

McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA) MICHAEL W. WEEKS, P.E. (NY, NJ & PA) MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT) PATRICK J. HINES LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA) Main Office 33 Airport Center Drive Suite 202 New Windsor, New York 12553

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Principal Emeritus: RICHARD D. McGOEY, P.E. (NY & PA) WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

### TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT:FLETCHER DRIVE SUBDIVISION (EAST ROCK CORP)PROJECT NO.:2018-11PROJECT LOCATION:SECTION 93, BLOCK1, LOT 64.5REVIEW DATE:29 NOVEMER 2018MEETING DATE:6 DECEMBER 2018PROJECT REPRESENTATIVE:MASER CONSULTING

 The project is before the Board for a Public Hearing on the 6<sup>th</sup> December meeting. No response has been received to our 25 October 2018 comments for the 1 November 2018 meeting. Plans and additional information must be submitted addressing the previous comments as well as any substantive comments received at the Public Hearing.

Respectfully submitted,

McGoey, Hauser and Edsall Consulting Engineers, D.P.C.

Patrick J. Hines Principal

Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •





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### TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT:FLETCHER DRIVE SUBDIVISION (EAST ROCK CORP)PROJECT NO.:2018-11PROJECT LOCATION:SECTION 93, BLOCK1, LOT 64.5REVIEW DATE:25 OCTOBER 2018MEETING DATE:1 NOVEMBER 2018PROJECT REPRESENTATIVE:MASER CONSULTING

- 1. The survey plan must be incorporated into the plan set and identified as such on the cover sheet and sheet numbers.
- 2. Sheet #2 of 8 is identified as a Demolition Plan. It is unclear if any structures are proposed to be demolished.
- 3. Common Driveway access and maintenance agreement for proposed lots #2 & 4 must be submitted to Mike Donnelly's office for review and approval.
- 4. Standard details for connection to the Town of Newburgh's water system as well as standard water system connection notes must be incorporated into the plan sheets.
- A Stormwater Pollution Prevention Plan for residential lots less than 25% impervious, less than 5 acres disturbance has been provided consisting of an Erosion and Sediment Control Plan. Coverage under the NYSDEC stormwater permit is required.
- 6. The Applicant's representative are requested to evaluate the size of the proposed water services based on the distance from the main proposed.
- Based on the input from the NYSDEC tree clearing is identified with a seasonal restriction to protect potential impacts to Bat species. Notes should be added to the plan clearly identifying the time frames for tree clearing permitted on the individual lots.
- 8. Highway Superintendent's comments on the driveway locations should be received.

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*McGoey, Hauser and Edsall Consulting Engineers, D.P.C.* 

Patrick J. Hines Principal

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Engineers Planners Surveyors Landscape Architects Environmental Scientists

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	www:maserconsulfing:com			
October 1, 2018	OCT 3 2018			
VIA HAND DELIVERY				

Chairman John Ewasutyn Town of Newburgh Planning Board

308 Gardnertown Road Newburgh, NY 12550

Re: East Rock Corp. - Fletcher Drive Subdivision SBL: 93-1-64.5 Town of Newburgh, Orange County, New York MC Project No. 08001020B

Dear Chairman Ewasutyn:

Below please find our responses to a comment letter received from McGoey, Hauser and Edsall dated June 28, 2018. The comments have been repeated here for clarity.

- Comment 1: The project proposes a four-lot subdivision of an existing 8.14+/- acre of property. One residential structure is currently under construction on the site. Site is proposed to be served by municipal water and on site subsurface septic systems.
- Response 1: Comment noted.
- Comment 2: Proposed Lots 3 &4 are identified as having a common driveway access and maintenance agreement will be required.
- Response 2: The layout has been revised such that lots 2 & 4 now share a common driveway. We will have an access & maintenance agreement drafted and submitted to the Town Attorney for approval at a later date.
- Comment 3: An encroachment onto proposed Lot 4 exists in the vicinity of the proposed driveway identified as a "rock patio and fish pond encroachment". This must be addressed with the adjoining property during the subdivision process. While this would normally be a private matter between the property owners the only location for the driveway serving Lot 4 is restricted by the current encroachment.
- The layout has been revised so the above-mentioned encroachment will no longer Response 3: be affected by the proposed development.
- Comment 4: Standard town water details and notes will be required in addition to standard town subsurface sanitary sewer disposal designs and notes.



- 5

Chairman Ewasutyn MC Project No. 08001020B October 1, 2018 Page 2 of 2

- Response 4: Water & sewer details and notes have been added to the current plans provided with this submission.
- Comment 5: The Applicants are requested to confirm water exists within the dead-end portion of Fletcher Drive. No hydrants are depicted on the survey maps submitted.
- Response 5: Based on discussions with the Town, it is our understanding that water is not present in the dead-end portion of Fletcher Drive. Therefore, the water services for the proposed lots are connected to the main that is present within Fletcher Drive North.
- Comment 6: Driveway approval from the Highway Superintendent will be required.
- Response 6: Comment noted.
- Comment 7: Two Endangered Species are identified in the EAF, Indiana Bat and Upland Sandpiper. Impacts to these species must be addressed. Initially an inquiry to the NYSDEC Natural Heritage Group should be made.
- Response 7: We requested further review by NYSDEC NHP and they provided the attached response letter. See attached copy of letter. No records of rare or state listed species or significant natural communities at the project site were found. An off-site summer location for Indiana Bat was mentioned in the NYSDEC NHP letter. Limiting times to clear the trees on site is proposed to address this.
- Comment 8: Further review will be undertaken upon submission of detailed plans and designs,
- Response 8: More detailed plans and SWPPP have been included with this submission.

We request to be placed on the next available Planning Board agenda to further discuss the project. If you have any questions, please feel free to call me at 845.564.4495, extension 3804.

Very truly yours,

MASER CONSULTING P.A.

Justin E. Dates, RLA Associate

JED/pa Enclosures

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### AFFIDAVIT OF POSTING(S) OF NOTICE OF PUBLIC HEARING AT THE PROPERTY

### STATE OF NEW YORK: COUNTY OF ORANGE:

I Justin Dates Arta	, being duly sworn, depose and say that I did on
or before <u>September 5</u>	2018 post and will thereafter maintain at
Fletcher Drive	in the Town of Newburgh, New York, at or near the front
property line(s) and within view of ea	ach fronting street a copy(ies) of the Notice of Public Hearing,
which notice was in the form attached	l hereto.

Sworn to before me this \_\_5\_ day of \_September\_, 2018\_.

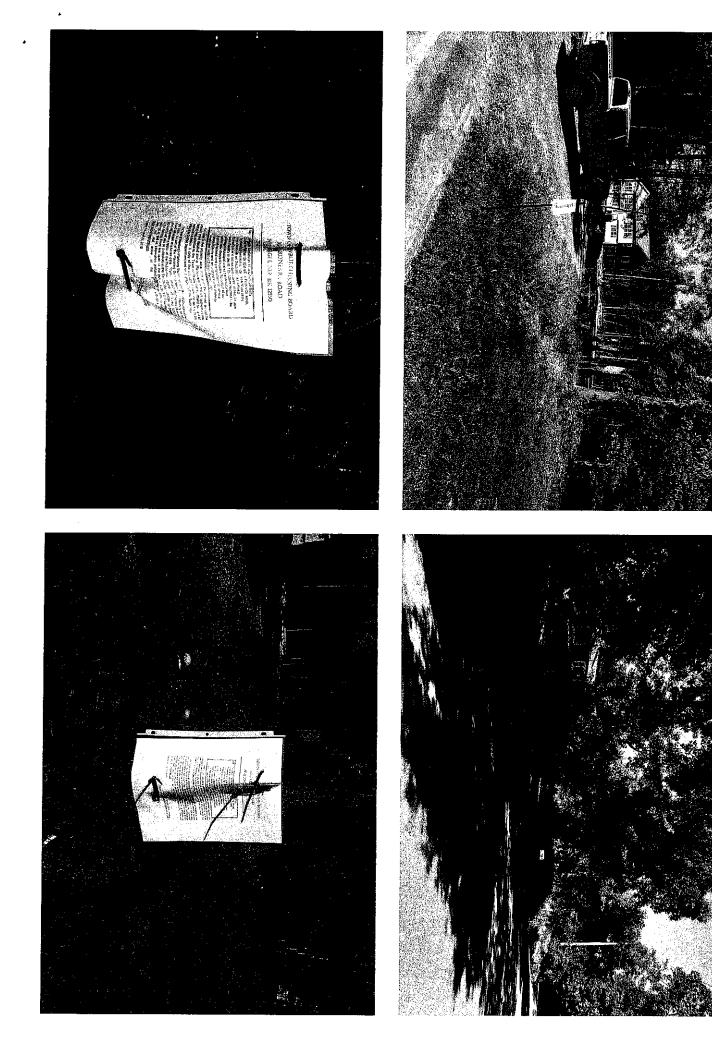
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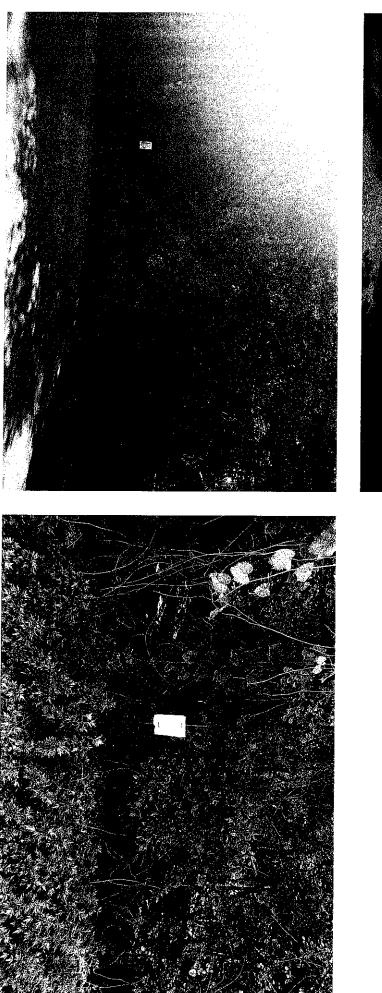
Notary Public

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JOANNE MUNKELT Notary Public, State of New York No. 01MU6295421 Qualifed in Orange County Commission Expires Jan. 6, 2022

[Photograph(s) of the posted Public Hearing Notice(s) must be submitted by the applicant with this affidavit.]







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### NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Fish and Wildlife, New York Natural Heritage Program 625 Broadway, Fifth Floor, Albany, NY 12233-4757 P: (518) 402-8935 I F: (518) 402-8925 www.dec.ny.gov

September 24, 2018

Cory Robinson Maser Consulting 555 Hudson Valley Avenue, Suite 101 New Windsor, NY 12553

Re: Fletcher Drive Subdivison (East Rock Corp.) County: Orange Town/City: Newburgh

Dear Mr. Robinson:

In response to your recent request, we have reviewed the New York Natural Heritage Program database with respect to the above project.

We have no records of rare or state-listed animals or plants, or significant natural communities at the project site.

Within one mile of the project site is a documented summer location of **Indiana bat** (*Myotis sodalis*, state and federally listed as Endangered). These bats may travel 2.5 miles or more from documented locations. The main impact of concern for bats is the cutting or removal of potential roost trees. For information about any permit considerations for your project, please contact the Permits staff at the NYSDEC Region 3 Office at dep.r3@dec.ny.gov, (845) 256-3054.

For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other resources may be required to fully assess impacts on biological resources.

For information regarding other permits that may be required under state law for regulated areas or activities (e.g., regulated wetlands), please contact the NYS DEC Region 3 Office, Division of Environmental Permits, as described above.

Sincerely,

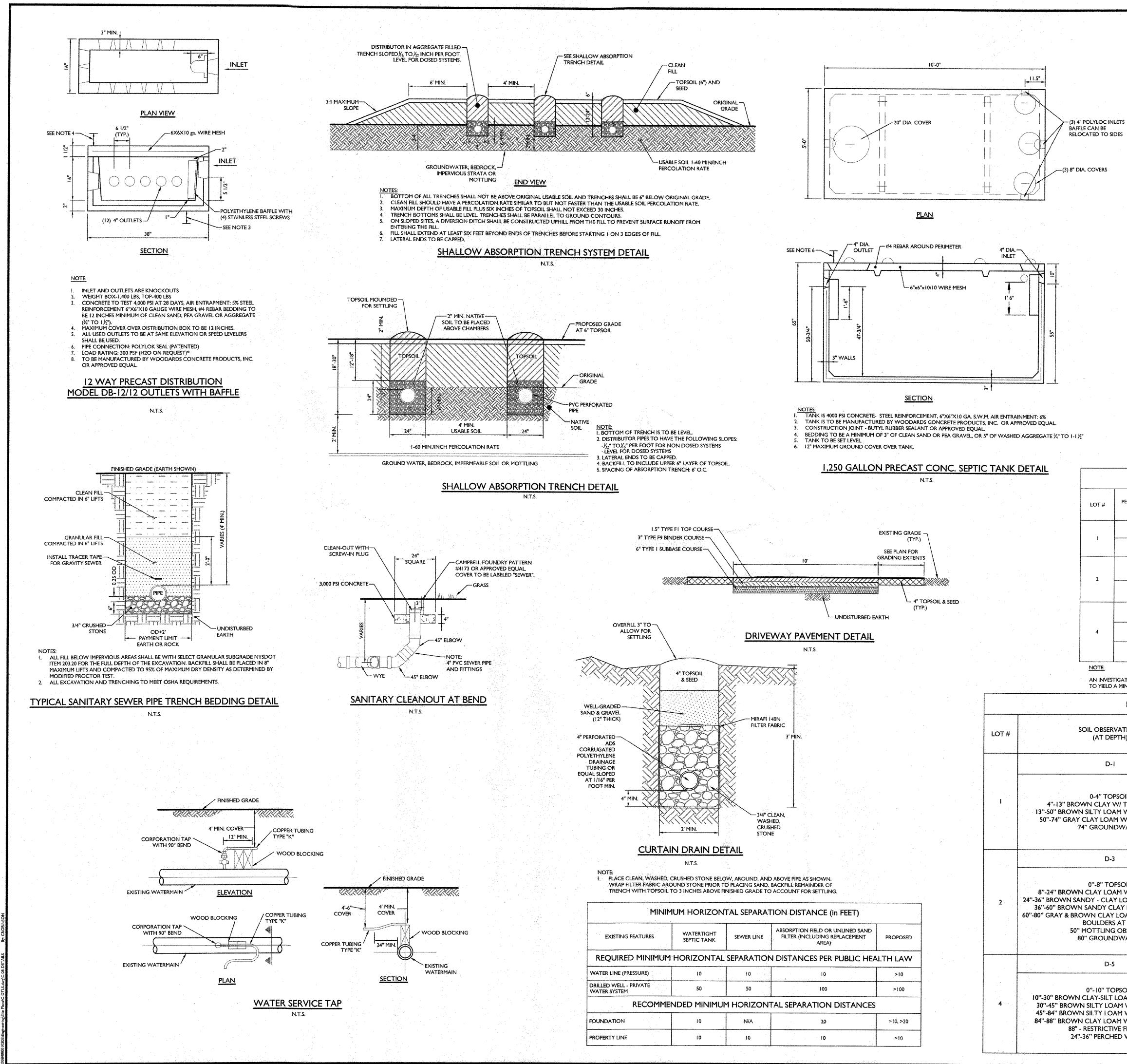
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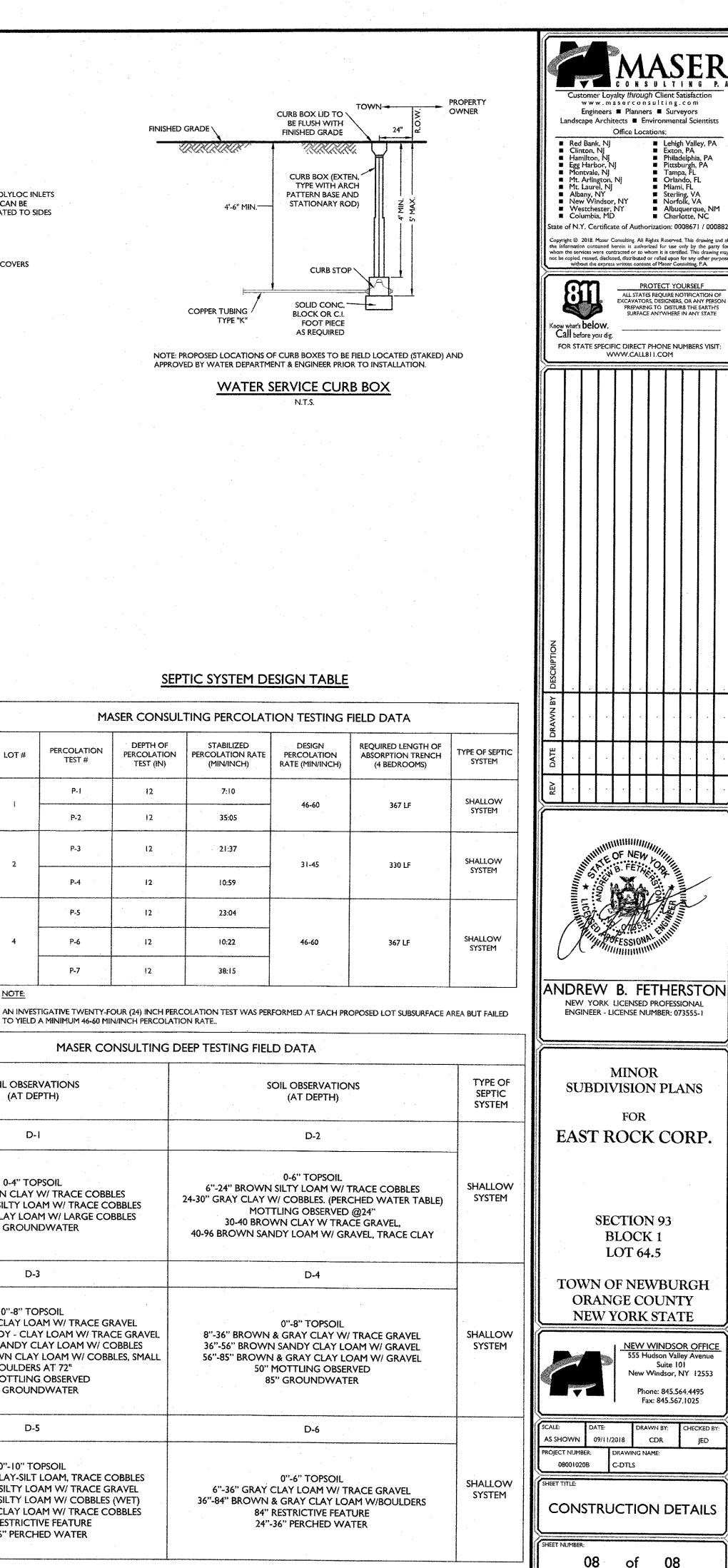
Nicholas Conrad Information Resources Coordinator New York Natural Heritage Program





Department of Environmental Conservation





DEPTH OF PERCOLATION PERCOLATION TEST # TEST (IN) P-1 P-2 P-3 P-4 P-5 P-6 P-7

AN INVESTIGATIVE TWENTY-FOUR (24) INCH PERCOLATION TEST WAS PERFORMED AT EACH PROPOSED LOT SUBSURFACE AREA BUT FAILED

MASER CONSULTING	DEEP TESTING FIELD DATA	
'ATIONS TH)	SOIL OBSERVATIONS (AT DEPTH)	TYPE OF SEPTIC SYSTEM
SOIL V/ TRACE COBBLES M W/ TRACE COBBLES 1 W/ LARGE COBBLES WWATER	D-2 0-6" TOPSOIL 6"-24" BROWN SILTY LOAM W/ TRACE COBBLES 24-30" GRAY CLAY W/ COBBLES. (PERCHED WATER TABLE) MOTTLING OBSERVED @24" 30-40 BROWN CLAY W TRACE GRAVEL, 40-96 BROWN SANDY LOAM W/ GRAVEL, TRACE CLAY	SHALLOW SYSTEM
SOIL M W/ TRACE GRAVEL LOAM W/ TRACE GRAVEL AY LOAM W/ COBBLES LOAM W/ COBBLES, SMALL AT 72" OBSERVED WATER	D-4 0"-8" TOPSOIL 8"-36" BROWN & GRAY CLAY W/ TRACE GRAVEL 36"-56" BROWN SANDY CLAY LOAM W/ GRAVEL 56"-85" BROWN & GRAY CLAY LOAM W/ GRAVEL 50" MOTTLING OBSERVED 85" GROUNDWATER	SHALLOW SYSTEM
PSOIL OAM, TRACE COBBLES M W/ TRACE GRAVEL M W/ COBBLES (WET) M W/ TRACE COBBLES /E FEATURE D WATER	D-6 O"-6" TOPSOIL 6"-36" GRAY CLAY LOAM W/ TRACE GRAVEL 36"-84" BROWN & GRAY CLAY LOAM W/BOULDERS 84" RESTRICTIVE FEATURE 24"-36" PERCHED WATER	SHALLOW SYSTEM

### GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS

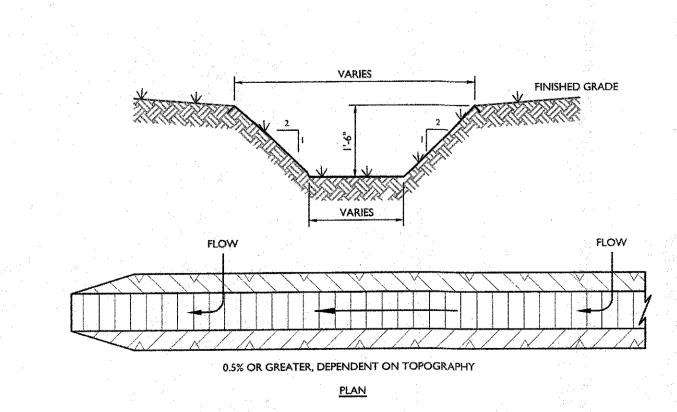
ESTABLISHED.

- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS FOR DISTURBANCES LESS THAN FIVE (5) ACRES AND FIVE (5) DAYS FOR DISTURBANCES GREATER THAN FIVE (5) ACRES, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 3. PERMANENT VEGETATION TO BE SEEDED ON ALL EXPOSED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL
- 5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
- 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD. AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- 8. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE
- 9. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- 10. UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS
- 11. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- 12. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
- 13. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- 14. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN.
- 15. CONCRETE WASHOUT, DUMPSTER, & STAGING AREA LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED AT THE PRE-CONSTRUCITON MEETING. THEY SHALL BE PLACED IN THE PROXIMITY OF THE CONSTRUCTION ENTRANCE AND STAGING AREAS AND SHALL BE USED PRIOR TO EXITING THE PROJECT SITE. THE LOCATION SHALL BE IN A PRACTICAL, CLEARLY DELINEATED, AREA AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 16. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
- 17. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL BECOME THEIR RESPONSIBILITY.
- 18. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
- 19. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.
- 20. ALL TEMPORARY, STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED, WHEN ALL CONSTRUCTION ACTIVITY IDENTIFIED IN THE SWPPP HAS BEEN COMPLETED, ALL AREAS OF DISTURBANCE HAVE ACHIEVED FINAL STABILIZATION\*\* AND ALL POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE SWPPP AND ARE OPERATIONAL.

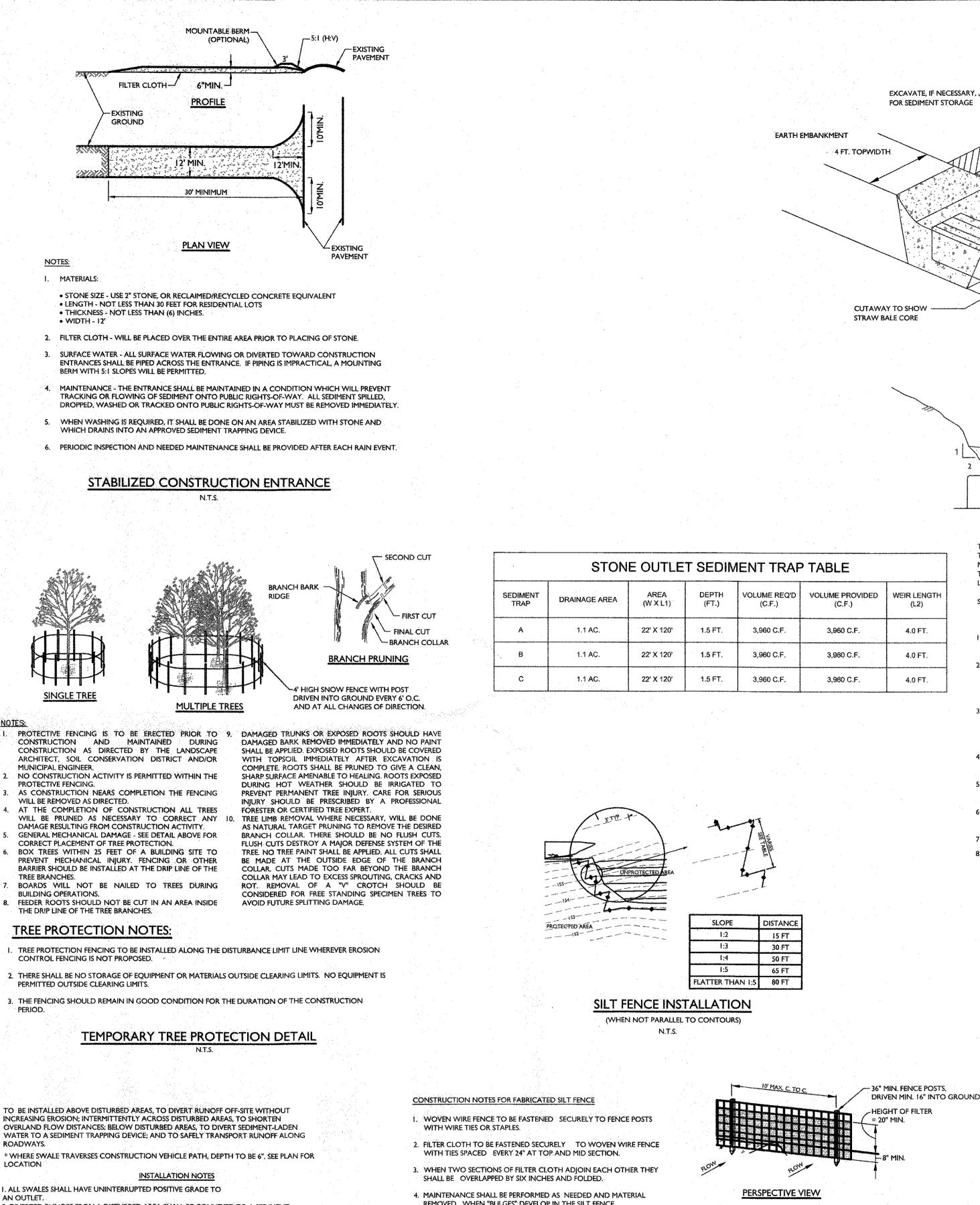
\*\*FINAL STABILIZATION - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM. PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED: OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

MAINTENANCE PLAN DURING CONSTRUCTION:

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-15-002. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. THE SEDIMENT TRAPS WILL BE CLEANED OUT WHEN THE LEVEL OF SEDIMENT REACHES 25% OF ITS' CAPACITY. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

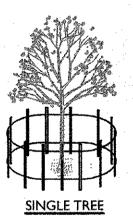


TEMPORARY SWALE DETAIL



## NOTES:

- WIDTH 12"



NOTES

- MUNICIPAL ENGINEER NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
- WILL BE REMOVED AS DIRECTED.
- GENERAL MECHANICAL DAMAGE SEE DETAIL ABOVE FOR CORRECT PLACEMENT OF TREE PROTECTION.
- PREVENT MECHANICAL INIURY, FENCING OR OTHER TREE BRANCHES
- BUILDING OPERATIONS. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE

TREE PROTECTION NOTES:

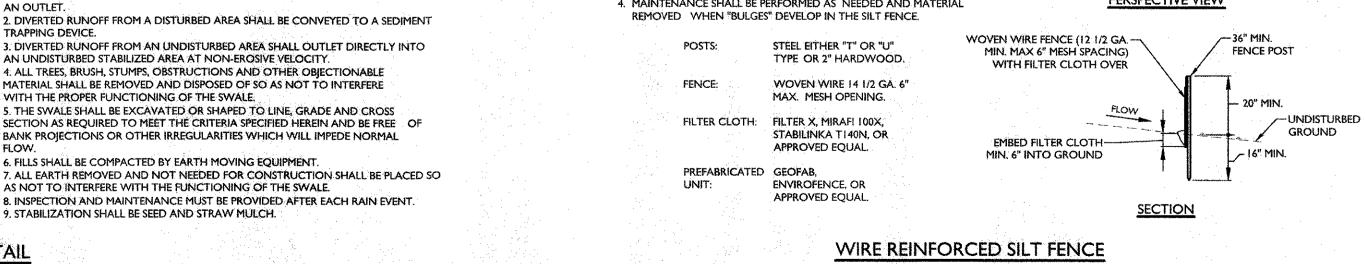
PERMITTED OUTSIDE CLEARING LIMITS

ROADWAYS LOCATION I. ALL SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.

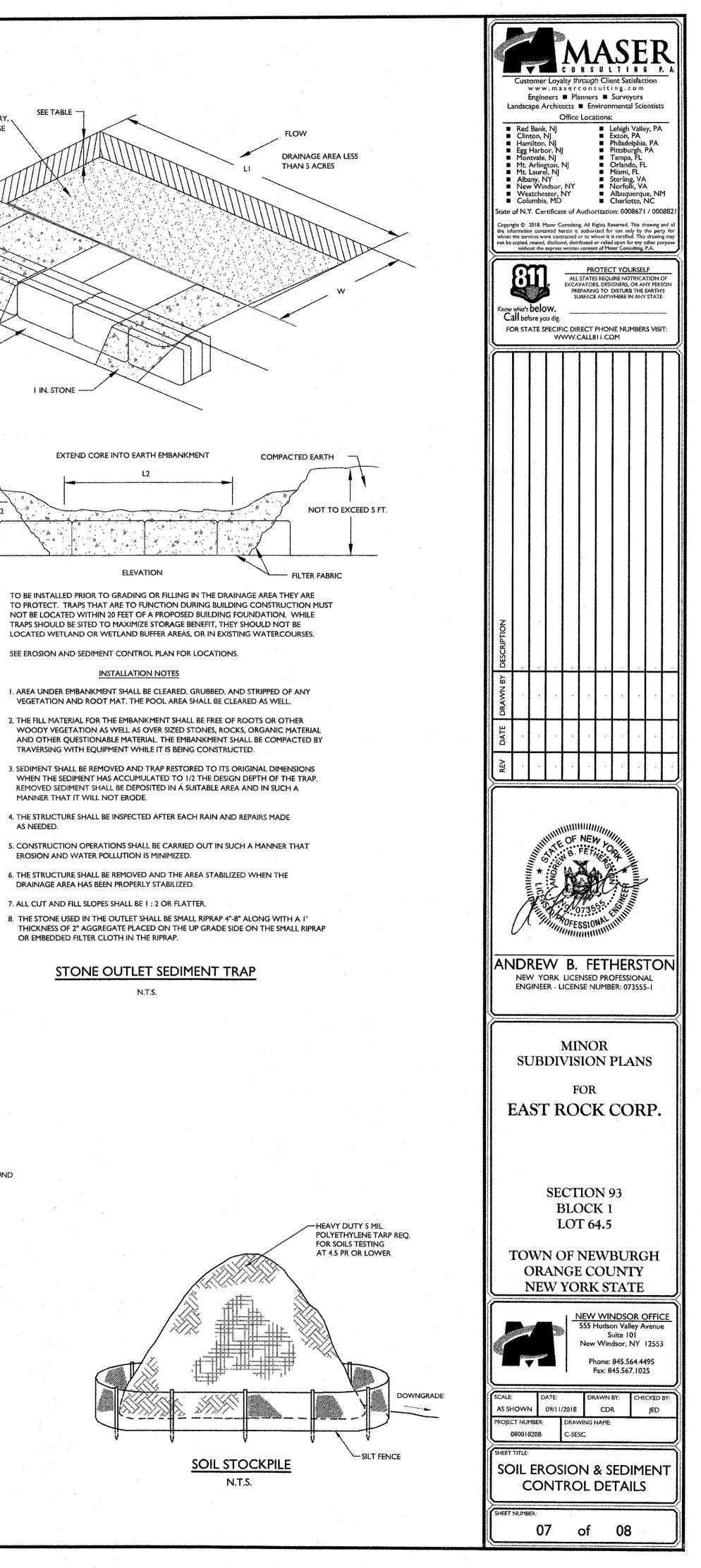
2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE. 3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY. 4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE

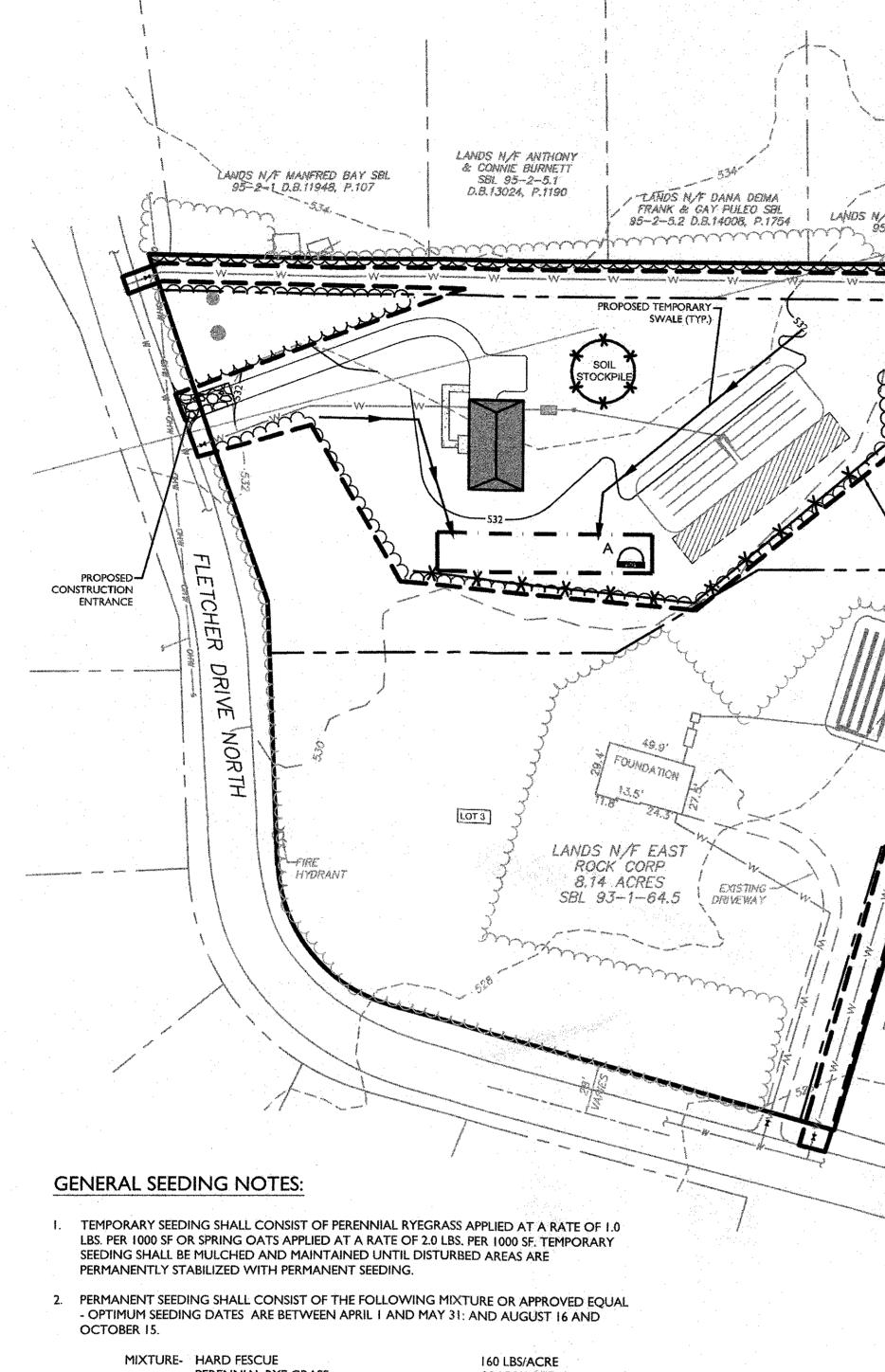
WITH THE PROPER FUNCTIONING OF THE SWALE, 5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FION 6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.

AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE. 8. INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT 9. STABILIZATION SHALL BE SEED AND STRAW MULCH.



N.T.S.



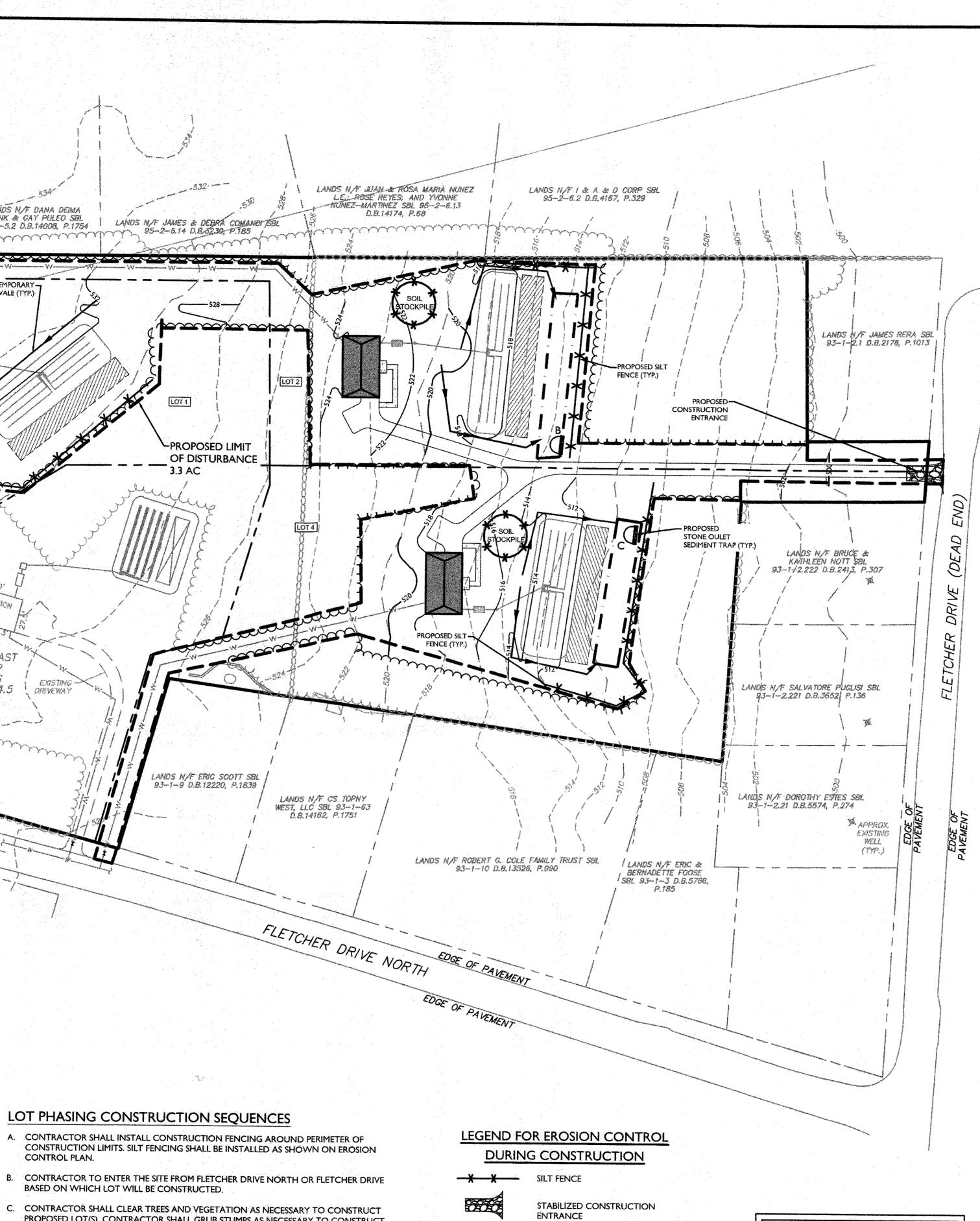


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MIXTURE-	HARD FESCUE	160 LBS/ACRE
	PERENNIAL RYE GRASS	20 LBS/ACRE
•	KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
MIXTURE	- TALL FESCUE	160 LBS/ACRE
	PERENNIAL RYE GRASS (BLEND)	20 LBS/ACRE
	KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE

- 3. PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE, SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 5.
- 4. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE IN COMPLIANCE WITH THE LATEST NYSDEC REGULATIONS. A SOIL TEST PRIOR TO FERTILIZER APPLICATION IS RECOMMENDED.
- 5. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
- 6. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT, THE FINAL HARROWING OR DEICING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- 8. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- 9. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

LOT PHASING CONSTRUCTION SEQUENCES

- CONSTRUCTION LIMITS. SILT FENCING SHALL BE INSTALLED AS SHOWN ON EROSION CONTROL PLAN.
- BASED ON WHICH LOT WILL BE CONSTRUCTED.
- C. CONTRACTOR SHALL CLEAR TREES AND VEGETATION AS NECESSARY TO CONSTRUCT PROPOSED LOT(S). CONTRACTOR SHALL GRUB STUMPS AS NECESSARY TO CONSTRUCT PROPOSED LOT(S).
- D. INSTALL ALL TEMPORARY STONE OUTLET SEDIMENT TRAPS AND TEMPORARY SWALES AS INDICATED ON THE EROSION CONTROL PLAN,
- TO PROPOSED ELEVATIONS. ONCE THE SOIL IN THIS AREA IS BROUGHT TO GRADE, IT SHALL BE TEMPORARILY STABILIZED THROUGH SEEDING AND/OR MULCHING, UNTIL PERMANENT STABILIZATION IS ACHIEVED (I.E. SOD, SEEDING, BUILDING FOUNDATIONS, BASE COURSE ASPHALT).
- PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

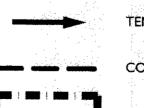


E. CONTRACTOR SHALL BRING THE GRADES FOR THE PROPOSED BUILDINGS AND DRIVEWAYS

THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION



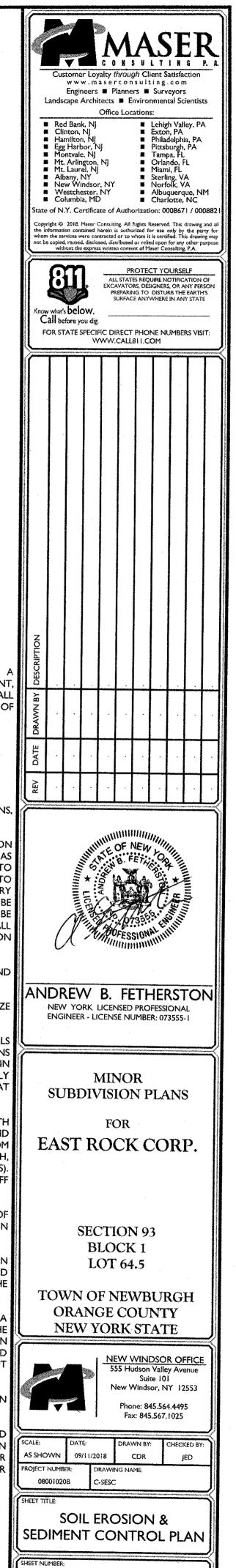
STONE OUTLET SEDIMENT TRAP



**TEMPORARY SWALE** CONSTRUCTION LIMIT LINE

TEMPORARY SEDIMENT BASIN

THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY



06

of

08

## GENERAL CONSTRUCTION SEQUENCE

THE APPLICANT AND THE APPLICANT'S CONTRACTOR ARE REQUIRED TO ATTEND PRECONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE TOWN BUILDING DEPARTMENT. HIGHWAY DEPARTMENT, ENGINEERS AND ANY OTHER PARTIES DEEMED NECESSARY TO REVIEW AL PROTOCOLS, BONDING REQUIREMENTS, AGREEMENTS AND THE SEQUENCE AND SCHEDULING OF THE WORK BEING UNDERTAKEN, AS APPLICABLE.

TOTAL DISTURBANCE AREA = 3.3 ACRES (1.1 ACRES PER LOT)

TEMPORARY STORAGE REQUIRED = 3,600 CF PER ACRE DISTURBED = 11,880 CF TEMPORARY STORAGE AREA = 3,960 CF PER LOT (11,880 CF TOTAL)

TEMPORARY STORAGE DEPTH = 1.5 FT

I. CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE PLANS ACCESSING THE PROJECT SITE FROM THE DESIGNATED LOCATION(S).

2. CONTRACTOR SHALL INSTALL THREE (3) TEMPORARY SEDIMENT TRAPS, TEMPORARY DIVERSION SWALES, AND SILT FENCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND AS REQUIRED BASED ON THE CONSTRUCTION SEQUENCE OF THE LOTS. CONTRACTOR TO CONSTRUCT ADDITIONAL TEMPORARY DIVERSION SWALES AND SEDIMENT TRAPS AS NEEDED TO DIRECT AND CAPTURE RUNOFF FROM DISTURBED AREAS. LOCATIONS AND SIZE MAY VARY DEPENDING ON CONTRACTOR SCHEDULE AND APPROACH BUT 3,600 CF OF STORAGE MUST BE PROVIDED AT A MINIMUM PER ACRE OF UPSTREAM DISTURBANCE. SEDIMENT TRAPS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND DETAILS. SEDIMENT TRAPS AND BASINS SHALL BE SIZED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MANUAL.

3. CONTRACTOR SHALL ROUGH GRADE THE AREA OF PROPOSED DWELLING LOCATION AND DRIVEWAY. THE EXCESS SOIL SHALL BE STOCKPILED AND USED AS FILL THROUGHOUT THE SITE.

4. CONTRACTOR SHALL INSTALL PAVEMENT BASE COURSE AS SOON AS PRACTICAL TO STABILIZE IMPERVIOUS AREAS

5. DISTURBED SOILS SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICAL AND MATERIALS STORED IN STOCK PILES, CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

• TEMPORARY STABILIZATION - MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL(S) AS SET FORTH IN THE TECHNICAL STANDARD, NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, TO PREVENT THE EXPOSED SOIL FROM ERODING. THE MATERIALS CAN INCLUDE, BUT ARE NOT LIMITED TO, MULCH, SEED AND MULCH AND EROSION CONTROL MATS (E.G. JUTE TWISTED YARN, EXCELSIOR WOOD FIBER MATS). STABILIZATION SHALL BE MAINTAINED PER SPDES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY, GP-0-15-002 OR AS AMENDED.

6. CONTRACTOR SHALL BEGIN CONSTRUCTION ON PROPOSED HOUSES. AFTER COMPLETION OF EACH HOME EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.

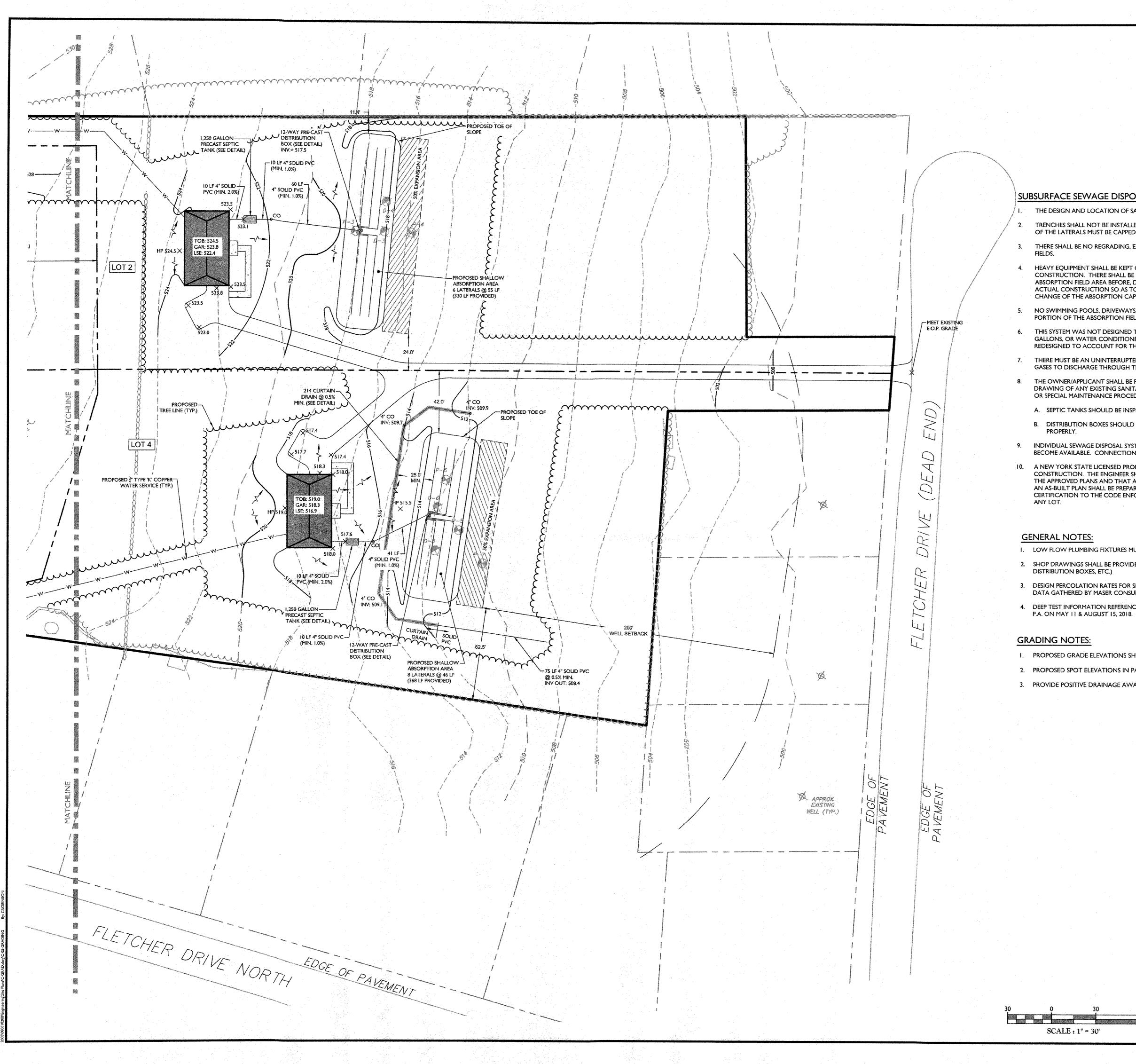
7. THE PROJECT SITE MUST MEET FINAL STABILIZATION CRITERIA PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.

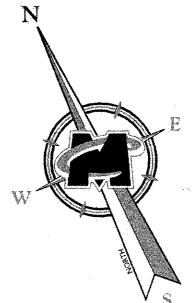
• FINAL STABILIZATION - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

8. UPON FINAL STABILIZATION BEING MET, CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

9. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE NECESSARY, REQUIRED AND/OR REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

> 100 SCALE : 1" = 50'





### SUBSURFACE SEWAGE DISPOSAL SYSTEM NOTES:

THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED. TRENCHES SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF THE LATERALS MUST BE CAPPED.

THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION

HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.

NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.

6. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND RE-APPROVED BY THE TOWN OF NEWBURGH.

THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.

THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE OWNER/APPLICANT SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY:

A. SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.

B. DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING

9. INDIVIDUAL SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN I YEAR OF AVAILABILITY.

10. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS. AN AS-BUILT PLAN SHALL BE PREPARED AND SUBMITTED AFTER CONSTRUCTION AS WELL AS THE ENGINEERS CERTIFICATION TO THE CODE ENFORCEMENT OFFICER PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED FOR

I. LOW FLOW PLUMBING FIXTURES MUST BE USED IN BUILDING.

2. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL PRECAST STRUCTURES (SEPTIC TANK.

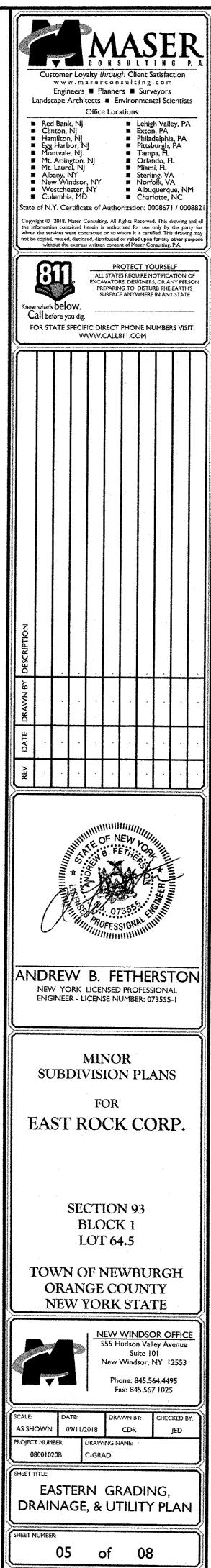
3. DESIGN PERCOLATION RATES FOR SHALLOW SYSTEM DESIGN (12" DEPTH) TAKEN FROM DATA GATHERED BY MASER CONSULTING P.A. ON MAY 11 & AUGUST 15, 2018.

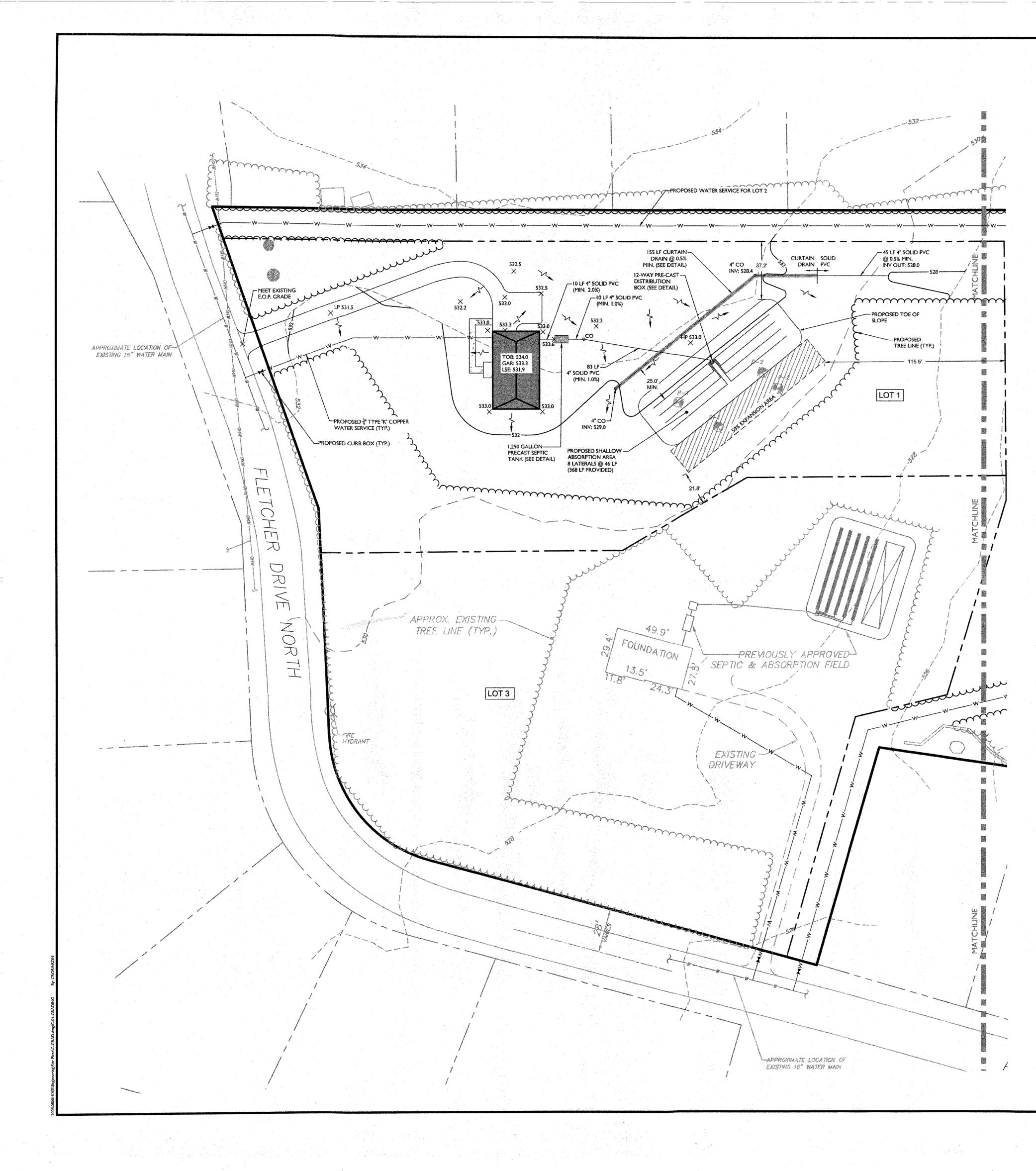
4. DEEP TEST INFORMATION REFERENCED FROM TESTS WITNESSED BY MASER CONSULTING

I. PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS. 2. PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.

3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING LINE,

EXISTING	LEGEND	PROPOSED
	LOT LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	······································
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	DEPRESSED CURB	
	SIDEWALK	4 4 4 4 4 4
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	ROADWAY SIGNS	
	WATER SERVICE LINE	
	CURB BOX / VALVE	м
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P−1 &	PERCOLATION TEST LOCATION	
	SEPTIC CLEANOUT	oco
	TOP OF BLOCK ELEVATION	TOB: 29.0
	GARAGE FLOOR ELEVATION	GAR: 28.0
	LOWEST SEWERABLE ELEVATION	LSE: 27.0





# SUBSURFACE SEWAGE DISPOSAL SYSTEM NOTES:

- OF THE LATERALS MUST BE CAPPED.
- FIELDS.
- 5. PORTION OF THE ABSORPTION FIELD.
- GASES TO DISCHARGE THROUGH THE STACK VENT.
- OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY:
- PROPERLY.
- 9.
- 10. ANY LOT.

## GENERAL NOTES:

- I. LOW FLOW PLUMBING FIXTURES MUST BE USED IN BUILDING.
- DISTRIBUTION BOXES, ETC.)
- DATA GATHERED BY MASER CONSULTING P.A. ON MAY 11 & AUGUST 15, 2018.
- 4. DEEP TEST INFORMATION REFERENCED FROM TESTS WITNESSED BY MASER CONSULTING P.A. ON MAY 11 & AUGUST 15, 2018.

## GRADING NOTES:

- 3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING LINE.

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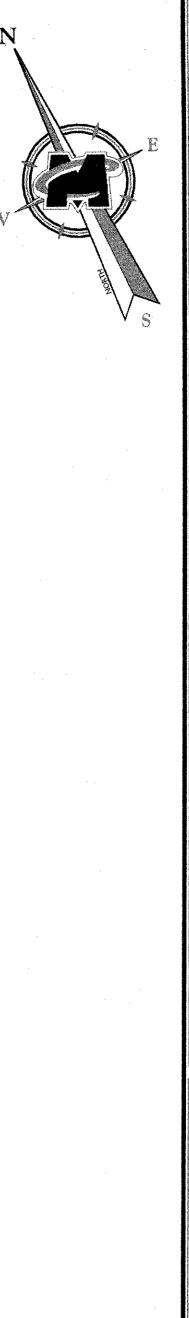
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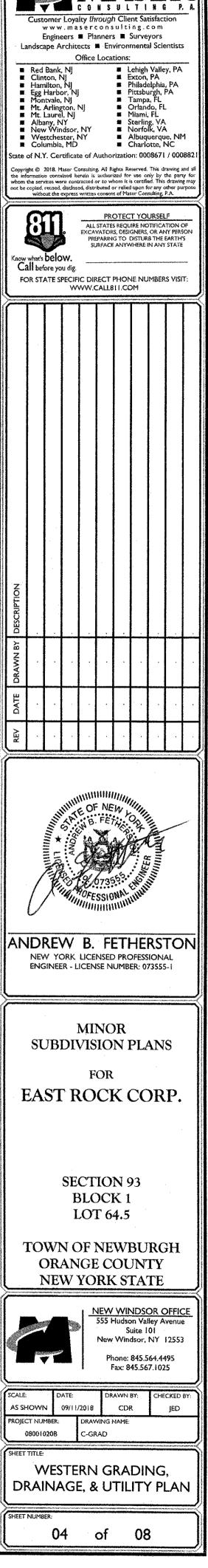
3. DESIGN PERCOLATION RATES FOR SHALLOW SYSTEM DESIGN (12" DEPTH) TAKEN FROM

I. PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS. 2. PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.

> LEGEND PROPOSED EXISTING LOT LINE -----PROPERTY LINE EDGE OF PAVEMENT FACE FACE CURB BACK BACK Ганалан на андар на селан на сел DEPRESSED CURB SIDEWALK · 4 · 4 · 4 · 4 -----X ------X ------FENCES ------ X ------ X ----- $\dots$ TREELINE ROADWAY SIGNS ----WATER SERVICE LINE CURB BOX / VALVE anadasana ana ili ana ina ina ina ina ina CONTOURS ----- 74 ----imes G 29.0 SPOT ELEVATION **X** 29.0 DIRECTION OF OVERLAND FLOW 0-1 遊 DEEP TEST LOCATION P-1 😣 PERCOLATION TEST LOCATION ംറ SEPTIC CLEANOUT TOP OF BLOCK ELEVATION TOB: 29.0 GARAGE FLOOR ELEVATION GAR: 28.0 LOWEST SEWERABLE ELEVATION LSE: 27.0

> > SCALE : 1" = 30'





# OWNER/APPLICANT:

EAST ROCK CORP. 5020 ROUTE 9W NEWBURGH, NY 12550

## TAX LOT: 93-1-64.5

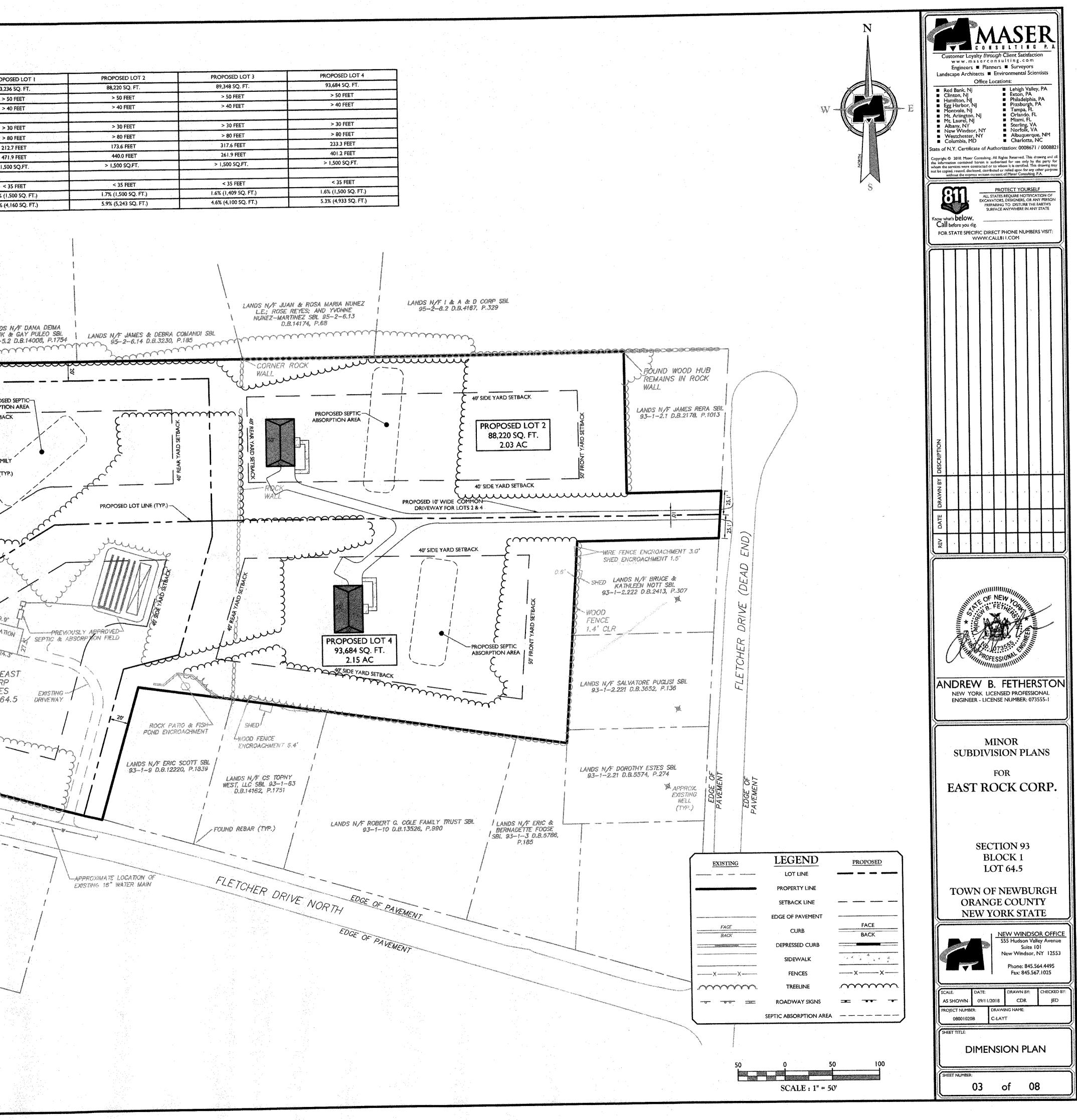
±354,486 SQ. FT. ±8.14 ACRES

## NOTES:

- EXISTING SITE INFORMATION TAKEN FROM MAP REFERENCE ENTITLED "BOUNDARY SURVEY MAP PREPARED FOR EAST ROCK CORP.", PREPARED BY BAMBI TERRELL MEUNIER AND DATED MARCH 16, 2018.
- THE PROPERTY IS NOT WITHIN ANY ONE-HUNDRED-YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, NO. 36071C0139E DATED AUGUST 3, 2009.
- THE PROPERTY DOES NOT HAVE ANY ON-SITE WETLANDS AS PER AVAILABLE

- MAPPING SOURCES. 4. SCHOOL DISTRICT: NEWBURGH
- 5. FIRE DEPARTMENT: ORANGE LAKE

MINIMUM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LO
LOT AREA	40,000 SQ. FT.	83,236 SQ. FT.	88,220 SQ. FT.	89,348 SQ. FT.	93,684 SQ. FT
FRONT YARD SETBACK	50 FEET	> 50 FEET	> 50 FEET	> 50 FEET > 40 FEET	> 50 FEET > 40 FEET
REAR YARD SETBACK	40 FEET	> 40 FEET	> 40 FEET		
SIDE YARD SETBACK	30 FEET	> 30 FEET	> 30 FEET	> 30 FEET	> 30 FEET
BOTH	80 FEET	> 80 FEET	> 80 FEET	> 80 FEET	> 80 FEET
LOT WIDTH*	ISO FEET	212.7 FEET	173.6 FEET	317.6 FEET 261.9 FEET	233.3 FEET 401.2 FEET
	130 FEET	471.9 FEET > 1,500 SQ.FT.	440.0 FEET > 1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.
HABITABLE FLOOR AREA PER DWELLING UNIT	1,500 SQ.FT.	- 1,300 52.11.			
BUILDING HEIGHT	35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	<ul><li>&lt; 35 FEET</li><li>1.6% (1,500 SQ.</li></ul>
	10%	1.8% (1,500 SQ. FT.)	1.7% (1,500 SQ. FT.) 5.9% (5,243 SQ. FT.)	1.6% (1,409 SQ. FT.) 4.6% (4,100 SQ. FT.)	5.3% (4,933 SQ.
	20%	4.9% (4,160 SQ. FT.)		<u></u>	
* = LOT WIDTH MEASURED AT FRONT SETBACK LINE					
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LANDS N/F MANFRED B 95-2-1 D.B.11948, P	.107 D.B.13024, P.1190	LANDS N/F DANA DEIMA FRANK & GAY PULEO SBL	LANDS N/F JAMES & DEBRA	COMANDI SRL	5.14174, F.00
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50' FRONT YARD	$\sim$				
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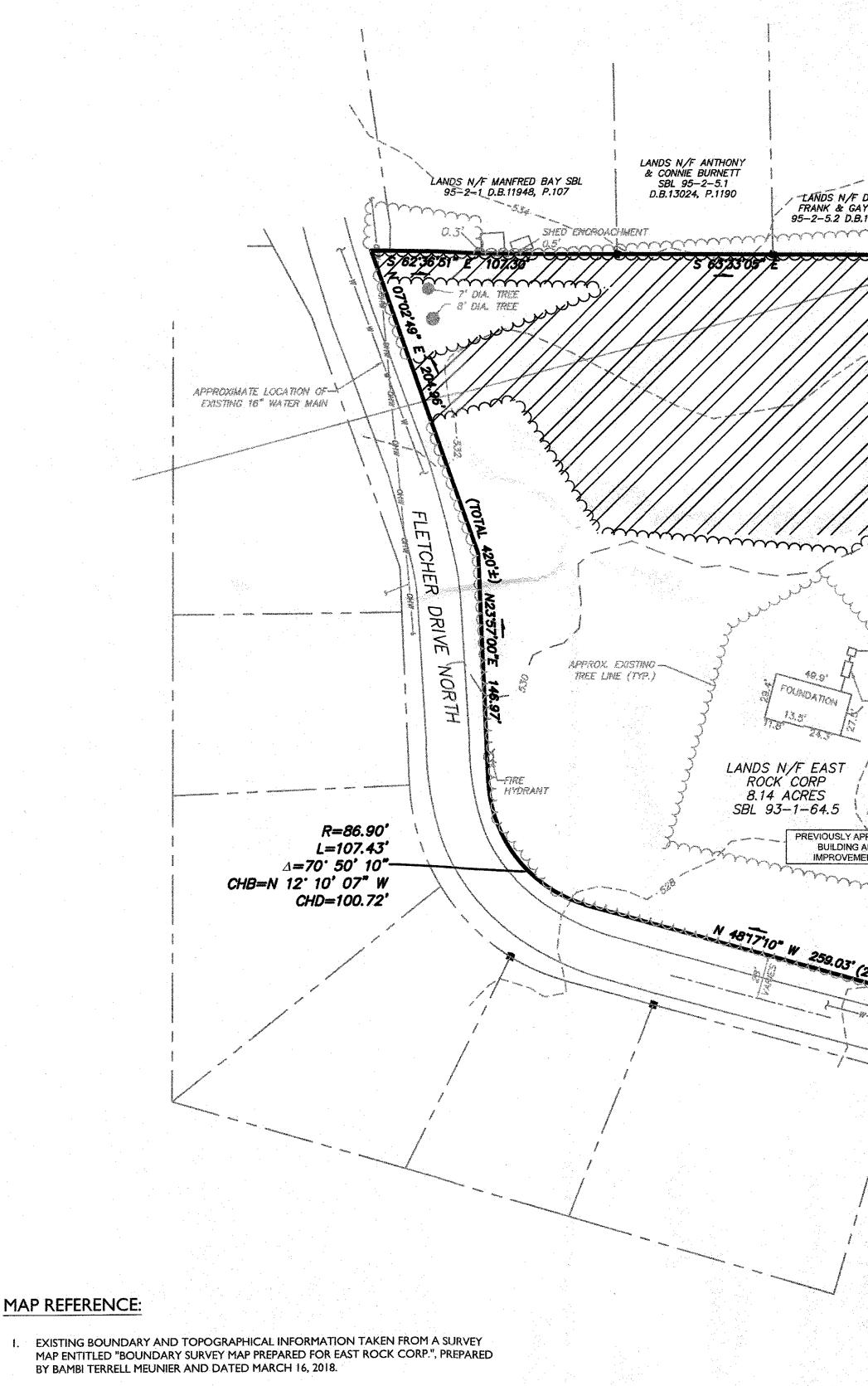
## **DEMOLITION NOTES:**

- CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. DIG SAFELY, NEW YORK, 1-800-962-7962 OR 811. A PRE-DEMOLITION CONFERENCE WILL NEED TO BE ARRANGED WITH DIG SAFELY, NEW YORK AND MUST BE HELD A MINIMUM OF 7 DAYS BEFORE THE START OF ANY DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- MASER CONSULTING, P.A. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE O.S.H.A. REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO MASER CONSULTING, P.A. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.

- FOR/TO:

- ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO 6. PRIOR TO STARTING ANY DEMOLITION, THE CONTRACTOR IS RESPONSIBLE 8. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY 12. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE 17. TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE AND/OR APPROPRIATE GOVERNMENT AGENCY. A. ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL SITE AND AVAILABLE FOR REVIEW (SEE "EROSION AND SEDIMENT CONTROL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE 13. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND PLAN," THIS DRAWING SET). NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL B. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL CONDITION. STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND MEASURES PRIOR TO SITE DISTURBANCE. IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE C. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, 9. ROCK EXCAVATIONS WILL BE PERFORMED BY MECHANICAL MEANS ONLY. USE OF DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC EXPLOSIVES IS PROHIBITED. ALL THE REQUIRED PERMITS AND CONTROL MEASURES ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION. CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL THAT ARE REOUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY IN PLACE PRIOR TO STARTING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL 14. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE D. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT THE EFFECTS ON ALL LOCAL STRUCTURES, AS APPLICABLE. DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER 10. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL O.S.H.A. AND AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING PROVIDER AND IS SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE. RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION CONTROL", AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY 15. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE RIGHTS-OF-WAY. DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. AND UTILITY COMPANY REQUIREMENTS. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER 16. DEMOLITION SHALL NOT PROCEED UNTIL THE APPROXIMATE LOCATION OF THE COORDINATION WITH UTILITY COMPANIES AND TOWN OF NEWBURGH ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE EXISTING UTILITIES ARE MARKED IN THE FIELD AND ALL UTILITY CONNECTIONS REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE APPROPRIATE GOVERNMENTAL AUTHORITY. ARE SUITABLY SHUT OFF AND DISCONNECTED AND PROPER DEMOLITION PERMITS REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. ARE IN PLACE WITH THE TOWN. LANDS N/F ANTHONY LANDS N/F JUAN & ROSA MARIA NUNEZ LANDS N/F I & A & D CORP SBL & CONNIE BURNETT LE; ROSE REYES; AND YVONNE 95-2-6.2 D.B.4167, P.329 SBL 95-2-5.1 NONEZ-MARTINEZ SBL 95-2-6.13 D.B.13024, P.1190 TANDS N/F DANA DEIMA D.B.14174, P.68 FRANK & GAY PULEO SBL LANDS N/F JAMES & DEBRA COMANDI SBL Frankranker 95-2-5.2 D.B.14008, P.1754 95-2-6.14 D.B.3230, P.185 SHED ENOROACHMENT andrancourse 65230 /S/635522\*E/402.81 PORTION OF EXISTING ROCK WALL TO BE REMOVED FOR ROPOSED UTILITY INSTALLATION -EXISTING VEGETATION-TO BE REMOVED (TYP.) U MARINA - PROPOSED TREE LINE (TYP.)  $\gamma$ minner ROPOSED UTILITY INSTALLATION APPROX EXISTING TREE LINE (TYP.) 273. FOUNDATION . -PREVIOUSLY APPROVED-SEPTIC & ABSORPTION FIELD 13.5 LANDS N/F EAST ROCK CORP N 5578.40\* W 101.00\* 8.14 ACRES EXISTING -N 5578'00" W 101.00" SBL 93-1-64.5 DRIVEWAY Anthony! N 5578'30" W 255.96' (TOTAL 458'±) PREVIOUSLY APPROVED BUILDING AND IMPROVEMENTS ROCK PATIO & FISH-> POND ENCROACHMENT -44000 FENCE ENCROACHMENT 6.4 LANDS N/F ERIC SCOTT SBL 93-1-9 D.B.12220, P.1839 4877'10" W 259.03' (285'±) LANDS N/F DOROTHY ESTES SBL LANDS N/F CS TOPNY WEST, LLC SBL 93-1-63 D.B.14162, P.1751 93-1-2.21 D.B.5574, P.274 LANDS N/F ROBERT G. COLE FAMILY TRUST SBL 93-1-10 D.B.13526, P.990 | LANDS N/F ERIC & | BERNADETTE FOOSE | SBL 93–1–3 D.B.5786, | P.185 FOUND REBAR (TYP.) FLETCHER DRIVE NORTH -APPROXIMATE LOCATION OF EXISTING 16" WATER MAIN EDGE OF PAVEMENT EDGE OF PAVEMENT



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