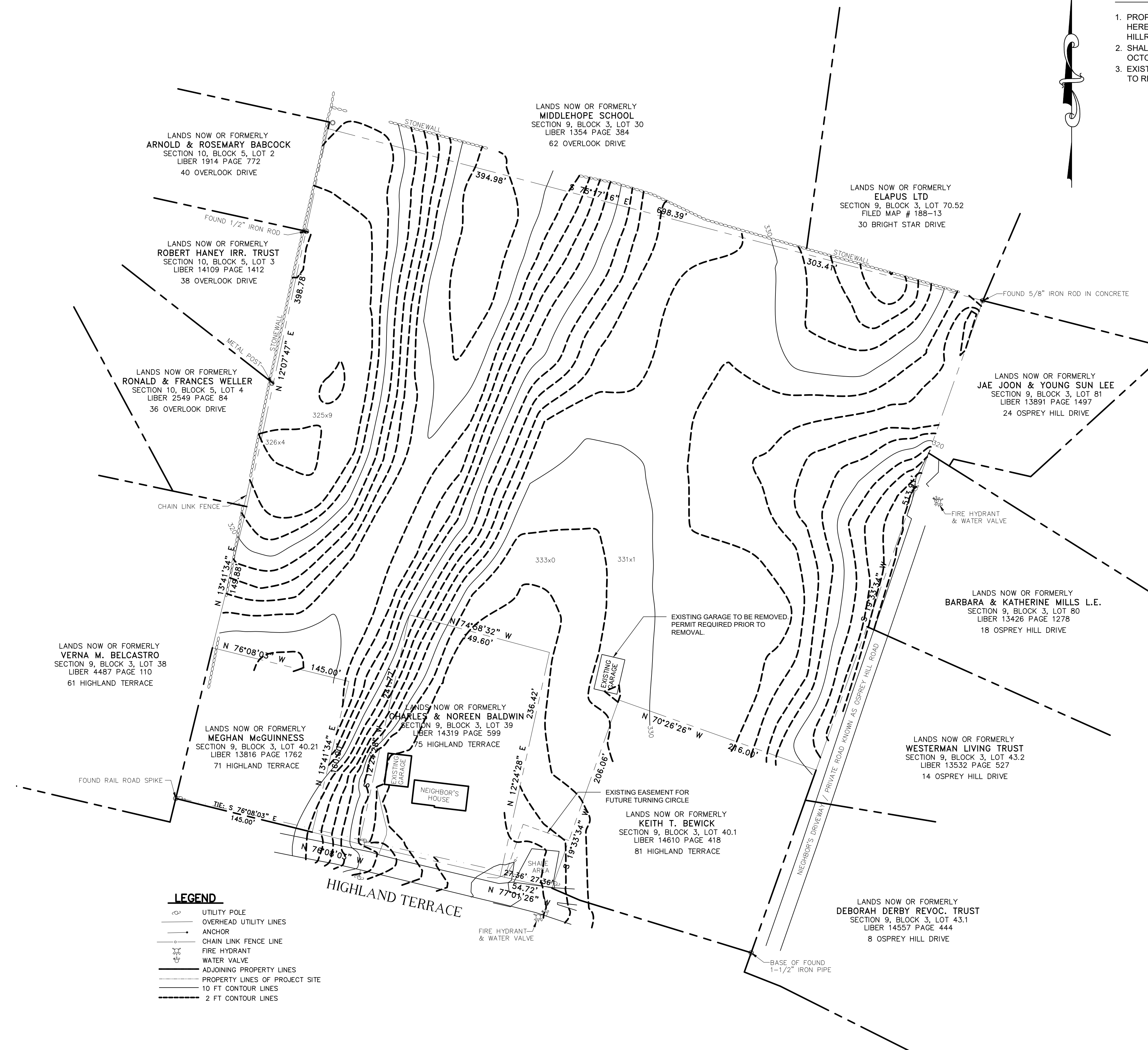
Baldwin Family Trust  
DATE

#### TOWN PLANNING BOARD TOWN OF NEWBURGH, NEW YORK



**SITE NOTES**

1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLRIEDEL L.S., DATED MAY 26, 2020.
2. SHALL ANY TREE CLEARING OCCUR, IT MUST TAKE PLACE BETWEEN OCTOBER 16 AND MARCH 31 TO PROTECT INDIANA BATS.
3. EXISTING ONSITE GARAGE TO BE REMOVED. A PERMIT IS REQUIRED PRIOR TO REMOVAL.



**LEGEND**

	UTILITY POLE
	OVERHEAD UTILITY LINES
	ANCHOR
	CHAIN LINK FENCE LINE
	FIRE HYDRANT
	WATER VALVE
	ADJOINING PROPERTY LINES
	PROPERTY LINES OF PROJECT SITE
	10 FT CONTOUR LINES
	2 FT CONTOUR LINES

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY IS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE N.Y. STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYORS INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SUBJECT TO AN UP TO DATE ABSTRACT OF TITLE.  
SUBJECT TO UNDERGROUND UTILITIES AND EASEMENTS NOT RECORDED AND/OR NOT VISIBLE AT THE TIME OF FIELD SURVEY.

CERTIFIED TO:  
BALDWIN FAMILY TRUST,  
THE TOWN OF NEWBURGH,

TO BE A TRUE SURVEY PERFORMED IN THE FIELD  
ON MAY 12, 2020.

MARGARET M. HILLRIEDEL L.S.  
N.Y.S. LIC. No. 50253

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
06-09-22	
01-03-21	
09-16-20	
Project No. 2020.274	License No. 069646

**DAY | STOKOSA**  
ENGINEERING P.C.

3 Van Wyck  
Lane Suite 2  
Wappingers Falls, New York  
(845)-223-3202

PROJECT: Baldwin Family Trust - Two-lot  
Subdivision  
Town of Newburgh Orange County, New York

Overall Site Plan - Existing Conditions

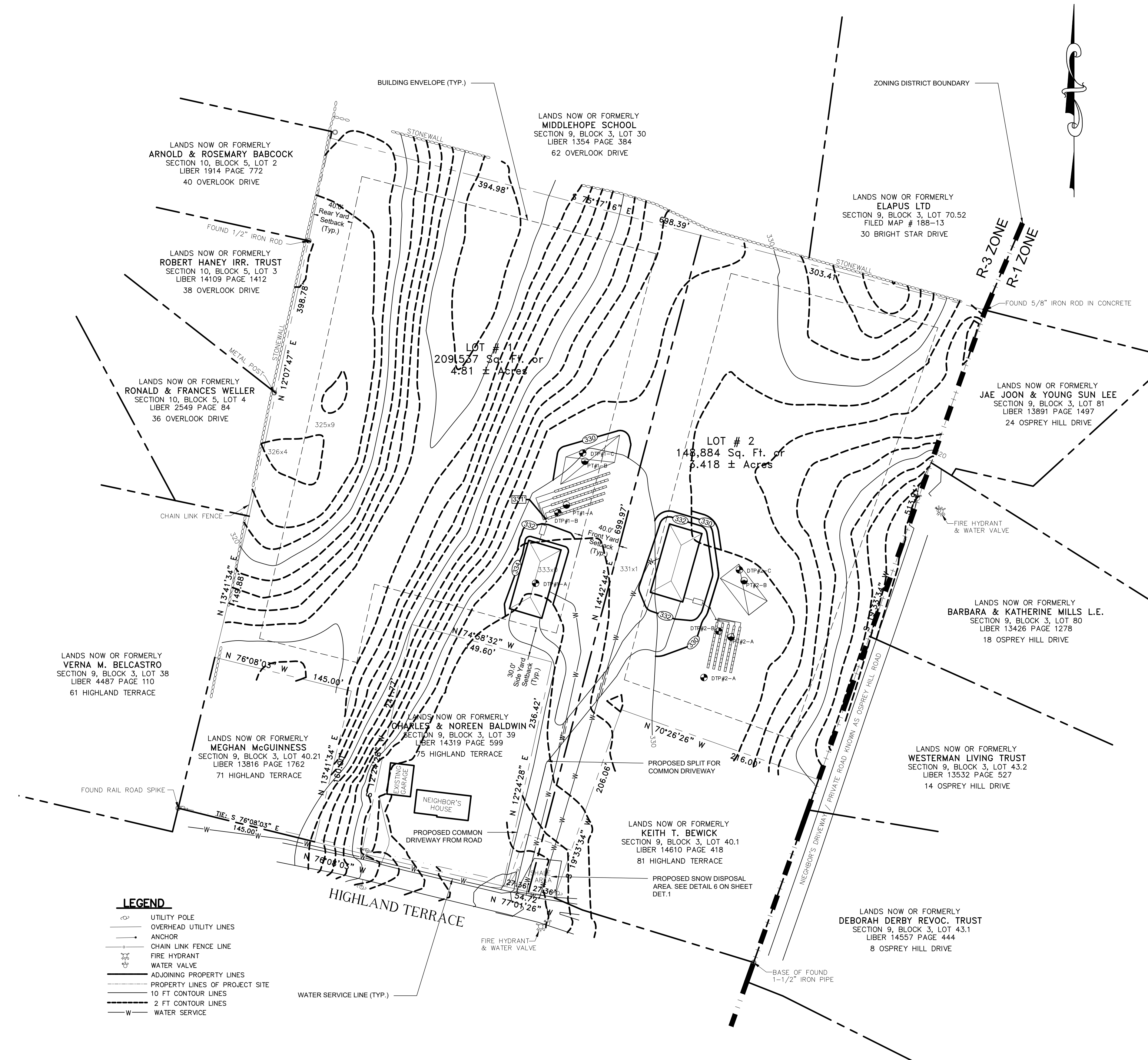
SCALE 1" = 60'	DRAWN BY DJD	DRAWING NO. EC.1
DATE 07-13-20	CHECKED BY MAD	2 of 7



**SITE NOTES**

1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLREIGEL L.S., DATED MAY 26, 2020.
2. PLEASE REFER TO SHEET SDS.1 FOR DETAILED DESIGN AND LAYOUT OF PROPOSED ONSITE WASTEWATER TREATMENT SYSTEMS.
3. SHALL ANY TREE CLEARING OCCUR, IT MUST TAKE PLACE BETWEEN OCTOBER 16 AND MARCH 31 TO PROTECT INDIANA BATS.
4. ANY SECTION OF WATER SERVICE LINE UNDER PROPOSED DRIVEWAYS TO HAVE AWWA-C-900 PIPE SLEEVE.

Estimated Fill (Cubic Yards)  
 Lot 1 304 yd<sup>3</sup>  
 Lot 2 (Proposed) 615 yd<sup>3</sup>



- LEGEND**
- UTILITY POLE
  - OVERHEAD UTILITY LINES
  - ANCHOR
  - CHAIN LINK FENCE LINE
  - ⊕ FIRE HYDRANT
  - ⊕ WATER VALVE
  - ADJOINING PROPERTY LINES
  - PROPERTY LINES OF PROJECT SITE
  - 10 FT CONTOUR LINES
  - 2 FT CONTOUR LINES
  - W — WATER SERVICE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
06-09-22	
01-03-21	
09-16-20	
2020.274	License No. 069646

**DAY | STOKOSA**  
 ENGINEERING P.C.

3 Van Wyck  
 Lane Suite 2  
 Wappingers Falls, New York  
 (845)-223-3202

PROJECT: Baldwin Family Trust - Two-lot Subdivision  
 Town of Newburgh Orange County, New York  
 DRAWING: Overall Site Plan - Proposed Conditions

SCALE	DRAWN BY	DRAWING NO.
1" = 60'	DJD	PC.1
DATE	CHECKED BY	
07-13-20	MAD	3 of 7



CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY IS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE N.Y. STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYORS INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SUBJECT TO AN UP TO DATE ABSTRACT OF TITLE.  
SUBJECT TO UNDERGROUND UTILITIES AND EASEMENTS NOT RECORDED AND/OR NOT VISIBLE AT THE TIME OF FIELD SURVEY.

CERTIFIED TO:  
BALDWIN FAMILY TRUST,  
THE TOWN OF NEWBURGH,

TO BE A TRUE SURVEY PERFORMED IN THE FIELD  
ON MAY 12, 2020.

MARGARET M. HILLRIEGEL L.S.  
N.Y.S. LIC. No. 50253



**SITE NOTES**

1. PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY PREPARED BY MARGARET M. HILLRIEGEL L.S., DATED MAY 26, 2020.

**LEGEND**

- UTILITY POLE
- OVERHEAD UTILITY LINES
- ANCHOR
- CHAIN LINK FENCE LINE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ADJOINING PROPERTY LINES
- PROPERTY LINES OF PROJECT SITE

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PROJECT: Baldwin Family Trust - Two-lot  
Subdivision  
Town of Newburgh Orange County, New York

**Plat Plan**

SCALE 1" = 60'	DRAWN BY DJD	DRAWING NO. <b>PP.1</b>
DATE 07-13-20	CHECKED BY MAD	4 of 7

**1 PLAT PLAN - EXISTING CONDITIONS**  
SCALE: 1" = 60'

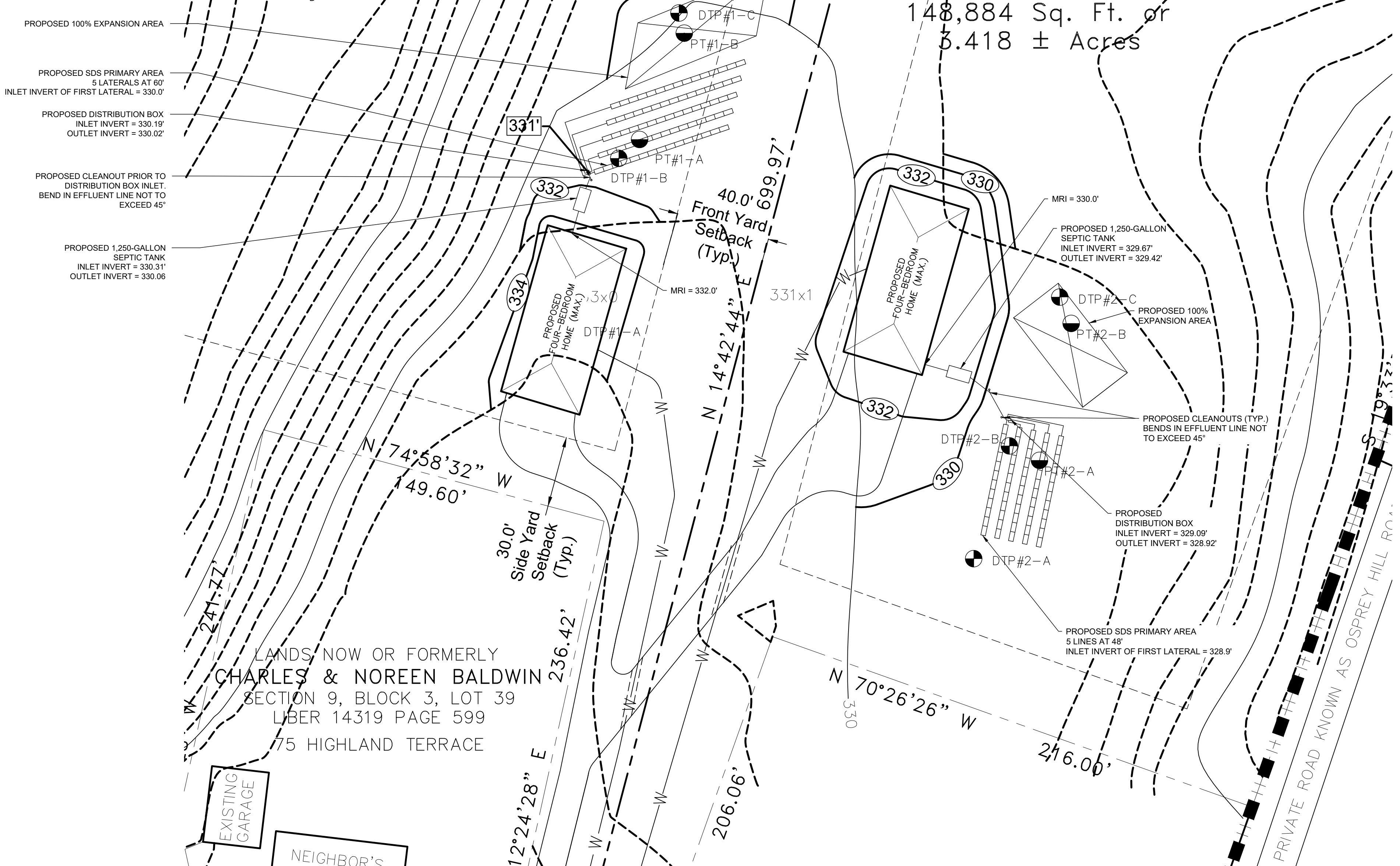
**2 PLAT PLAN - PROPOSED CONDITIONS**  
SCALE: 1" = 60'





LOT # 1  
209,537 Sq. Ft. or  
4.81 ± Acres

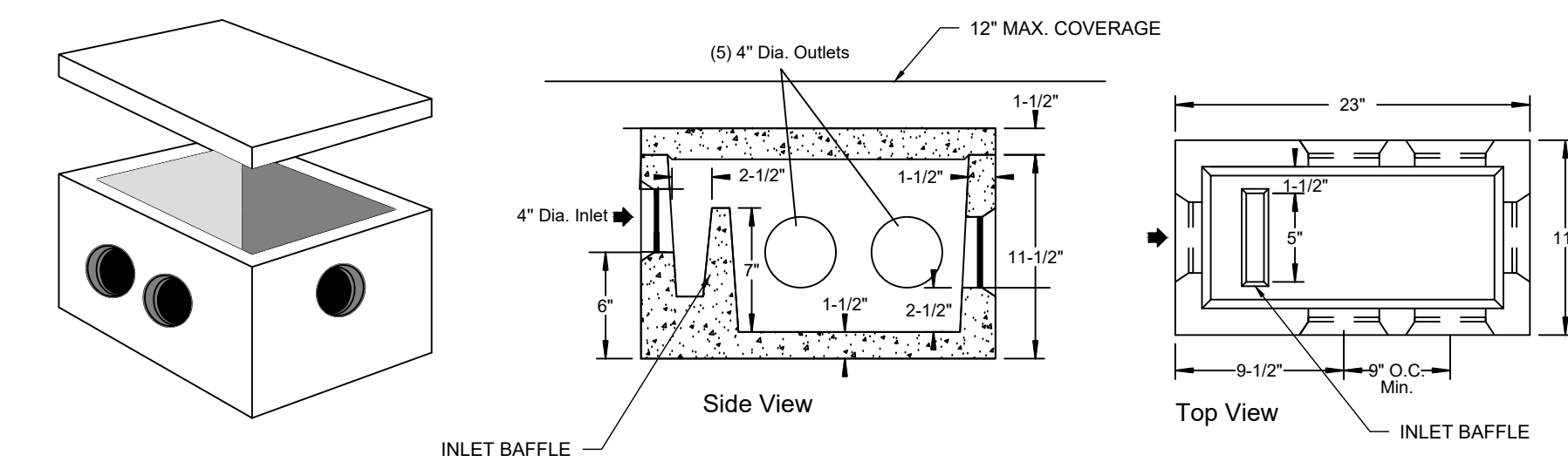
LOT # 2  
148,884 Sq. Ft. or  
3.418 ± Acres



1 PARTIAL SITE PLAN (PROPOSED SEPTIC SYSTEM LAYOUT)  
SCALE: 1" = 30'

SITE NOTES

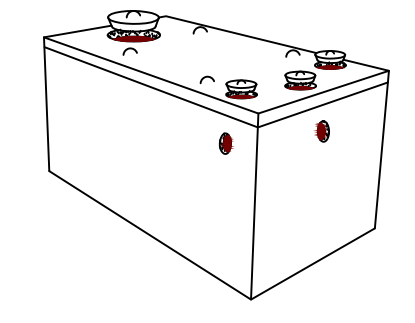
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- SHALL ANY TREE CLEARING OCCUR, IT MUST TAKE PLACE BETWEEN OCTOBER 16 AND MARCH 31 TO PROTECT INDIANA BATS.
- ANY SECTION OF WATER SERVICE LINE UNDER PROPOSED DRIVEWAYS TO HAVE AWWA-C-900 PIPE SLEEVE.



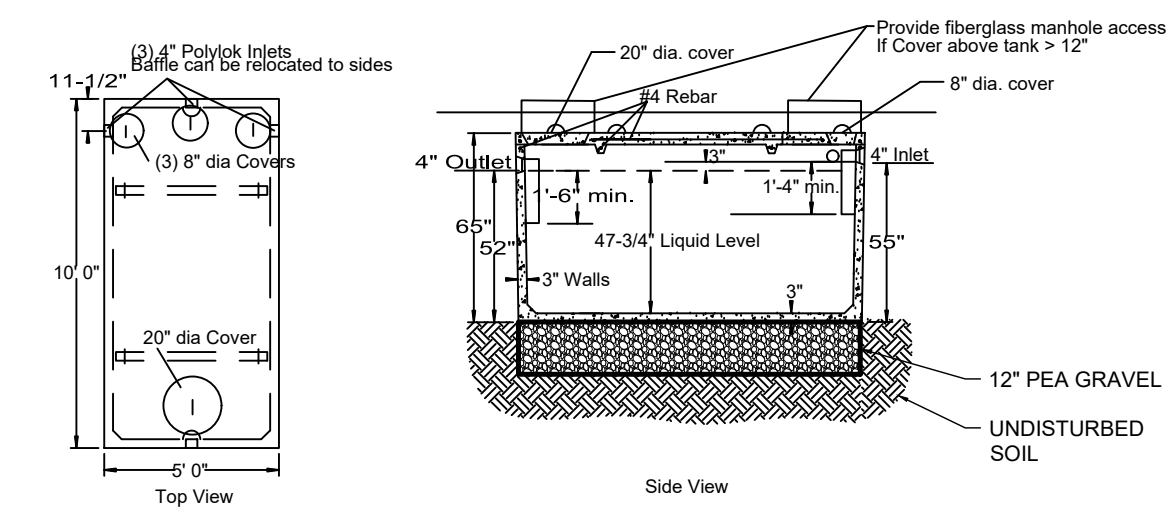
- NOTES:
- A MINIMUM OF 2' OF 4"Ø SOLID PIPE SHALL BE PROVIDED PRIOR TO THE START OF THE INFILTRATORS.
  - ALL OUTLETS SHALL BE AT THE SAME ELEVATION. ALL UNUSED OUTLETS MUST BE PLUGGED.
  - A BRICK Baffle SHALL BE PLACE AT THE INLET OPENING OF THE D-BOX.
  - A BED OF 12" OF PEA GRAVEL SHALL BE PROVIDED UNDER THE D-BOX.
  - THE INVERT ON THE INLET PIPE SHALL BE A MINIMUM OF 2" HIGHER THAN THE INVERT OF ANY OF THE OUTLETS.
  - SPEED LEVELERS SHALL BE PROVIDED IN DISTRIBUTION BOX.

PRECAST DISTRIBUTION BOXES MODEL DB-6WB / 5 OUTLETS W/BAFFLE	
SPECIFICATIONS	
Concrete Min. Strength:	4,000 psi at 28 days
Reinforcement:	Fiber
Air Entrainment:	5%
Pipe Connection:	Polylok Seal (patented)
Load Rating:	300 psf
Weight:	110 lbs

2 TYPICAL FIVE-OUTLET DISTRIBUTION BOX DETAIL  
NOT TO SCALE

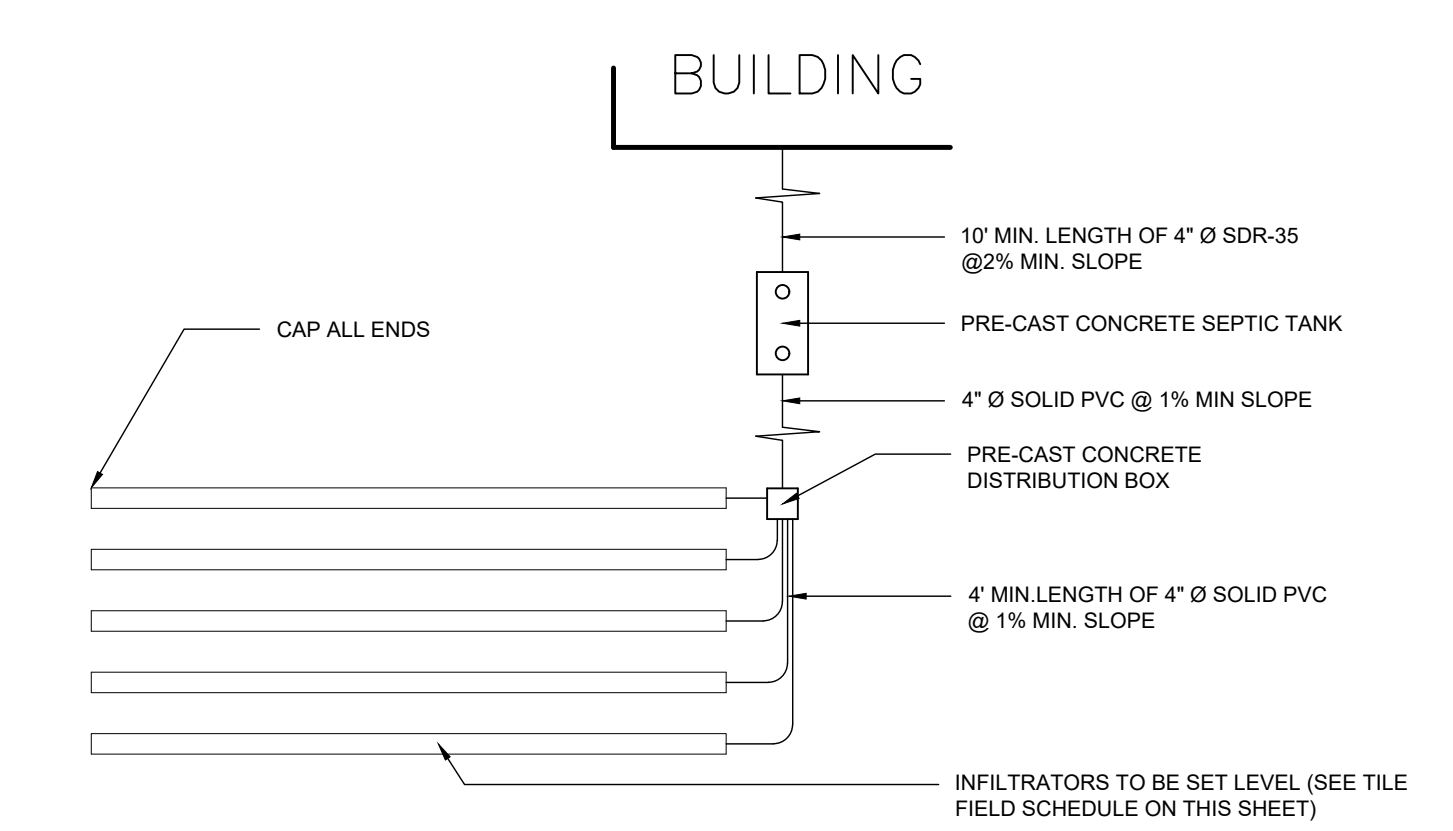


PRECAST SEPTIC TANKS MODEL ST-1250 / 1250 GALLONS	
SPECIFICATIONS	
Concrete Min. Strength:	4,000 psi at 28 days
Reinforcement:	#4 bar @ 6" On Center Ferro 5 Bar
Air Entrainment:	0%
Construction Joint:	Butyl Rubber Sealant
Pipe Connection:	Polylok Seal (patented)
Weight:	9,500 lbs
Load Rating:	300 psf



- NOTES:
- THE CONTRACTOR SHALL SEAL PENETRATIONS IN THE TANK SO THAT THE TANK IS WATERTIGHT.
  - THE TANK SHALL BE CONSTRUCTED FROM CONCRETE WHICH SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT A STANDARD 28 DAY COMPRESSIVE TEST.
  - WELDED WIRE FABRIC SHALL BE USED AS REINFORCEMENT FOR THE TANK.
  - TWO-PIECE TANKS SHALL BE SEALED WITH A BUTYL GASKET OR AS PER THE MANUFACTURER'S RECOMMENDATIONS.
  - THE CONTRACTOR SHALL SEAL THE JOINT BETWEEN THE TOP OF THE TANK & THE MANHOLE.
  - THE CONTRACTOR SHALL SEAL THE MANHOLES WITH A COAT OF BITUMASTIC SEALANT APPLIED TO THE SEAT OF THE MANHOLE.
  - THE FINISHED GRADE AROUND THE MANHOLE OPENINGS SHALL ENSURE THAT WATER WILL FLOW AWAY FROM THE LID.
  - IF COVER OVER SEPTIC TANK IS GREATER THAN 12", AN ACCESS-TO-GRADE MANHOLE SHALL BE INSTALLED. A LOCATION STAKE SHALL BE PROVIDED WHERE COVER IS LESS THAN 12".

3 TYPICAL 1,250-GALLON SEPTIC TANK DETAIL  
NOT TO SCALE



4 TYPICAL TILE FIELD DETAIL  
NOT TO SCALE

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PROJECT: Baldwin Family Trust - Two-lot  
Subdivision  
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Partial Site Plan - Proposed SDS Design and Layout

SCALE	OWNED BY	DRAWING NO.
As Noted	DJD	SDS.1
DATE	CHECKED BY	
07-13-20	MAD	

5 of 7



**SITE NOTES**

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**1 PARTIAL SITE PLAN - EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1" = 40'

- LEGEND**
- UTILITY POLE
  - OVERHEAD UTILITY LINES
  - ANCHOR
  - CHAIN LINK FENCE LINE
  - FIRE HYDRANT
  - WATER VALVE
  - ADJOINING PROPERTY LINES
  - PROPERTY LINES OF PROJECT SITE
  - 10 FT CONTOUR LINES
  - 2 FT CONTOUR LINES
  - DP DEEP TEST PIT LOCATION
  - PT PERCOLATION TEST HOLE LOCATION
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATIONS
  - TEMPORARY SILT FENCE
  - W WATER SERVICE

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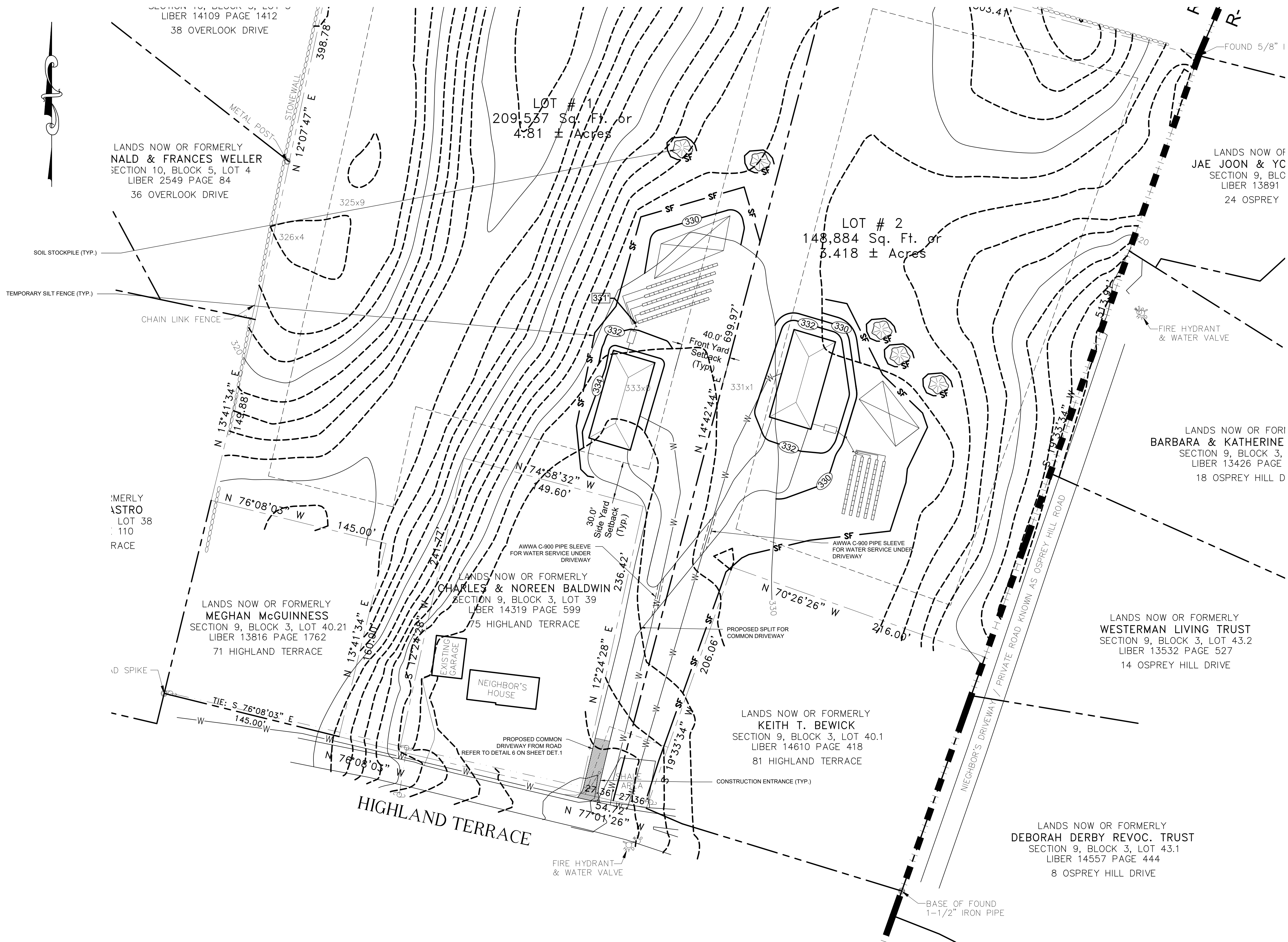
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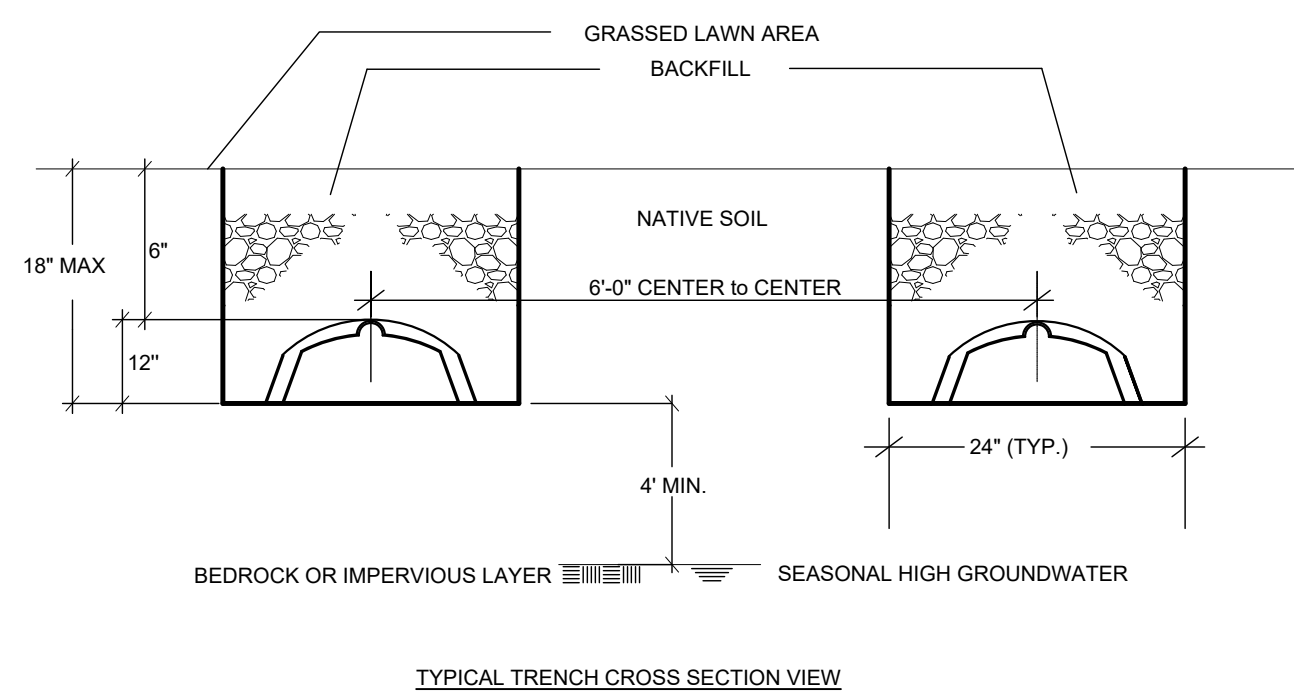
**PROJECT**  
Baldwin Family Trust - Two-lot Subdivision  
Town of Newburgh Orange County, New York

**DATE**  
Partial Site Plan - Erosion and Sediment Control Plan

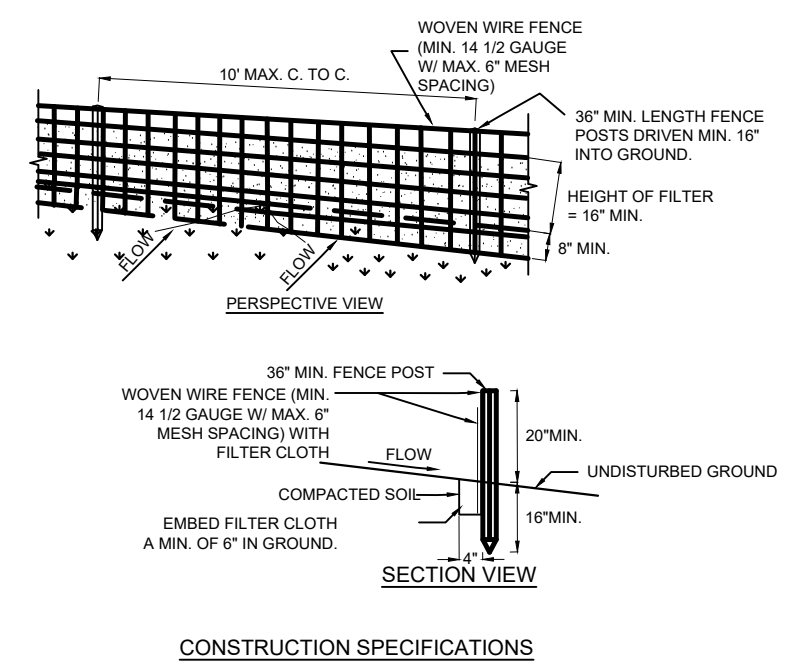
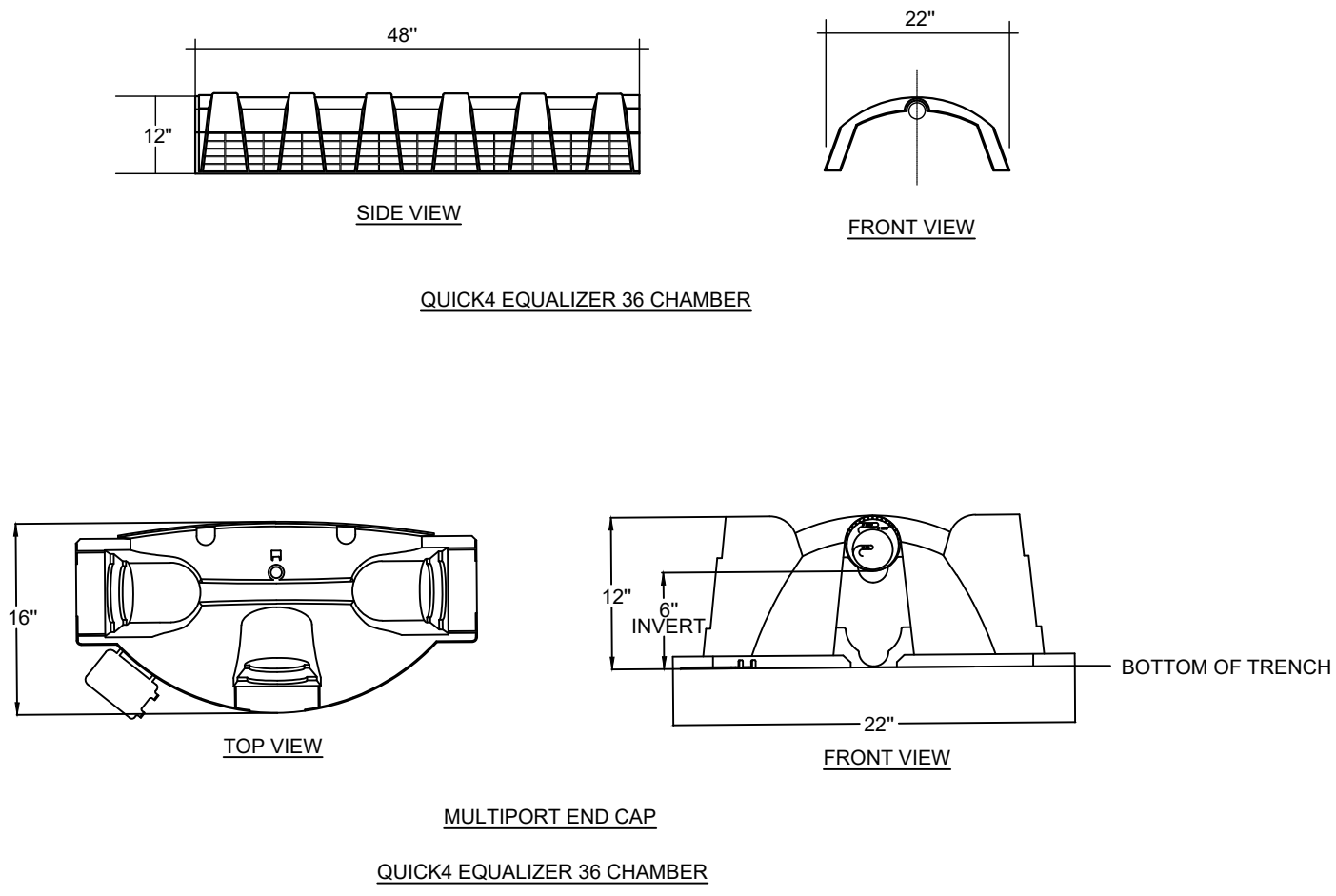
As Noted	DJD	<b>ESC.1</b> 6 of 7
07-13-20	MAD	



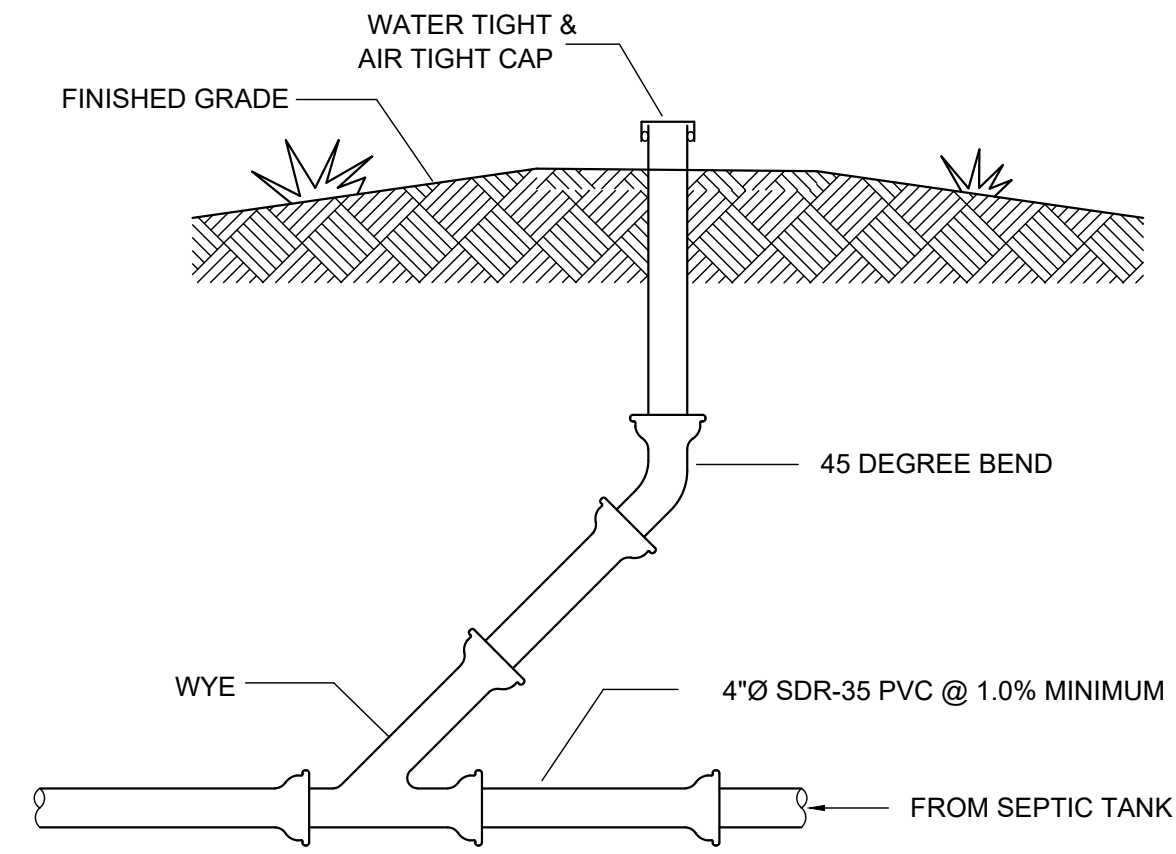




- CONSTRUCTION NOTES:**
- UNITS ARE TO BE QUICK4 EQUALIZER 36 INFILTRATOR.
  - TOPSOIL COVER IS TO BE PLACED OVER UNITS AS SHOWN. BACKFILL SHALL BE A MINIMUM OF 6" - 12" INCLUDING 4" OF TOPSOIL.
  - THE TOPSOIL LAYER SHALL BE SEEDED TO PROMOTE GRASS GROWTH.
  - UNITS TO BE SUPPLIED BY INFILTRATOR SYSTEMS INC., 9 OLD BUSINESS PARK ROAD, OLD SAYBROOK C.T. 06475.
  - UNITS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  - MANUFACTURE WEB SITE - [HTTP://WWW.INFILTRATORSYSTEMS.COM](http://www.infiltratorsystems.com)
  - CHANGES IN INFILTRATOR MODEL, MANUFACTURE/INSTALLATION REQUIREMENTS WILL REQUIRE RE-APPROVAL FROM THE OCHD.
  - TRENCHES ARE TO BE GRADED LEVEL.
  - INFILTRATORS ARE TO BE SET LEVEL.
  - A SPLASH PAD TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 1/2" GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

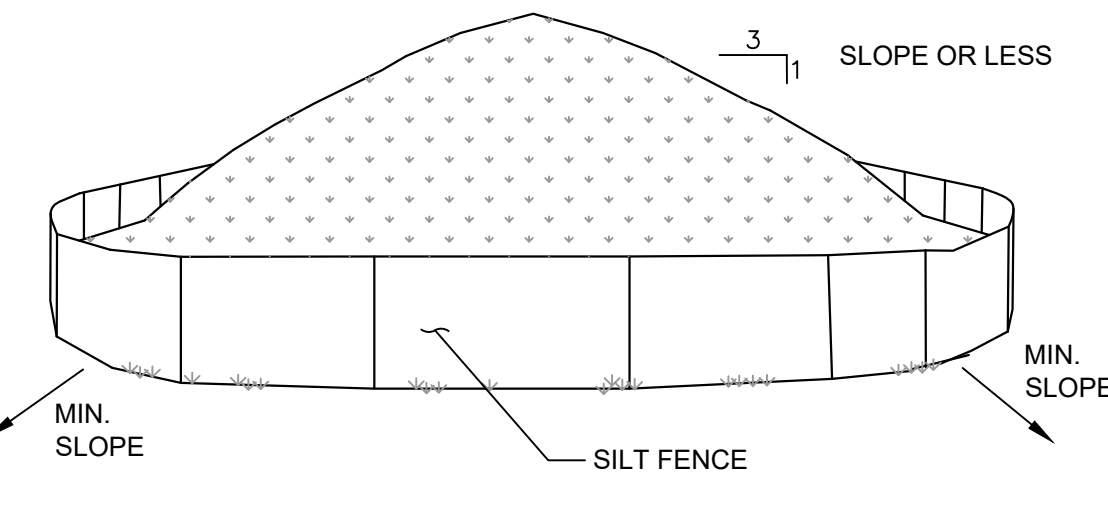


- NOTES:**
- CLEANOUT SHALL BE SPACED AT NO MORE THAN 75' INTERVALS.
  - CLEANOUTS SHALL BE PLACED AT ANY BENDS IN THE EFFLUENT LINE FROM THE SEPTIC TANK TO THE DISTRIBUTION BOX. BENDS SHALL NOT EXCEED 45°.

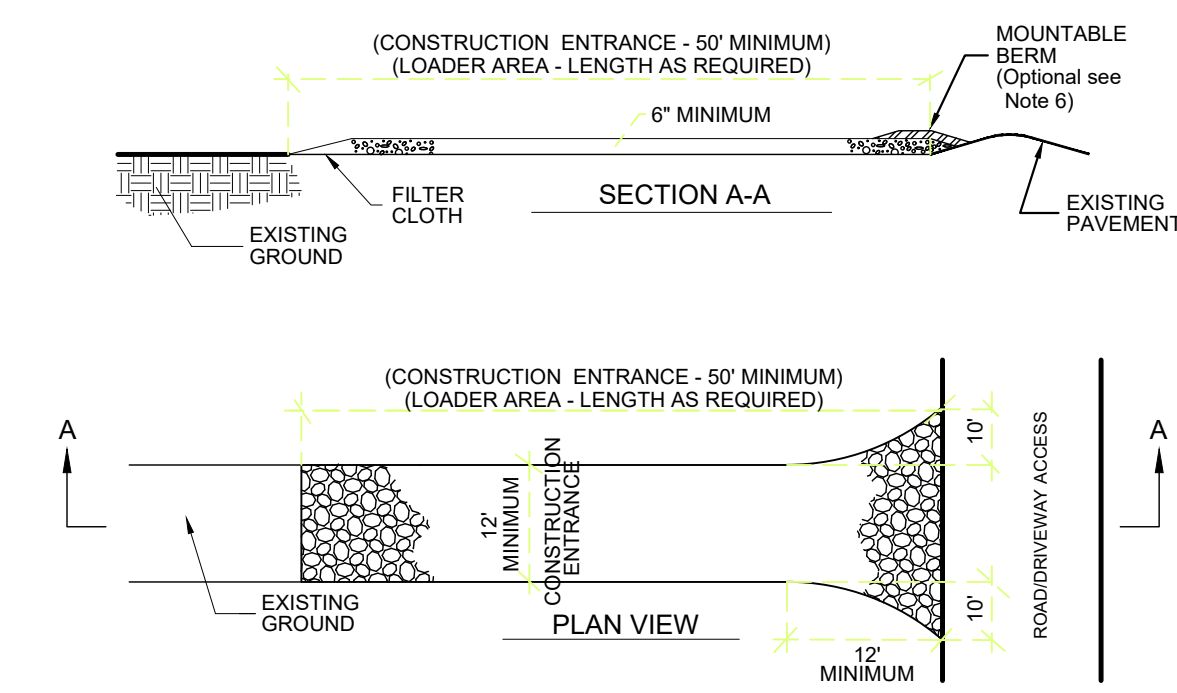
**1 TYPICAL INFILTRATOR DETAIL**  
NOT TO SCALE

**2 SILT FENCE DETAIL**  
NOT TO SCALE

**3 TYPICAL CLEAN OUT DETAIL**  
NOT TO SCALE



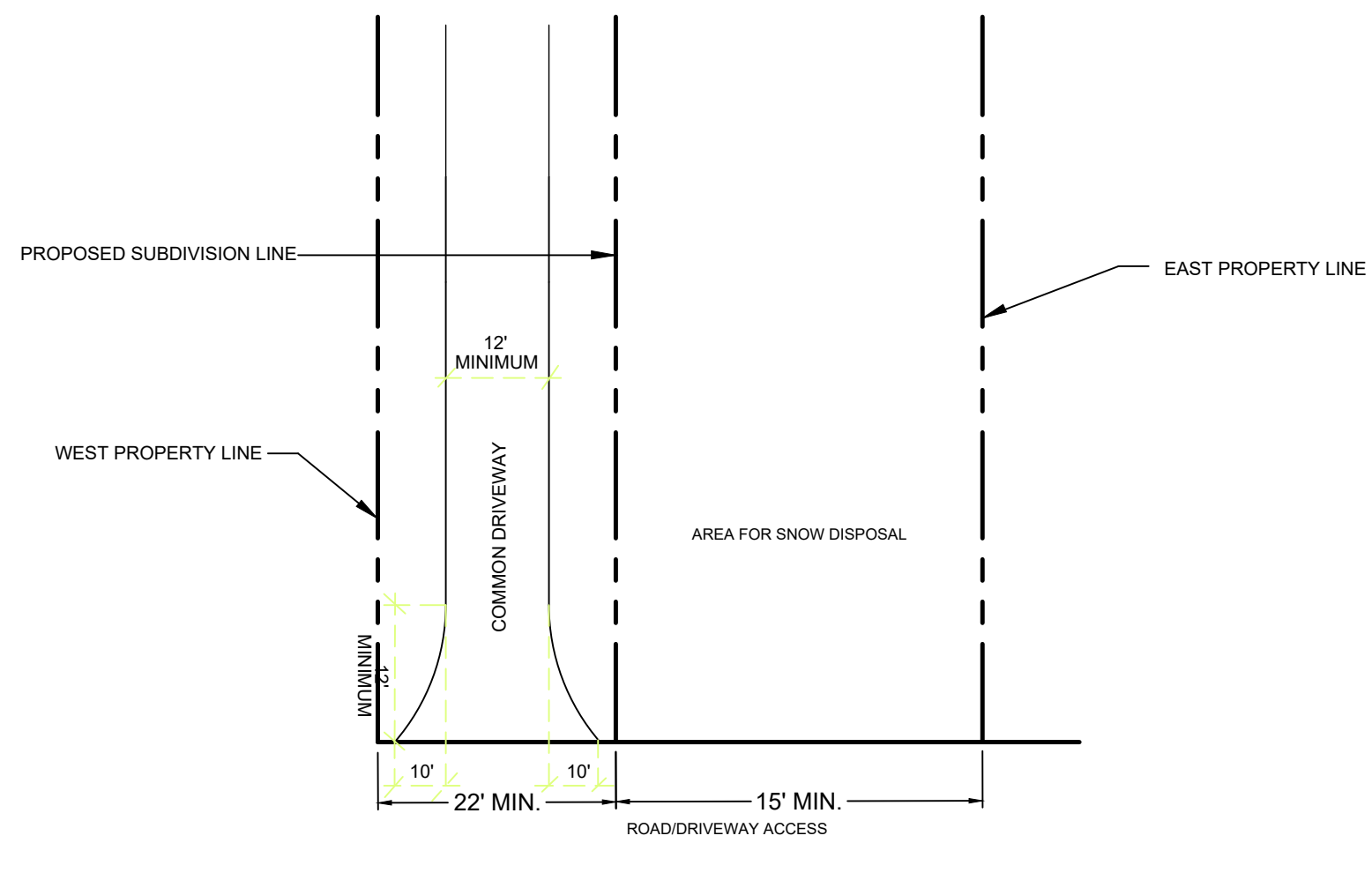
- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
  - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
  - HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.



- NOTES:**
- STONE SIZE - USE 2" MIN. STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - 25 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**4 TEMPORARY SOIL STOCKPILE DETAIL**  
NOT TO SCALE

**5 CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**6 COMMON DRIVEWAY LAYOUT DETAIL**  
NOT TO SCALE

Soil Test Schedule											
Deep Test Pits (Performed on July 8th, 2020)					Perc Test (Performed on July 14th, 2020)						
DTP No.	Lot	Soil Description	PT No.	Run Number (Min/In.)					Pre-Soaked	Depth	Application Rate
				1	2	3	4	5			
A	1	0'-6" Topsoil, 0'-6" - 6'-6" Silty gravelly loam w/traces of sand. No Rock or Groundwater	1-A	11	18.5	24	27	27	YES	30"	0.6
B		0'-6" Topsoil, 0'-6" - 2'-0" Silty gravelly loam, 2'-0" - 6'-8" Silty clay loam w/strands of gravel. No Rock or Groundwater	1-B	8.5	15	22	24	24	YES	30"	0.6
C		0'-6" Topsoil, 0'-6" - 3'-0" Silty gravelly loam, 3'-0" - 6'-6" Silty loam (compact). No Rock or Groundwater	2-A	7	12.5	16.5	16.5		YES	30"	0.7
A	2	0'-6" Topsoil, 0'-6" - 6'-6" Silty loam w/gravel and cobbles. No Rock or Groundwater	2-B	4.5	7	9	12	12	YES	30"	0.8
B		0'-6" Topsoil, 0'-6" - 2'-6" Silty gravelly loam, 2'-6" - 6'-6" Silty loam. No Rock or Groundwater									
C		0'-6" Topsoil, 0'-6" - 6'-8" Silty gravelly loam w/traces of sand. No Rock or Groundwater									

Field Schedule											
Lot	Proposed	Required Tile Field Length For Use (4-Bedroom House 440 Gal/Day)	Cut-out System	Fill Required	Trench Width	Lateral Spacing	Drop Box	Curtain Drain	Min. raw Invert	Septic Tank Size (Gal.)	No. & Length of Laterals
Lot 1	Proposed Primary	300 Lineal Feet	No	None	2'-0"	6'-0"	No	None	332.00'	1,250	5 Lines @ 60 Feet
	Proposed Expansion	300 Lineal Feet	No	None	2'-0"	6'-0"	No	None	332.00'	1,250	5 Lines @ 60 Feet
Lot 2	Proposed Primary	240 Lineal Feet	No	None	2'-0"	6'-0"	No	None	330.00'	1,250	6 Lines @ 48 Feet
	Proposed Expansion	240 Lineal Feet	No	None	2'-0"	6'-0"	No	None	330.00'	1,250	6 Lines @ 48 Feet

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Town of Newburgh		Orange County, New York
Construction Details		
SCALE	DRAWN BY	DRAWING NO.
As Noted	DJD	DET.1
DATE	CHECKED BY	
07-13-20	MAD	7 of 7