



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: KUSH FACTORY CANNABIS RETAIL DISPENSARY
PROJECT NO.: 24-34
PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 72
REVIEW DATE: 14 FEBRUARY 2025
MEETING DATE: 20 FEBRUARY 2025
PROJECT REPRESENTATIVE: BRIAN ANDERSON – ANDERSON ARCHITECTURE STUDIO, P.C.

1. The project is before the Planning Board for a Public Hearing to convert a portion of former Pier 1 Imports structure to a retail cannabis dispensary. Previous comments from this office have been addressed. Substantive comments received at the Public Hearing should be addressed by the applicant's representative.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines
Principal

PJH/kmm

A handwritten signature in blue ink, appearing to read 'Michael W. Weeks'.

Michael W. Weeks, PE
Principal

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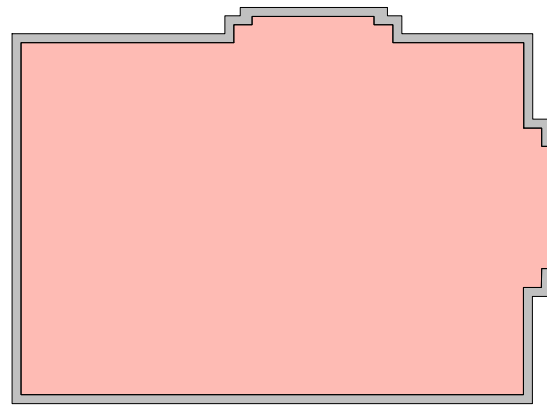
NEWBURGH KUSH FACTORY RETAIL DISPENSARY

1255 NY - 300
NEWBURGH, NY
12550



ANDERSON
ARCHITECTURE
STUDIO, PC

KEY PLAN



CONTACTS

ARCHITECT

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OWNER

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Newburgh, NY 12550

Melzina Canigan-Izzard
melzina@newburghkfactory.com

DRAWING LIST

GENERAL
A-000.00 COVER SHEET
G-001.00 GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS
G-002.00 ACCESSIBILITY REQUIREMENTS
G-003.00 ACCESSIBILITY REQUIREMENTS

BUILDING CODE REVIEW
A-001.00 BUILDING CODE REVIEW
A-002.00 BUILDING LIFE SAFETY DIAGRAM
A-003.00 PROGRAM FLOOR PLAN DIAGRAM

ALTA/ACSM LAND TITLE SURVEY
L-001.00 ALTA/ACSM LAND TITLE SURVEY

ARCHITECTURAL EXISTING
AX-100.00 EXISTING SITE PLAN
AX-101.00 EXISTING FLOOR PLAN
AX-121.00 EXISTING REFLECTED CEILING PLAN
AX-201.00 EXISTING EXTERIOR ELEVATIONS
AX-202.00 EXISTING EXTERIOR ELEVATIONS

ARCHITECTURAL DEMO
AD-101.00 DEMOLITION FLOOR PLAN
AD-121.00 DEMOLITION REFLECTED CEILING PLAN

ARCHITECTURE
A-101.00 PROPOSED FLOOR PLAN
A-102.00 PROPOSED FINISH FLOOR PLAN
A-103.00 PROPOSED FF&E PLAN
A-121.00 PROPOSED REFLECTED CEILING PLAN
A-131.00 WALL TYPES & DETAILS
A-132.00 DETAILS - VAULT
A-201.00 PROPOSED EXTERIOR ELEVATIONS
A-202.00 PROPOSED EXTERIOR ELEVATIONS
A-601.00 STOREFRONT, WINDOW, & DOOR SCHEDULES
A-621.00 FINISH, FURNITURE, FIXTURES & EQUIPMENT SCHEDULES

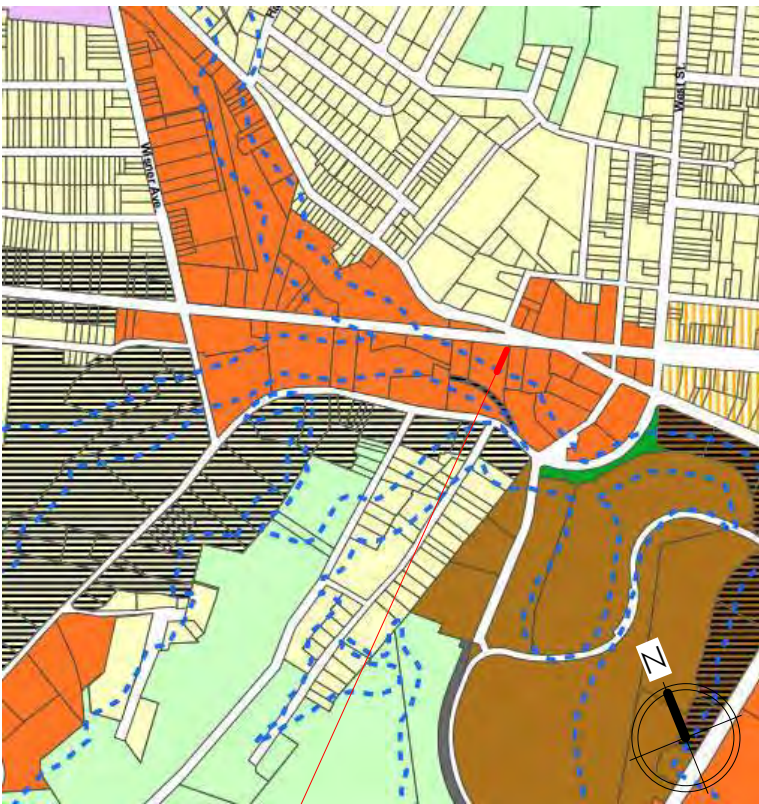
PROJECT DESCRIPTION

PROPERTY ADDRESS: 1255 NY - 300 NEWBURGH, NY 12550

ZONING DISTRICT: COMMERCIAL DISTRICT

PROJECT DESCRIPTION:
RENOVATION OF EXISTING BUILDING TO RETAIL CANNABIS DISPENSARY

ZONING VICINITY MAP



SITE LOCATION



NOT FOR CONSTRUCTION

100% SD SET

PROJECT: **NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY**
1255 NY - 300 NEWBURGH, NY
12550

TITLE: **COVER SHEET**

SEAL & SIGNATURE:

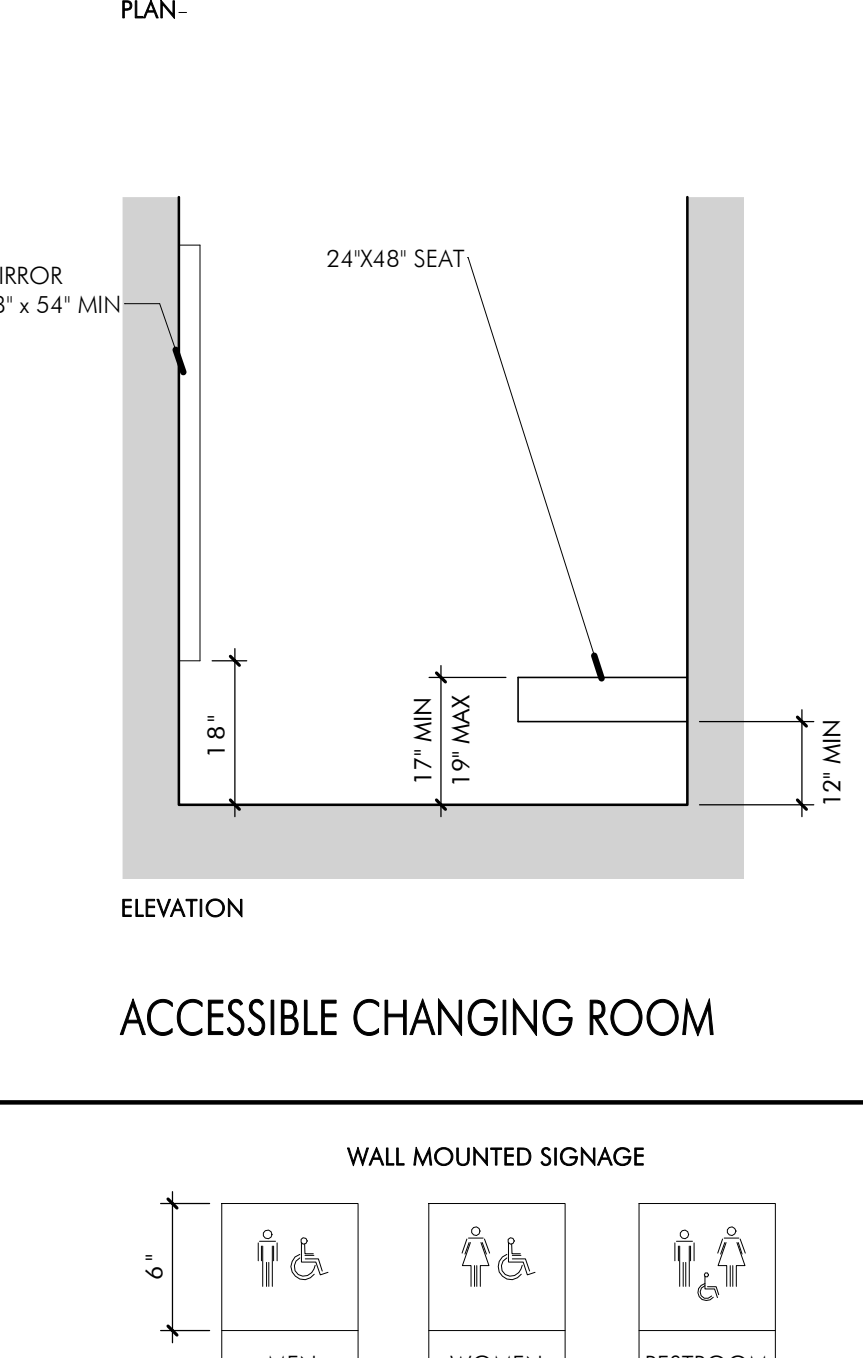
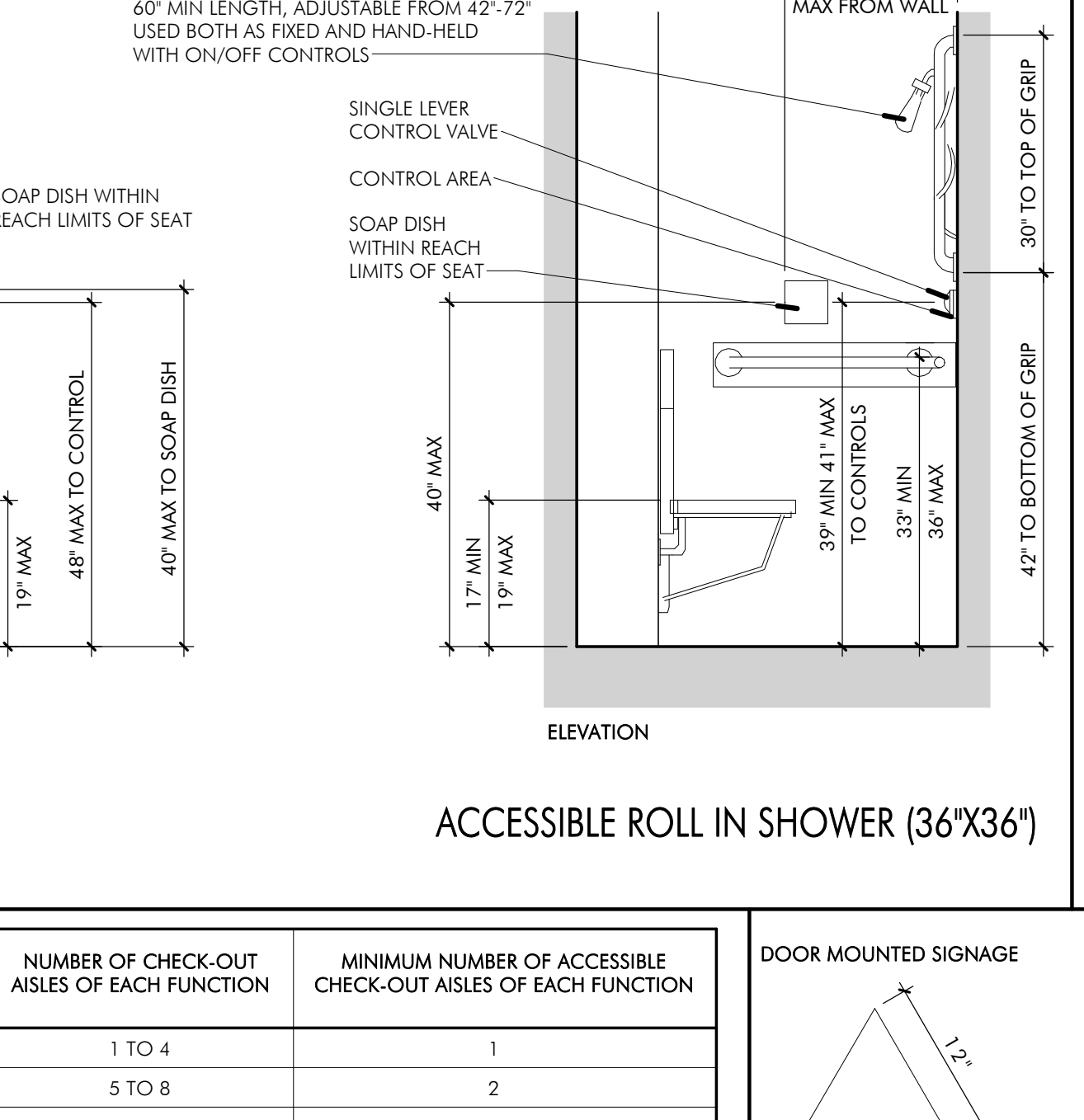
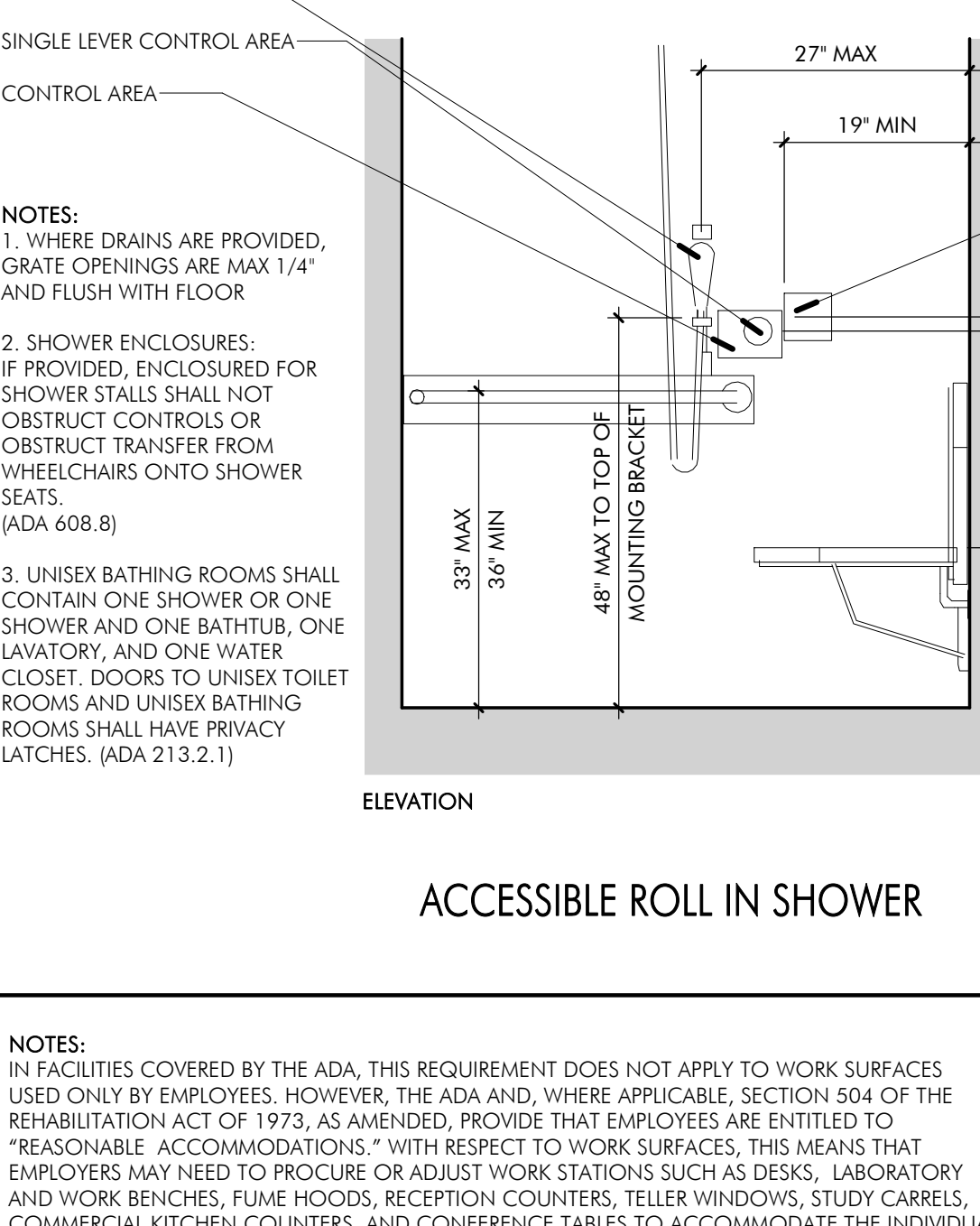
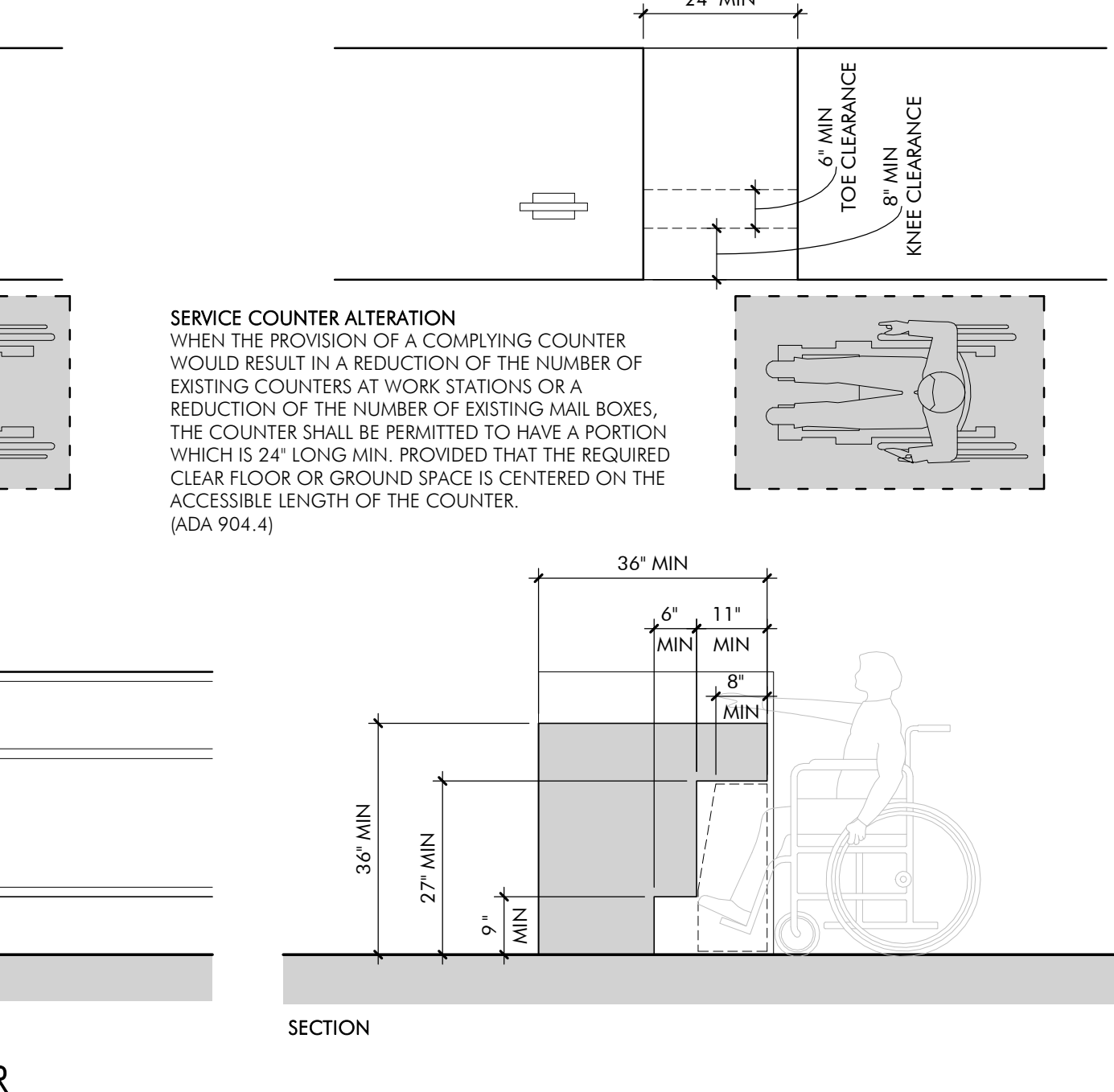
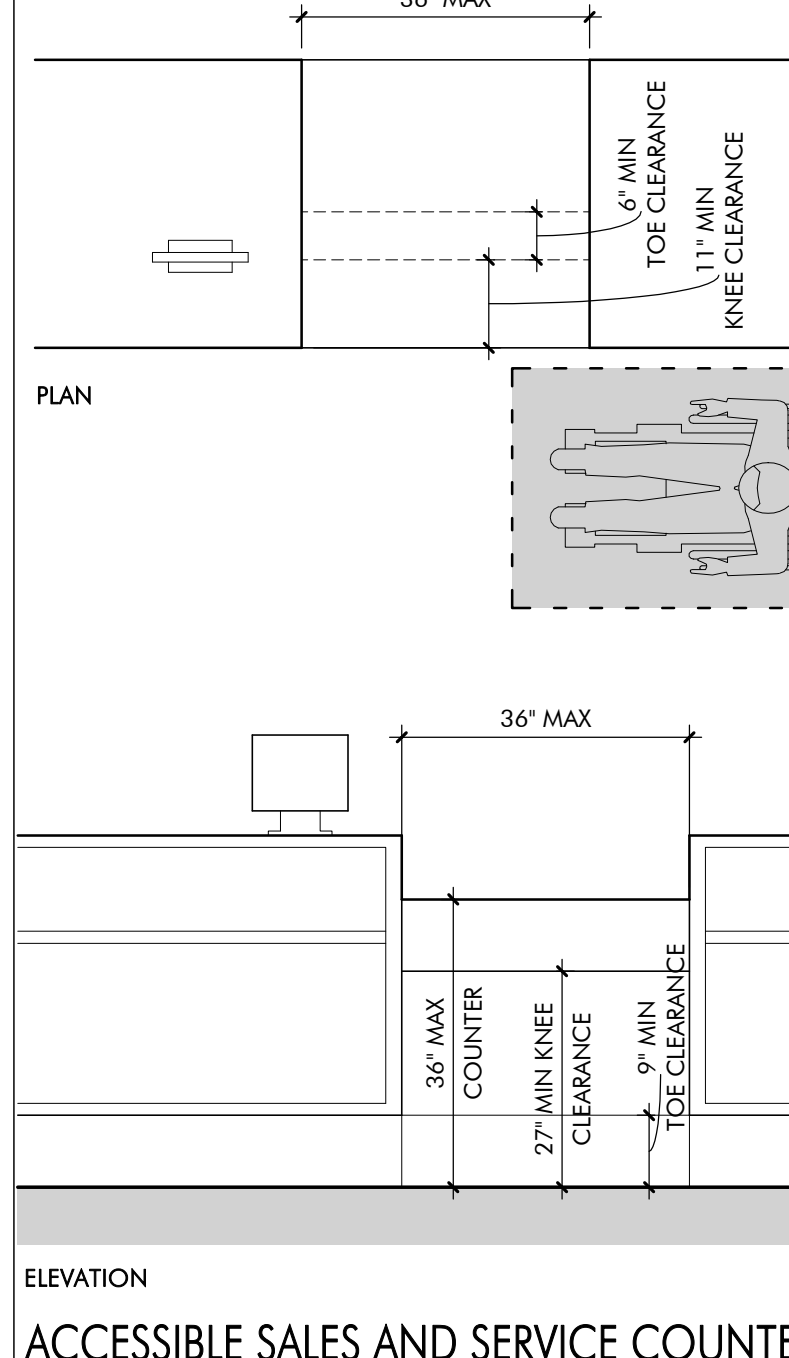
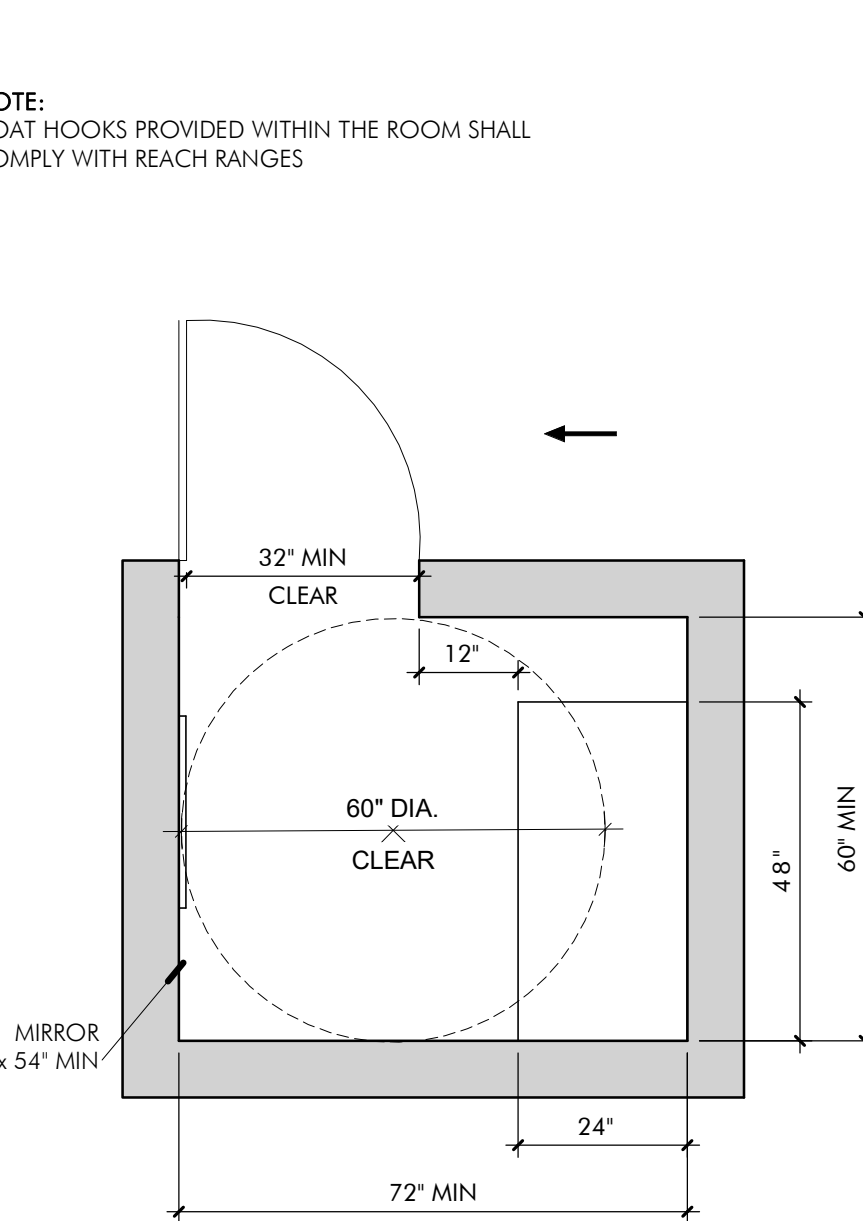
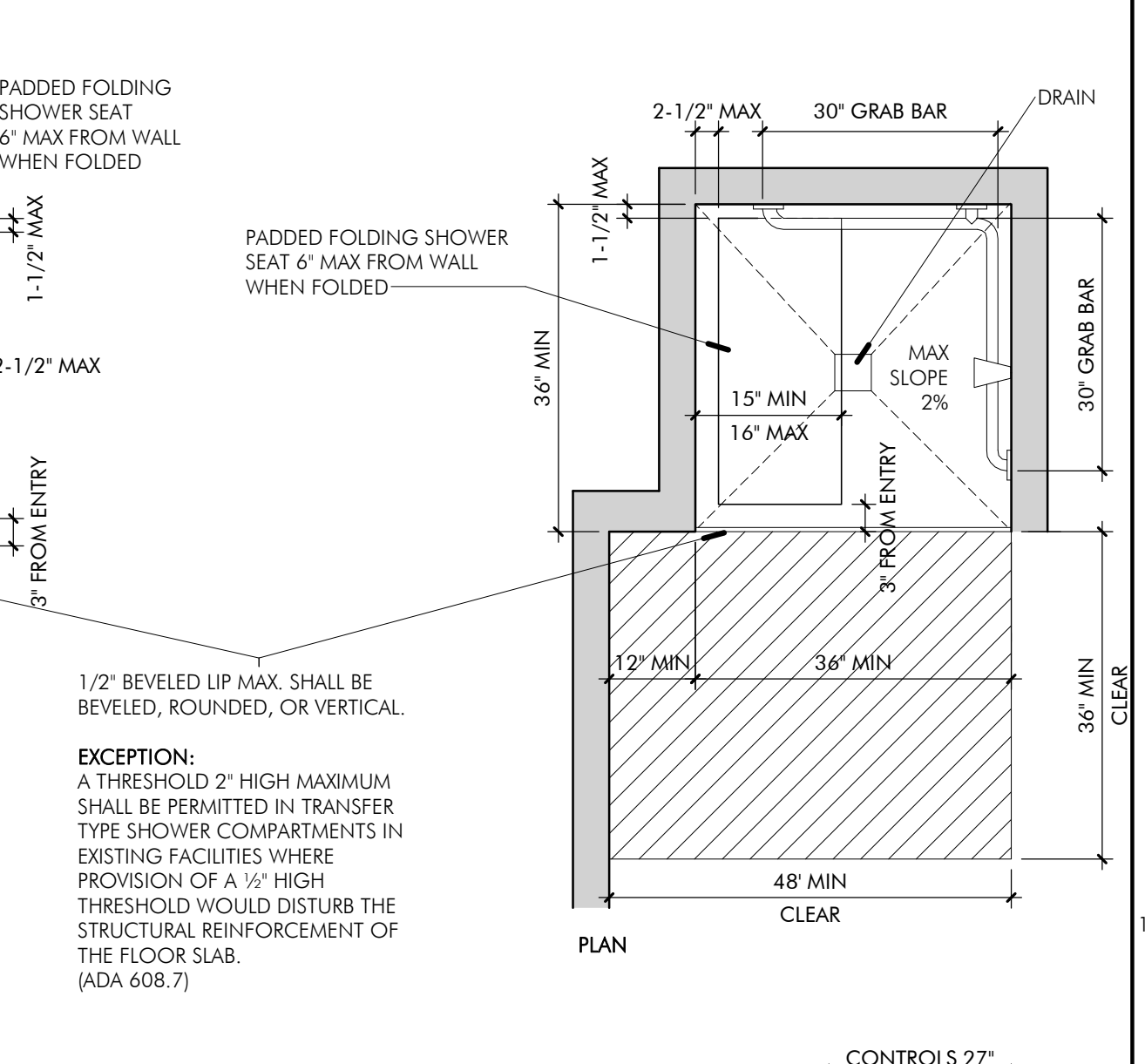
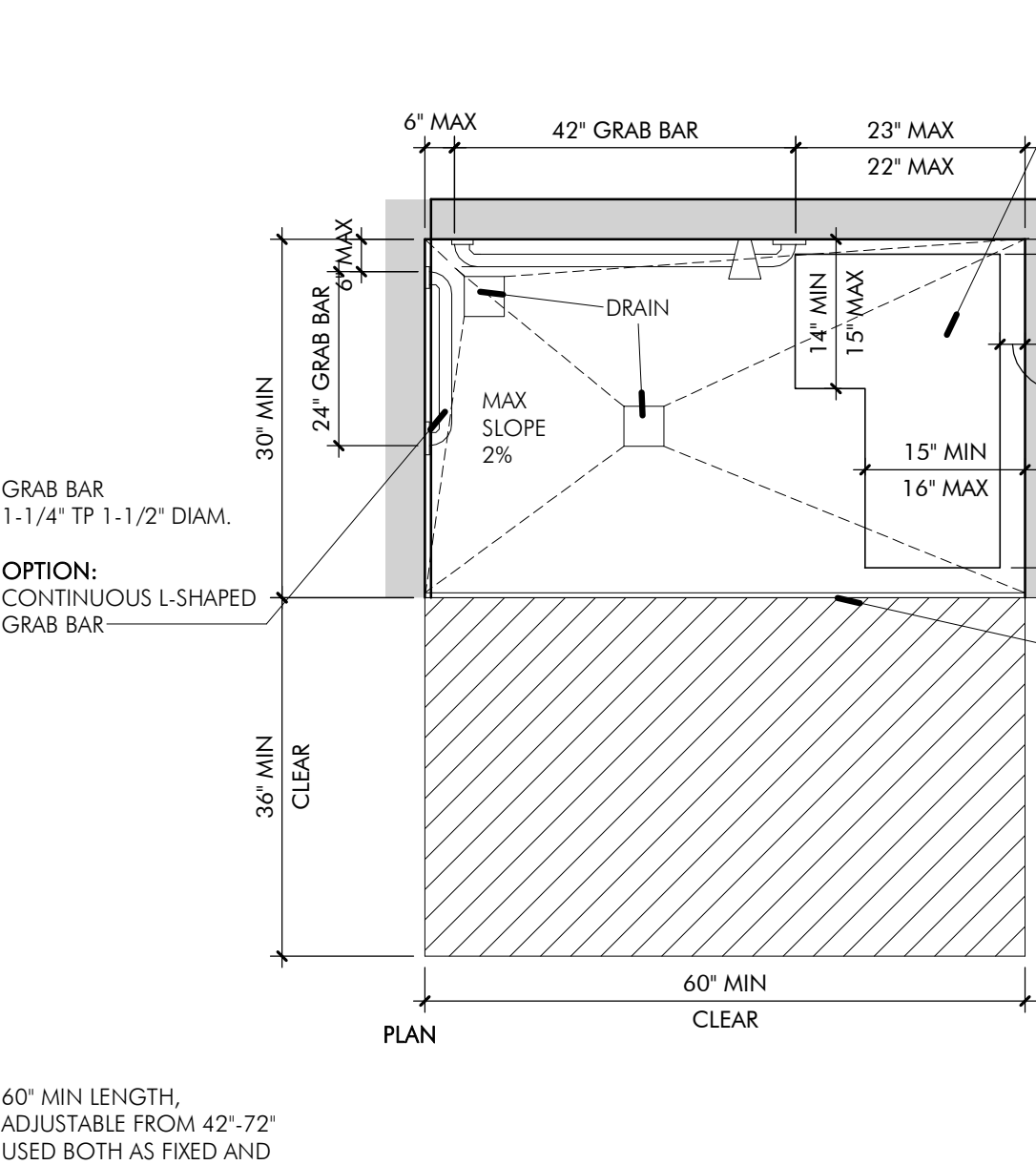
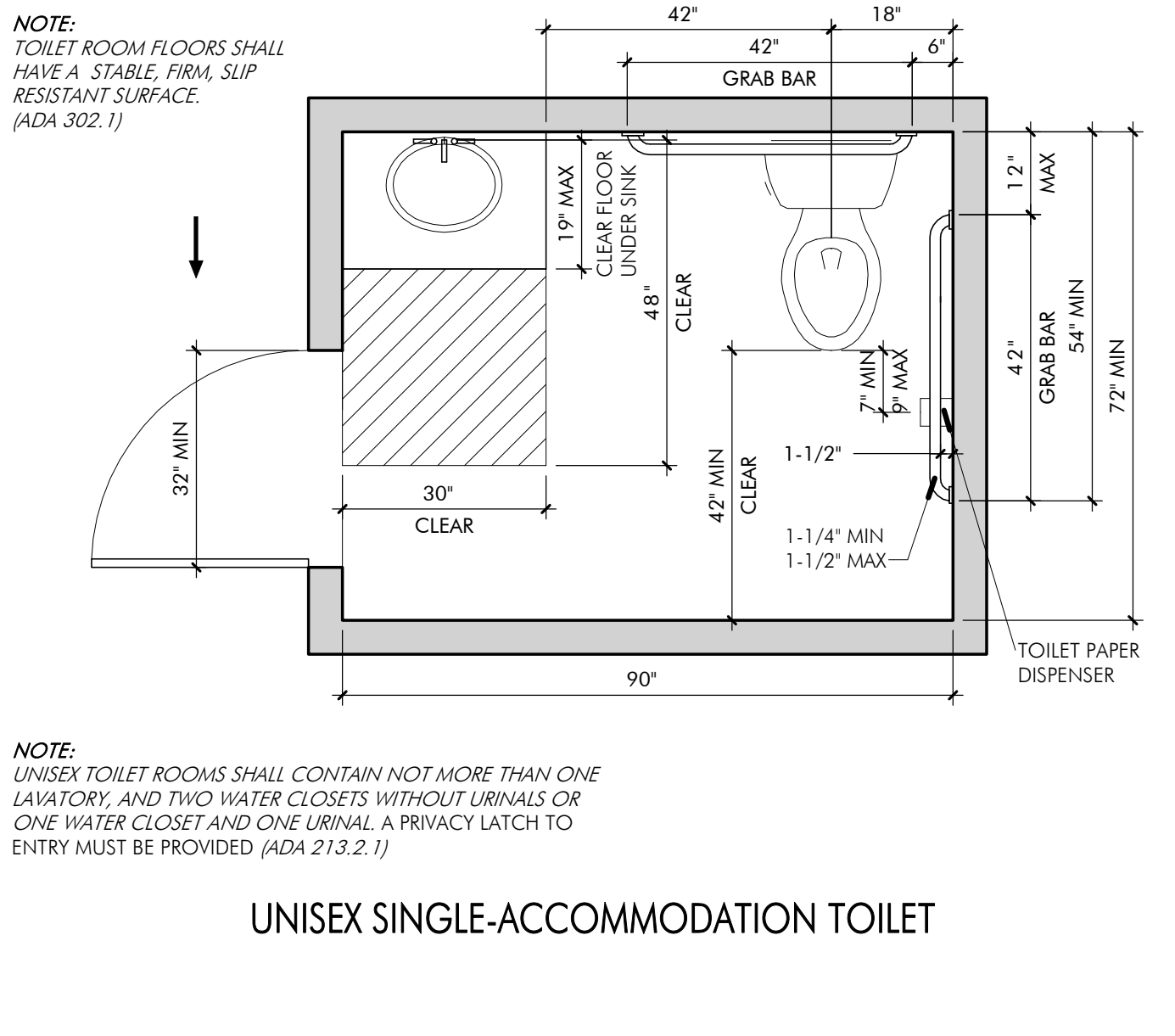
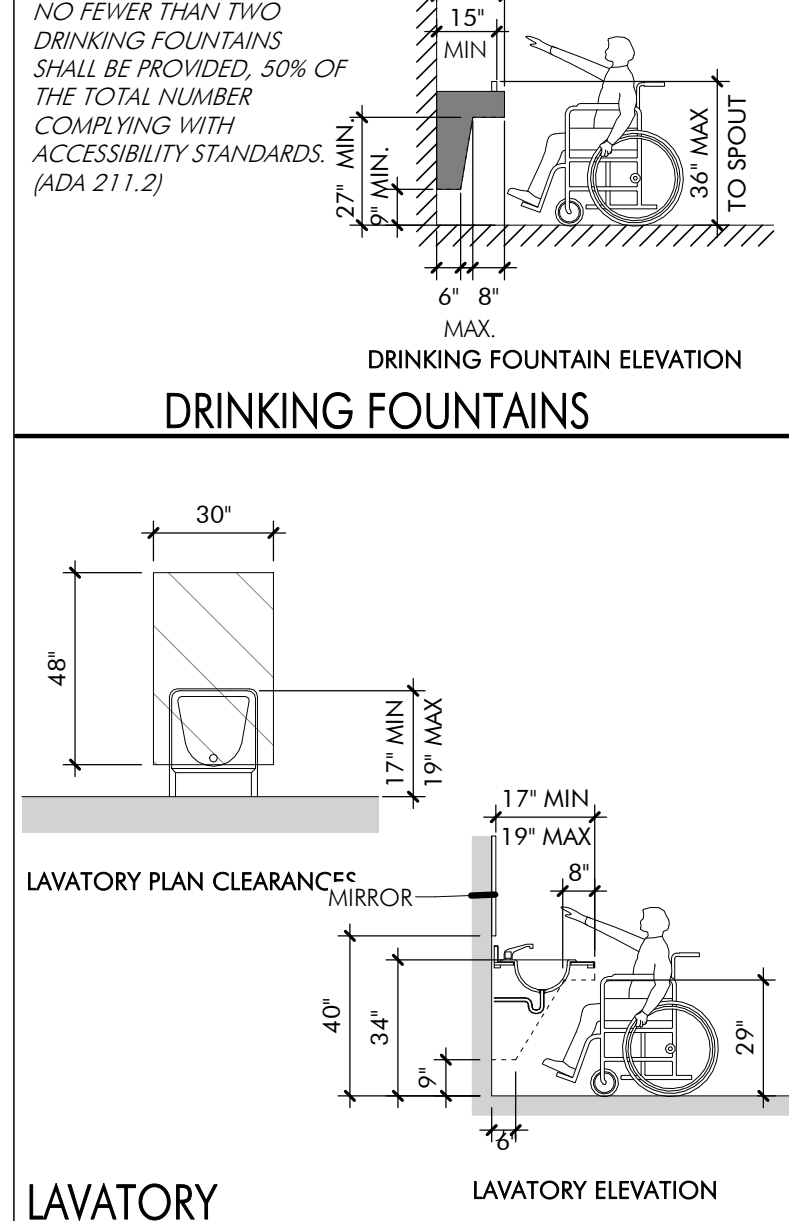
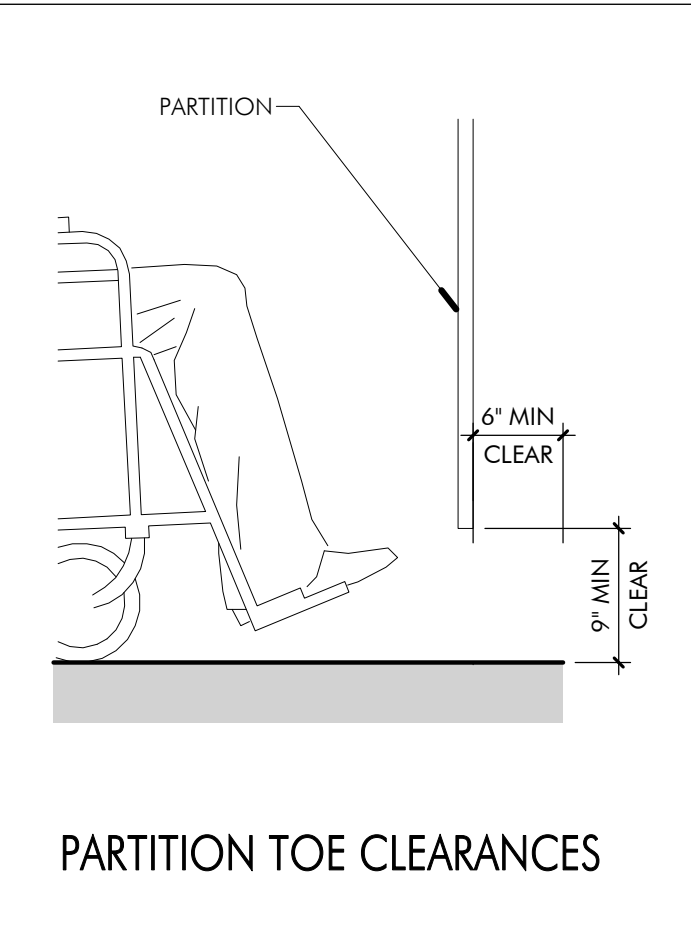
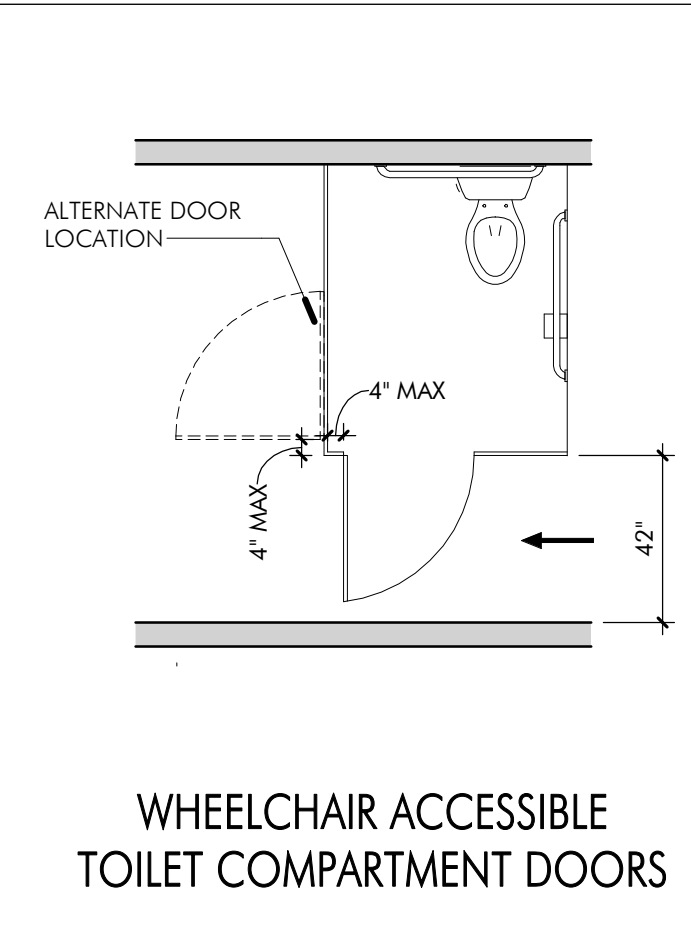
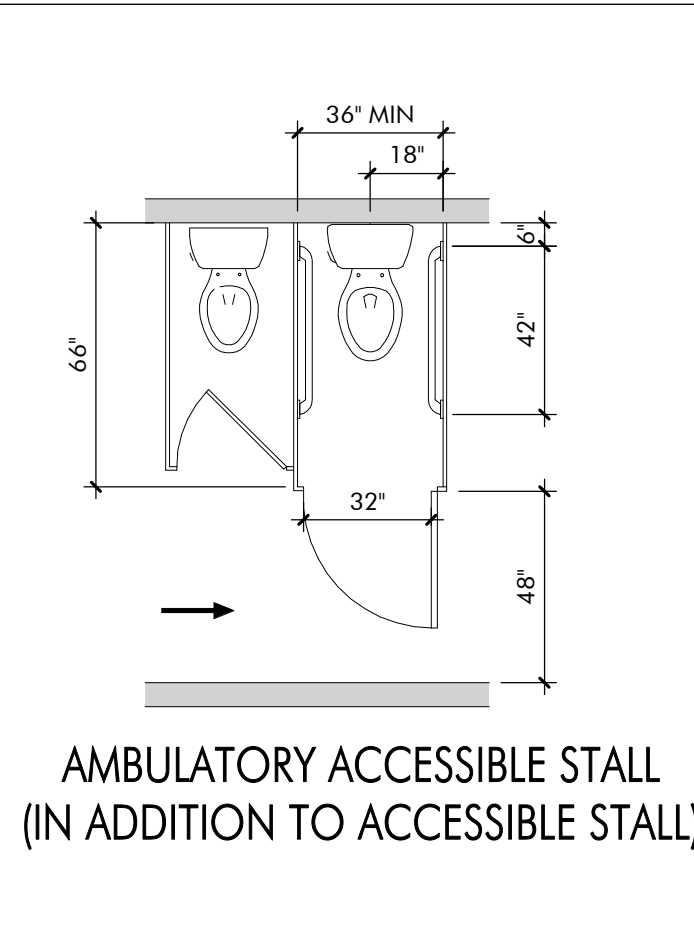
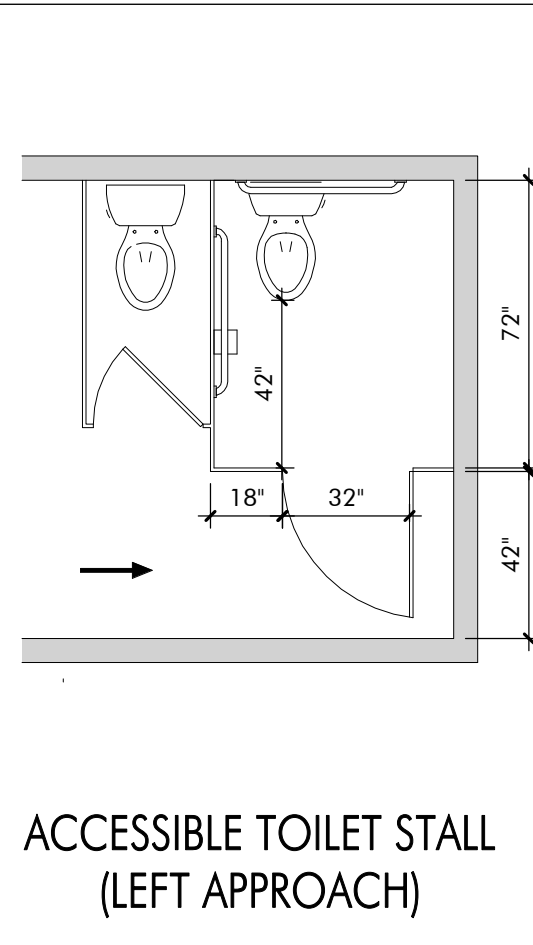
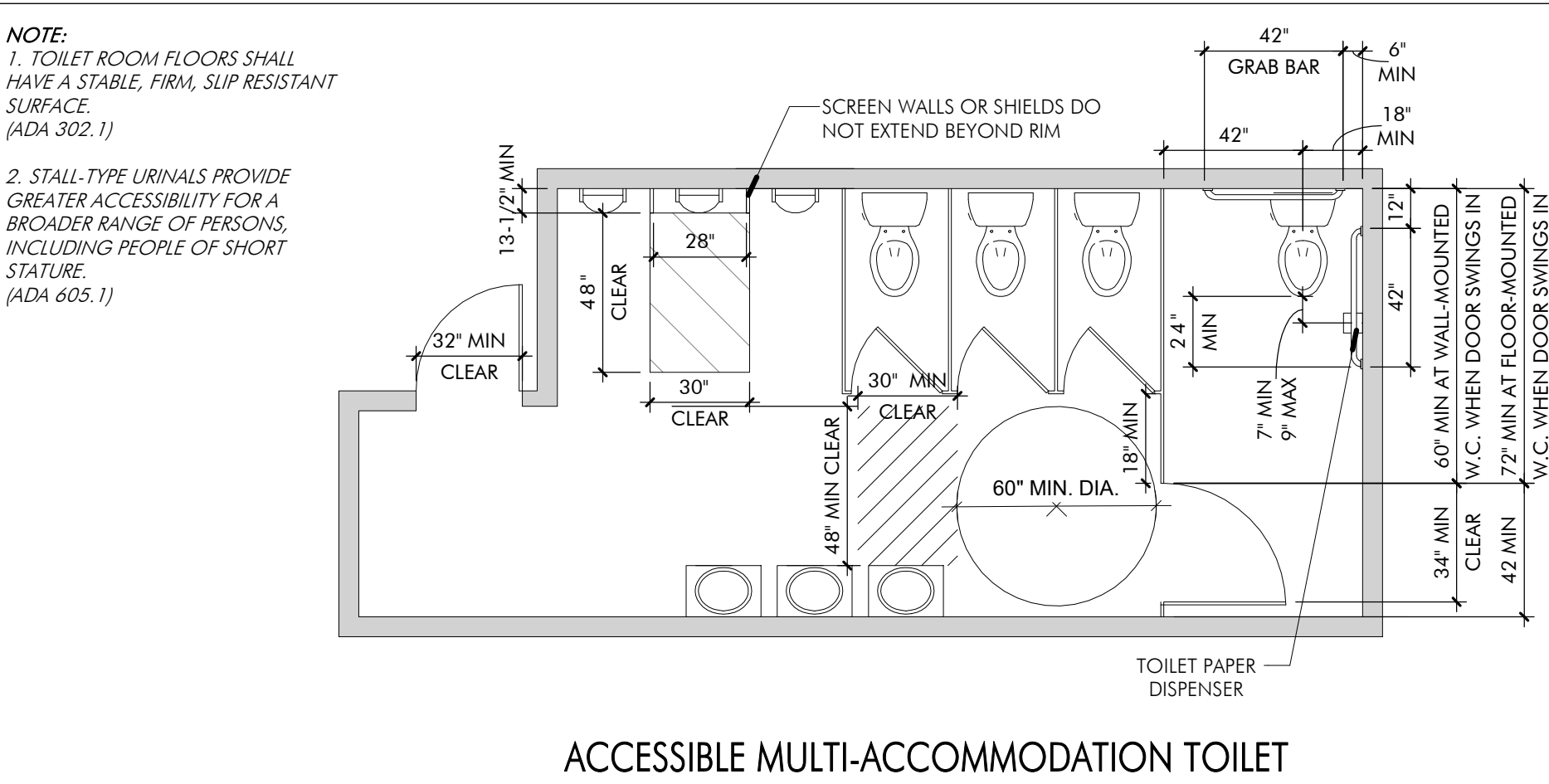
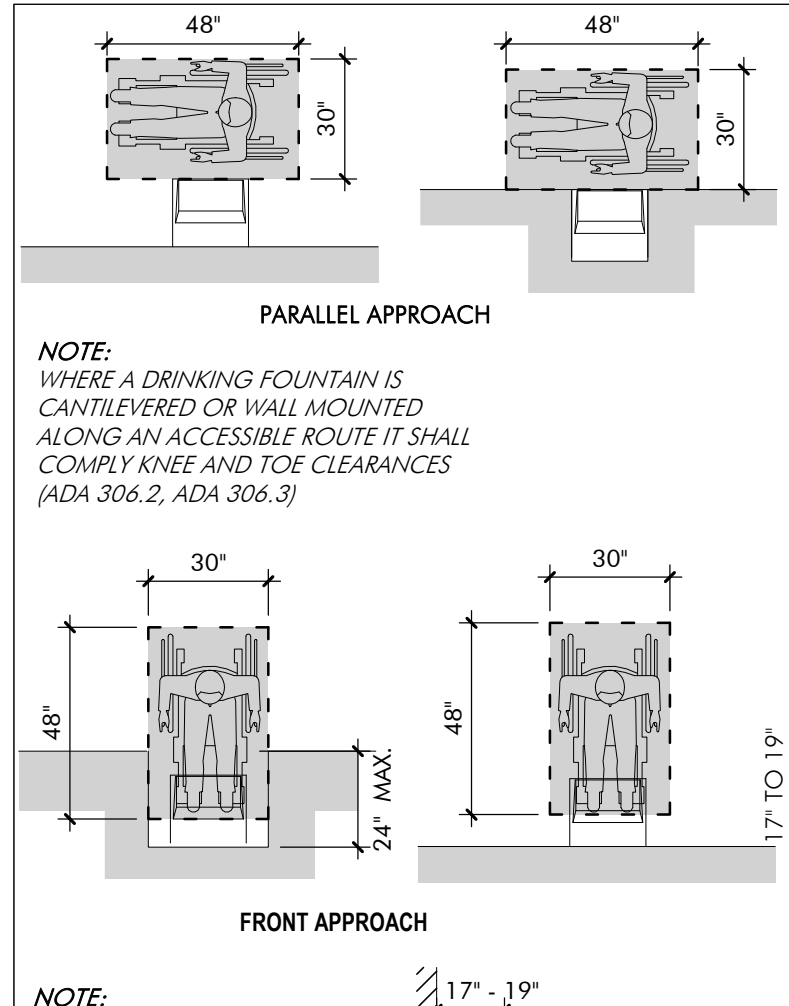
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PROJECT #: 2420
DRAWING BY: SW
CHK BY: BA

DWG NO.

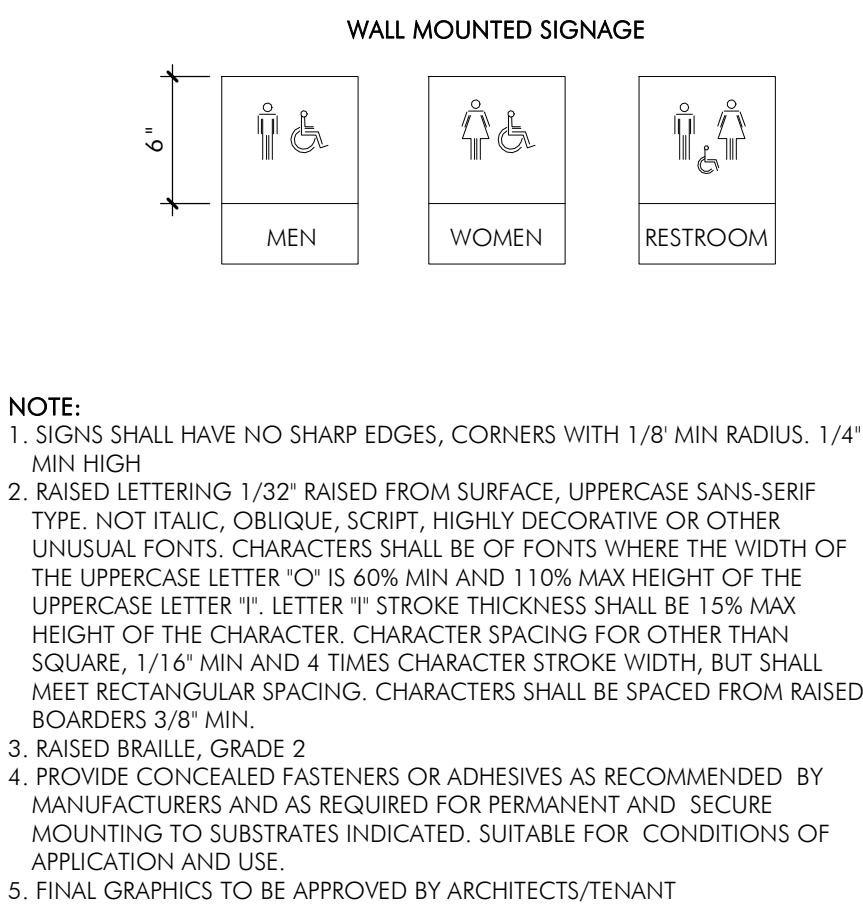
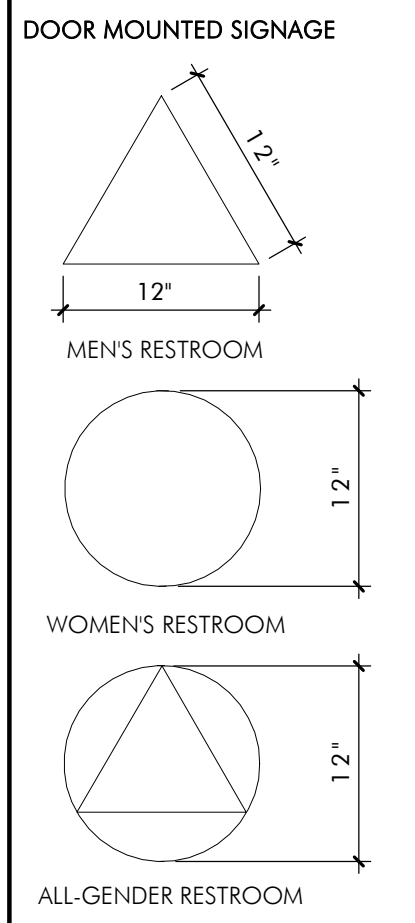
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2420

ABBREVIATIONS				SYMBOLS LEGEND				MATERIALS				GENERAL PROJECT NOTES											
NOTE 1: ABBREVIATIONS WHEN USED IN COMPOSITION MAY INCLUDE PERIODS FOR CLARIFICATION NOTE 2: ABBREVIATIONS MAY BE DIFFERENT WHEN A PART OF A LEGEND																							
A/C ACC ACST AD ADA ADJ AFC AFF AFG AGGR AHU ALT ALUM ANOD APC APPROX ARCH ASPH ATC AUTO AWT	AIR CONDITION(ING)(ED) ACCESSIBLE ACOUSTICAL AREA DRAIN AMERICANS WITH DISABILITIES ADJUSTABLE/ ADJACENT ABOVE FINISHED COUNTER ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AGGREGATE AIR HANDLING UNIT ALTERNATE ALUMINUM ANODIZE(D) ACOUSTICAL PANEL CEILING APPROXIMATE ARCHITECT(URAL), ARCHITECT ASPHALT ACOUSTICAL TILE CEILING AUTOMATIC ACOUSTICAL WALL TREATMENT	FO FOC FOF FOM FOS FP FRMG FRTW FT FTG FURG FURN FUT FV	FINISHED OPENING FACE OF CURB FACE OF FINISH FACE OF MASONRY FACE OF SLAB/ FACE OF STUD FIRE PROTECTION/ FIREPROOF FRAMING FIRE RETARDANT TREATED WOOD FOOT (FEET)/ FIRE TREATED FOOTING FURRING FURNISH, FURNITURE FUTURE FIELD VERIFY	PSI PT PTD PTN PTS PVC PVG	POUNDS PER SQUARE INCH POINT/ PRESSURE TREATED PAINTED PARTITION PNEUMATIC TUBE SYSTEM POLYVINYL CHLORIDE PAVING	QT QTY	QUARRY TILE QUANTITY																
B/ B/B BC BD BITUM BLDG BM BOT/ BSMT BUR	BOTTOM OF BACK TO BACK BACK OF CURB BOARD BITUMINOUS BUILDING BEAM/ BENCHMARK BOTTOM OF BASEMENT BUILT-UP ROOFING	GA GALV GENAL GFRG GFRG GL GL BLK GLU LAM GR LN GRFL GSSB GT GWB GYP BD GYP PLAS	GAGE GALVANIZED GENERAL GLASS FIBER REINFORCED CONCRETE GLASS FIBER REINFORCED GYPSUM GLASS GLASS BLOCK GLUED LAMINATED WOOD GRADE LINE GROUND FLOOR GYPSUM SHEATHING BOARD GREASE TRAP GYPSUM WALL BOARD GYPSUM BOARD GYPSUM PLASTER	R RB RC RCP RCP/TN RD REC REF REINF REQ(D) RESIL REV RF RH RL RM RO ROW RTF RVL	THERMAL RESISTANCE, RADIUS, RISER RUBBER BASE REINFORCED CONCRETE REFLECTED CEILING PLAN RECEPTION ROOF DRAIN RECESSED REFERENCE, REFRIGERATOR REINFORCE, REINFORCING REQUIRE, REQUIRED RESILIENT REVISION RESILIENT FLOORING RIGHT HAND RAIN LEADER ROOM ROUGH OPENING RIGHT OF WAY RUBBER TILE FLOOR REVEAL																		
CAB CB C/C CCTV CEM CF/CI	CABINET CATCH BASIN CENTER TO CENTER CLOSED CIRCUIT TELEVISION CEMENT CONTRACTOR FURNISHED, CONTRACTOR INSTALLED CONTRACTOR FURNISHED, OWNER INSTALLED CUBIC FEET PER MINUTE COLD-FORMED METAL FRAMING CORNER GUARD CAST IRON, CURB INLET CAST-IN-PLACE CONTROL JOINT CENTER LINE CEILING INCANDESCENT CLOSET CLEAR CLASSROOM CENTIMETER CONCRETE MASONRY UNIT CLEAN OUT COLUMN COMMUNICATION CONCRETE CONFERENCE CONTINUOUS COORDINATE CORRIDOR CARPET CARPET TILES CERAMIC TILE CENTER/CONTOUR CUBIC CABINET UNIT HEATER CUSTODIAN COLD WATER PIPING/ CHEMICAL WASTELINE	H HB HC HDW HDWD HMA HORIZ HPT HS HSPKG HT HVAC HW	HIGH HOSE BIBB HOLLOW CORE HARDWARE HARDWOOD HOLLOW METAL HOLD OPEN HORIZONTAL HIGH POINT HEAT STRENGTHENED HOUSEKEEPING HEIGHT HEATING, VENTILATION, AIR CONDITIONING HOT WATER	S SAN SC SCH SECT SF SGL SHR SHT SIM SJ SPEC SPKR SQ SS SST STA STC STD STL STR STOR SUSP SYS SYMM	SOUTH SANITARY SOLID CORE SCHEDULE SECTION SQUARE FOOT(FEET) SINGLE SHOWER SHEET SIMILAR SLIP JOINT, SCORED JOINT SPECIFICATION SPEAKER SQUARE SERVICE SINK STAINLESS STEEL STATION SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURE, STRUCTURAL STORAGE SUSPENDED SYSTEM SYMMETRICAL																		
D DBL DEG DEMO DEPT DF DIA DIAG DIFF DIM DISP DIV DL DN DR DS DW DWG	DEEP, DEPTH, PENNY (NAIL) DOUBLE DEGREE DEMOLISH, DEMOLITION DEPARTMENT DRINKING FOUNTAIN DIAMETER (EXTERIOR) DIAGONAL DIFFUSER/ DIFFERENCE DIMENSION DISPENSER DIVISION DEAD LOAD DOWN DOOR/ DRAIN DOWNSPOUT DISHWASHER DRAWING	L LAB LAM LAU LAV LB LF LH LIB LKR LL LLH LLV LONG LOC LPT LT LTG LVR	LONG LENGTH LABORATORY LAMINATE(D) LAUNDRY LAVATORY POUNDS(D) LINEAR FOOT, (FEET) LEFT HAND LIBRARY LOCKER LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LONGITUDINAL LOCATION LOW POINT LIGHT LIGHTING LOUVER	T T/ OF TA T&B T&G TEL TEMP TER THK TI TIT TO TOPO TRTD TS TV TYP	TREAD TOP OF TOILET ACCESSORY TOP & BOTTOM TONGUE & GROOVE TELEPHONE TEMPORARY TERRAZZO THICK TENANT IMPROVEMENT TOILET TOP OF TOPOGRAPHY, TOPOGRAPHIC TREATED TUBE STEEL TELEVISION TYPICAL																		
E EA EIFS EJ EL ELAST ELEC ELEV EMER EMER SHR ENCL ENGR ENTR EO EOS EP EQ EQUIP ETC EW EWC EXH EXIST EXP EXT	EAST EACH EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT ELEVATION ELASTOMERIC ELECTRICAL ELEVATOR EMERGENCY EMERGENCY SHOWER ENCLOSURE ENGINEER ENTRANCE ELECTRIC OUTLET EDGE OF SLAB ELECTRICAL PANEL EQUAL EQUIPMENT ET CETERA EACH WAY ELECTRIC WATER COOLER EXHAUST EXISTING EXPANSION EXTERIOR, EXTERNAL	M MACH MAINT MATL MAX MECH MEMB MEP MEZZ MFR MH MHO MIN MISC MKR BD MM MO MTG MTL MULL	METER MACHINE MAINTENANCE MATERIAL MAXIMUM MECHANICAL MEMBRANE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION MEZZANINE MANUFACTURER MANHOLE MAGNETIC HOLD OPEN MINIMUM MISCELLANEOUS MARKER BOARD MILLIMETER MASONRY OPENING MEETING METAL MULLION	U UH UL UNEX UNFIN UNO UTIL VB VCT VENT VERT VEST VIF VNR VOL VWC	HEAT TRANSFER COEFFICIENT UNIT HEATER UNDERWRITERS LABORATORIES UNEXCAVATED UNFINISHED UNLESS NOTED OTHERWISE UTILITY VINYL BASE VINYL COMPOSITION TILE VENTILATION VERTICAL VESTIBULE VERIFY IN FIELD VENEER VOLUME VINYL WALL COVERING																		
F/ F/F FA FAAP FACP FCO FC FD FDC FDC FDC	FACE OF FACE TO FACE FIRE ALARM FIRE ALARM ANNUNCIATOR PANEL FIRE ALARM CONTROL PANEL FLOOR CLEANOUT FURRING CHANNEL FLOOR DRAIN FIRE DEPARTMENT CONNECTION FIRE DEPARTMENT CONNECTION CABINET FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FACE FIRE HYDRANT FIRE HOSE CABINET FIRE HOSE RACK FINISHED FINISHED FLOOR ELEVATION FLOOR FLUOR	N NIC NO NOM NTS O/O OC OCC OD OF/CI OF/OI OFF OPH OPNG OPP ORD	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OUT TO OUT ON CENTER OCCUPY, OCCUPANT OUTSIDE DIAMETER OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED, OWNER INSTALLED OFFICE OPPOSITE HAND OPENING OPPOSITE OVERFLOW ROOF DRAIN	W W/ W/O WC WD WG WH WI WINDW WP WSC WT WVF WWM	WEST WITH WITHOUT WATER CLOSET WOOD WALL GUARD WATER HEATER WROUGHT IRON WINDOW WORKING POINT WAINSCOT WEIGHT WELDED WIRE FABRIC WELDED WIRE MESH																		
F/ F/F FA FAAP FACP FCO FC FD FDC FDC FDC	FACE OF FACE TO FACE FIRE ALARM FIRE ALARM ANNUNCIATOR PANEL FIRE ALARM CONTROL PANEL FLOOR CLEANOUT FURRING CHANNEL FLOOR DRAIN FIRE DEPARTMENT CONNECTION FIRE DEPARTMENT CONNECTION CABINET FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FACE FIRE HYDRANT FIRE HOSE CABINET FIRE HOSE RACK FINISHED FINISHED FLOOR ELEVATION FLOOR FLUOR	PA PAR PCC PERF PERP PLAM PLAS PLBG PLYWD PNT POL PR PREFAB PREFIN PRELIM PROJ PROP PS PSF	PUBLIC ADDRESS PARAPET, PARALLEL PRE-CAST CONCRETE PERFORATED PERPENDICULAR PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PAINT POLISHED PAIR PREFABRICATE(D) PREFINISHED PRELIMINARY PROJECT PROPERTY PULL STATION POUNDS PER SQUARE FOOT	X YD YR ZN	BY YARD YEAR ZINC																		
				SHEET NUMBER A-101.00 DRAWING 1/4" = 1'-0"				EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED EXISTING PARTITION TO REMAIN NEW PARTITION ROOM NAME ROOM TAG BUILDING SECTION TAG LINE MAY NOT BE CONTINUOUS DETAIL OR WALL SECTION TAG PARTIAL PLAN & DETAIL TAG EXTERIOR ELEVATION TAG INTERIOR ELEVATION TAG DRAWING REVISIONS AREA OUT OF SCOPE				SOIL - COMPACTED SOIL - UNDISTURBED POROUS FILL - COURSE (CRUSHED STONE) POROUS FILL - MEDIUM (GRAVEL) POROUS FILL - FINE (SAND) BITUMINOUS PAVING (ASPHALT) CONCRETE - CAST IN PLACE CONCRETE - LIGHTWEIGHT (TOPPING) TERRAZZO STONE - CUT STONE - CAST MASONRY - BRICK MASONRY - GLAZED BRICK MASONRY - CONCRETE MASONRY UNIT (CMU) MASONRY - GLAZED OR GROUND FACED CMU MASONRY - STRUCTURAL CLAY TILE METAL - STEEL METAL - ALUMINUM METAL - ORNAMENTAL CONTINUOUS WOOD FRAMING DISCONTINUOUS WOOD BLOCKING OR SHIM WOOD - FINISH WOODWORK WOOD - PLYWOOD WOOD - PARTICLE BOARD WOOD - FLOORING GYPSUM WALLBOARD GYPSUM WALLBOARD - LEAD LINED WATERPROOFING OR AIR/VAPOR BARRIER RIGID INSULATION BATT INSULATION SPRAY-ON FIREPROOFING PLASTER STUCCO W/ METAL LATH RESILIENT FLOORING CARPETING INSULATED GLAZING IMP INSULATED MINERAL FIBER MONOLITHIC GLASS GLASS BLOCK ACOUSTICAL CEILING PANEL BACKER ROD AND SEALANT				GENERAL DEMOLITION NOTES: 1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS. 2. CONTRACTOR SHALL DOCUMENT ANY EXISTING COLUMNS AND NOTIFY THE ARCHITECT. 3. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. DIMENSIONS AND INFORMATION IN THESE DRAWINGS ARE BASED ON EXISTING DRAWINGS DRAWN PRIOR TO DEMOLITION. 4. DEMOLITION NOTES ON THE PLAN IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE. 5. THE CONTRACTOR SHALL VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED. 6. CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY. 7. ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS SHALL BE REMOVED, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE PLANS WITH DASHED LINES. 8. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEM SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSITION OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE. 10. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. 11. ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS SHALL BE REMOVED. CONTRACTOR SHALL VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (E.G. BEARING WALLS, BEAM, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES A COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT. 12. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS. 13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY SHORING ASSOCIATED WITH DEMOLITION WORK. 14. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATION OF NEW TEMPORARY SERVICE FOR TEMPORARY USE ITEMS. 15. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY ARCHITECT AND OWNER. 16. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION. 17. ALL FIRE AND LIFE SAFETY EQUIPMENT, UNLESS NOTED OTHERWISE, SHALL REMAIN AND BE TIED INTO NEW SERVICE. 18. ALL ROOF PENETRATIONS SHALL BE PATCHED AND REPAIRED. 19. ALL EXISTING PLUMBING FIXTURES, UNLESS NOTED OTHERWISE, SHALL BE REMOVED AND DISCARDED PER CODE. 20. ALL EXISTING INSULATION SHALL NOT BE REMOVED OR ALTERED UNLESS EXPLICITLY OTHERWISE NOTED.				GENERAL CONSTRUCTION NOTES: 1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS. 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF ANY SIGNIFICANT CHANGES IN DIMENSIONS OR CONDITIONS. 3. THE DRAWINGS ARE INTENDED TO BE FOLLOWED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL. THE SPECIFICATION AND/OR PROJECT MANUAL FORMS PART OF THE CONTRACT DOCUMENTS AND CONTAINS ADDITIONAL INFORMATION REQUIRED TO CONSTRUCT THE WORK OF THIS CONTRACT. 4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES. EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS. 5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS AND AGENCY APPROVALS TO THE OWNER. 6. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 7. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATING WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, SAFETY, AND SECURITY ON SITE. 8. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED. 9. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK. 10. EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION. 11. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 12. DO NOT SCALE DRAWINGS: ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN, OR IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK. 13. DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF THE WORK. 14. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 15. UNLESS ITEMS OR MATERIAL, EQUIPMENT OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED UNDER THIS CONTRACT. 16. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.			
												ANDERSON ARCHITECTURE STUDIO, PC											
												GENERAL DEMOLITION NOTES: 1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS. 2. CONTRACTOR SHALL DOCUMENT ANY EXISTING COLUMNS AND NOTIFY THE ARCHITECT. 3. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. DIMENSIONS AND INFORMATION IN THESE DRAWINGS ARE BASED ON EXISTING DRAWINGS DRAWN PRIOR TO DEMOLITION. 4. DEMOLITION NOTES ON THE PLAN IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE. 5. THE CONTRACTOR SHALL VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED. 6. CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY. 7. ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS SHALL BE REMOVED, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE PLANS WITH DASHED LINES. 8. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEM SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSITION OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE. 10. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. 11. ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS SHALL BE REMOVED. CONTRACTOR SHALL VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (E.G. BEARING WALLS, BEAM, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES A COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT. 12. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS. 13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY SHORING ASSOCIATED WITH DEMOLITION WORK. 14. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATION OF NEW TEMPORARY SERVICE FOR TEMPORARY USE ITEMS. 15. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY ARCHITECT AND OWNER. 16. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION. 17. ALL FIRE AND LIFE SAFETY EQUIPMENT, UNLESS NOTED OTHERWISE, SHALL REMAIN AND BE TIED INTO NEW SERVICE. 18. ALL ROOF PENETRATIONS SHALL BE PATCHED AND REPAIRED. 19. ALL EXISTING PLUMBING FIXTURES, UNLESS NOTED OTHERWISE, SHALL BE REMOVED AND DISCARDED PER CODE. 20. ALL EXISTING INSULATION SHALL NOT BE REMOVED OR ALTERED UNLESS EXPLICITLY OTHERWISE NOTED.				GENERAL CONSTRUCTION NOTES: 1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS. 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF ANY SIGNIFICANT CHANGES IN DIMENSIONS OR CONDITIONS. 3. THE DRAWINGS ARE INTENDED TO BE FOLLOWED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL. THE SPECIFICATION AND/OR PROJECT MANUAL FORMS PART OF THE CONTRACT DOCUMENTS AND CONTAINS ADDITIONAL INFORMATION REQUIRED TO CONSTRUCT THE WORK OF THIS CONTRACT. 4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES. EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS. 5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS AND AGENCY APPROVALS TO THE OWNER. 6. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 7. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATING WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, SAFETY, AND SECURITY ON SITE. 8. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED. 9. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK. 10. EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. 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THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 15. UNLESS ITEMS OR MATERIAL, EQUIPMENT OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED UNDER THIS CONTRACT. 16. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.				17. MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT. 18. THE CONTRACTOR SHALL PERFORM TESTS AT THEIR OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TEST SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER. 19. THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER HIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. 20. THE CONTRACTOR SHALL REPLACE SEALANT AT ALL EXTERIOR PENETRATIONS AT EXTERIOR WALLS AND ROOF THAT ARE IN POOR CONDITION. 21. THE CONTRACTOR SHALL INFILL ANY AND ALL HOLES IN THE BUILDING EXTERIOR. 22. THE CONTRACTOR SHALL PROVIDE A PRIVACY FILM ON ALL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION. 23. IN BUILDINGS TO BE OCCUPIED DURING CONSTRUCTION, DO NOT OBSTRUCT ACCESS TO EXISTING EXITS, AND DO NOT REDUCE THE WIDTH OF EXIT PATHWAYS. 24. MEMBRANE-PENETRATIONS AND THROUGH-PENETRATIONS IN FIRE RATED WALLS, FLOORS, CEILINGS, AND ROOF ASSEMBLIES SHALL BE SEALED WITH A LISTED AND RATED PENETRATION SEALANT SYSTEM MEETING OR EXCEEDING THE REQUIRED FIRE RATING OF THE ASSEMBLY. 25. FIRE RESISTIVE RATINGS MUST BE MAINTAINED AROUND AND BEHIND CABINETS, ELECTRICAL PANELS, JUNCTION BOXES, AND ANY DEVICES OR EQUIPMENT RECESSED INTO RATED ASSEMBLIES. 26. THE CONTRACTOR SHALL INSTALL CONTINUOUS PERIMETER FIRESAFING AT RATED FLOORS AND ROOFS, AND COORDINATE THE INSTALLATION WITH EXTERIOR WALLS. FIRE RATINGS OF SAFING SYSTEMS SHALL MATCH, OR EXCEED, THE FIRE RATING OF THE FLOOR AND/OR ROOF ASSEMBLIES. 27. THE CONTRACTOR SHALL INSTALL STIFFENERS, BRACING, BACKING PLATES AND/OR BLOCKING AS REQUIRED FOR SECURE INSTALLATION OF WALL AND CEILING MOUNTED ITEMS (INCLUDING, BUT NOT LIMITED TO: TOILET PARTITIONS, DOORS AND WALL-MOUNTED DOOR HARDWARE, HANDRAILS, WALL-MOUNTED CASEWORK, ARTWORK, OPERABLE PARTITIONS, DEMOUNTABLE PARTITIONS, GLAZINGS, MISCELLANEOUS FURNISHINGS AND EQUIPMENT, MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT.) WOOD BLOCKINGS, IF PERMITTED BY CODE AND INSPECTIONAL AUTHORITIES, SHALL BE FIRE AND MOISTURE TREATED.			
												NOT FOR CONSTRUCTION											
												100% SD SET											
												PROJECT: NEWBURGH KUSH FACTORY RETAIL DISPENSARY 1255 NY - 300 NEWBURGH, NY 12550											
												TITLE: GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS											
												SEAL & SIGNATURE: DATE: 24.12.04 PROJECT #: 2420 DRAWING BY: SW CHK BY: BA DWG NO. G-001.00 2420											



NUMBER OF CHECK-OUT AISLES OF EACH FUNCTION	MINIMUM NUMBER OF ACCESSIBLE CHECK-OUT AISLES OF EACH FUNCTION
1 TO 4	1
5 TO 8	2
9 TO 15	2
16 AND OVER	3, PLUS 20 % OF ADDITIONAL AISLES



NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: ACCESSIBILITY
REQUIREMENTS

DATE: 24.12.04
PROJECT #: 2420
DRAWING BY: SW
CHK BY: BA
DWG NO.

G-003.00

2420

BUILDING CODE REFERENCES

- TITLE 19 OF THE NEW YORK CODES, RULES & REGULATIONS
 - UNIFORM FIRE PREVENTION & BUILDING CODE
 - 2020 BUILDING CODE OF NEW YORK STATE
 - 2018 INTERNATIONAL BUILDING CODE
 - 2020 PLUMBING CODE OF NEW YORK STATE
 - 2018 INTERNATIONAL PLUMBING CODE
 - 2020 MECHANICAL CODE OF NEW YORK STATE
 - 2018 INTERNATIONAL MECHANICAL CODE
 - 2020 FUEL GAS CODE OF NEW YORK STATE
 - 2018 INTERNATIONAL FUEL GAS CODE
 - 2020 FIRE CODE OF NEW YORK STATE
 - 2018 INTERNATIONAL FIRE CODE
 - 2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE
 - 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
 - 2020 EXISTING BUILDING CODE OF NEW YORK STATE
 - 2018 INTERNATIONAL EXISTING BUILDING CODE
 - STATE ENERGY CONSERVATION CONSTRUCTION CODE
 - ANSI/ASHRAE/IES STANDARD 90.1 (2016)
 - NEW YORK STATE AMENDMENTS TO 'NURSING MOTHERS IN THE WORKPLACE ACT'
 - NEW YORK CITY'S 2018 LACTATION ACCOMMODATION REQUIREMENTS

PROJECT DESCRIPTION

INTERIOR ALTERATIONS TO AN EXISTING BUILDING LOCATED AT 1255 NY ROUTE 300 NEWBURGH, NY 12550.

THE TENANTS OF THE ALTERED PORTION OF THE BUILDING WILL BE A CANNABIS RETAIL BUSINESS. THE PROPOSED SCOPE OF THE PROJECT WILL APPROXIMATELY INCLUDE:

3,305
SQUARE FEET

USE & OCCUPANCY CLASSIFICATION

THE PROPOSED 'OCCUPANCY USE GROUP' IS CATEGORIZED AS 'MERCANTILE' (GROUP M)

TYPE OF CONSTRUCTION

TYPE IIB

CLASSIFICATION OF WORK WITHIN AN EXISTING BUILDING

ALTERATION - LEVEL 2

(THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT)

ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE

TABLE 504.3* ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE			
OCCUPANCY CLASSIFICATION	SEE FOOTNOTES	TYPE OF CONSTRUCTION	
		TYPE II	B
A, B, E, F, M, S, U	S		75

For SI: 1 foot = 304.8 mm.

Note: UL = Unlisted; NS = Buildings not equipped throughout with an automatic sprinkler system; S = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1; S13R = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.2.

ALLOWABLE BUILDING AREA

OCCUPANCY CLASSIFICATION	FIRE PROTECTION CATEGORY	ALLOWABLE BUILDING AREA	PROPOSED BUILDING AREA
M	SPRINKLERED (SINGLE STORY)	50,000 SF	3,305 SQ FT

FIRE-RESISTANCE RATINGS

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)		
BUILDING ELEMENT	TYPE II	
	B	
Primary structural frame ^f (see Section 202)	0	
Bearing walls: Exterior ^e , f	0	
Interior	0	
Nonbearing walls and partitions: Exterior	See Table 602	
Nonbearing walls and partitions: Interior ^d	0	
Floor construction and associated secondary members (see Section 202)	0	
Roof construction and associated secondary members (see Section 202)	0 ^c	

For SI: 1 foot = 304.8 mm.

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.

b. Except in Group F-1, H, M and S-1 occupancies, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.

c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.

d. Not less than the fire-resistance rating required by other sections of this code.

e. Not less than the fire-resistance rating based on fire separation distance (see Table 602).

f. Not less than the fire-resistance rating as referenced in Section 704.10.

FIRE PROTECTION SYSTEMS

AN INITIAL BUILDING ASSESSMENT DID OBSERVE AN EXISTING SPRINKLER SYSTEM.

THE MERCANTILE AREA DOES NOT EXCEED 12,000SF. THE MERCANTILE AREA IS LOCATED ON THE FIRST FLOOR. THE PROPOSED MERCANTILE AREA WILL NOT SELL UPHOLSTERED FURNITURE. THEREFORE, AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED WITHIN THE TENANT'S LEASED AREA.

AN EXISTING FIRE ALARM SYSTEM WAS OBSERVED AND WILL REMAIN IN PLACE (WITH MODIFICATIONS TO SUIT THE NEW DESIGN)

DESIGN OCCUPANT LOAD

SUM OF (AREAS / OCCUPANT LOAD FACTORS) = TOTAL DESIGN OCCUPANT LOAD					
ROOM NAME	ROOM NUMBER	AREA	USE GROUP	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
ENTRY & CHECK-IN / SALES FLOOR	101	1097 SF	PROTECTED ACCESS	100 SF	11
POS AREA	102	183 SF	LIMITED ACCESS	60 SF	4
FUTURE OFFICE	103	197 SF	LIMITED ACCESS	100 SF	2
LIMITED ACCESS CORRIDOR 1A	104	234 SF	LIMITED ACCESS	0 SF	
INVENTORY VAULT	105	201 SF	RESTRICTED ACCESS	300 SF	1
BREAK ROOM	106	639 SF	LIMITED ACCESS	60 SF	11
LIMITED ACCESS CORRIDOR 1B	107	363 SF	LIMITED ACCESS	0 SF	
BATHROOM 1A	108	45 SF	LIMITED ACCESS	60 SF	1
BATHROOM 1B	109	45 SF	LIMITED ACCESS	60 SF	1
LIMITED ACCESS CORRIDOR 1C	110	138 SF	LIMITED ACCESS	0 SF	
JANITOR	111	34 SF	LIMITED ACCESS	50 SF	1
BACK OF HOUSE BREAK ROOM	112	80 SF	LIMITED ACCESS	60 SF	2
BACK OF HOUSE OFFICE / LACTATION / SECURE, I.T.	113	144 SF	RESTRICTED ACCESS	100 SF	2
TOTAL DESIGN OCCUPANT LOAD					36

NUMBER OF EXITS OR ACCESS TO EXITS PER STORY

NUMBER OF EXITS REQUIRED: 1

NUMBER OF EXITS PROVIDED: 3

MEANS OF EGRESS SIZING

EXIT #	DESIGN OCCUPANT LOAD	EGRESS CAPACITY FACTOR	EGRESS WIDTH REQUIRED	EGRESS WIDTH PROVIDED
1	29	0.20"	5.8"	36"
2	2	0.20"	0.4"	36"
3	5	0.20"	1"	36"

EXIT ACCESS TRAVEL DISTANCE

CORRIDORS

CORRIDOR FIRE RESISTANCE RATING: 0
CORRIDOR WIDTH REQUIRED: 36"
CORRIDOR WIDTH PROVIDED: 60"

MAXIMUM EXIT ACCESS TRAVEL DISTANCE WITH SPRINKLER SYSTEM

ALLOWED IN 'M' OCCUPANCY: 250'-0"

DEAD ENDS

MAXIMUM DISTANCE ALLOWED (*SPRINKLERED*) = 50'-0"

MINIMUM PLUMBING FACILITIES

FIXTURE	REQUIRED	PROVIDED
WATER CLOSETS	1 PER 500 OCC.	2
LAVATORIES	1 PER 750 OCC.	2
BATHTUBS/SHOWERS	0	-
DRINKING FOUNTAIN	1 PER 1,000 OCC.	2
SERVICE SINK	1	1

LACTATION ACCOMMODATION

REQUIREMENTS	PROVIDED
PROVIDE A DESIGNATED 'LACTATION ROOM' FOR EMPLOYEES. THE LACTATION ROOM SHALL BE A SANITARY PLACE, OTHER THAN A RESTROOM, THAT CAN BE USED TO EXPRESS MILK SHIELDED FROM VIEW AND FREE FROM INTRUSIONS; THE ROOM SHALL INCLUDE AN ELECTRICAL OUTLET, A CHAIR, A SURFACE ON WHICH TO PLACE A BREAST PUMP AND OTHER PERSONAL ITEMS, AND NEARBY ACCESS TO RUNNING WATER. THE LACTATION ROOM MUST BE IN REASONABLE PROXIMITY TO THE EMPLOYEE WORK AREA AND A REFRIGERATOR SUITABLE FOR BREAST MILK STORAGE.	YES

NOT FOR CONSTRUCTION

100% SD SET

PROJECT:

NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE:

BUILDING CODE REVIEW

SEAL & SIGNATURE:

DATE: 24.12.04
PROJECT #: 2420
DRAWING BY: SW
CHK BY: BA
DWG NO.

A-001.00

LIFE SAFETY LEGEND

- | | |
|--|---|
| | 1-HR FIRE RATED PARTITION |
| | 2-HR FIRE RATED PARTITION |
| | LINE-STYLE INDICATES EGRESS PATH |
| | IBC OCCUPANT LOAD FACTOR
NUMBER OF OCCUPANTS IN THE ROOM |
| | IBC OCCUPANT LOAD/
DIRECTION OF EGRESS |
| | OCCUPANT LOAD AT DOOR |
| | EXIT WIDTH REQUIRED |
| | EXIT WIDTH PROVIDED |
| | SYMBOL INDICATES EGRESS EXIT
AND NUMBER |
| | EXIT SIGN |
| | EMERGENCY BATTERY LIGHTING UNITS |
| | EMERGENCY DOOR RELEASE |

FIRE EXTINGUISHER LEGEND

- | | |
|-----|--|
| FE | BRACKET MOUNTED FIRE EXTINGUISHER |
| FEC | FIRE EXTINGUISHER CABINET (SEE SPEC FOR INSTALLATION TYPE) |

NOT FOR CONSTRUCTION

100% SD SET

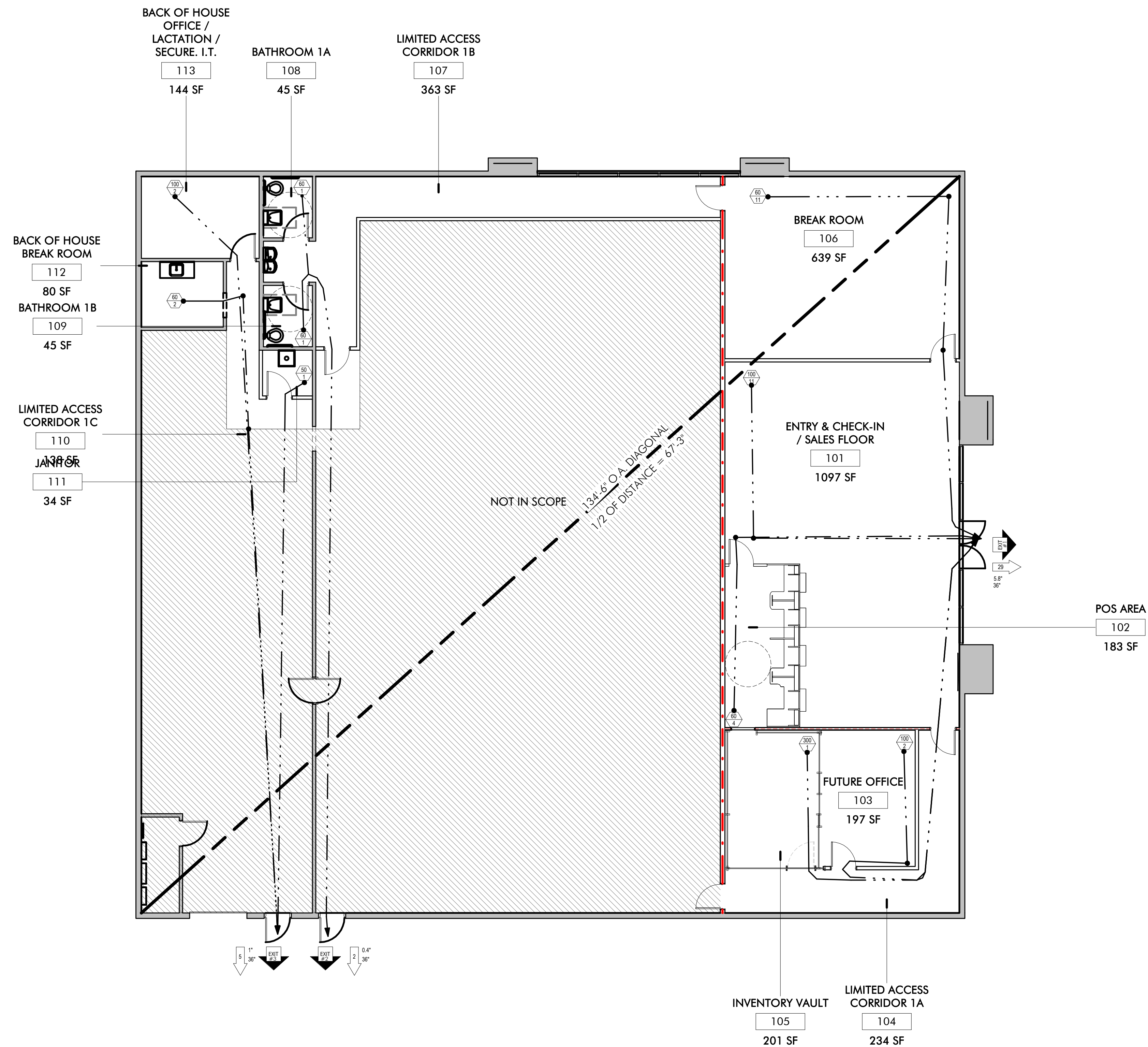
PROJECT:

**NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY**

**1255 NY - 300 NEWBURGH, NY
12550**

BUILDING LIFE SAFETY DIAGRAM

SEAL & SIGNATURE: 	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHK BY:	BA
	DWG NO.	
<h1>A-002.00</h1>		
	2420	



LEGEND:

	OPEN ACCESS
	PROTECTED ACCESS
	LIMITED ACCESS
	RESTRICTED ACCESS
	HARDENED CONSTRUCTION

NOT FOR CONSTRUCTION

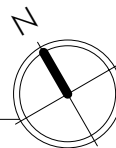
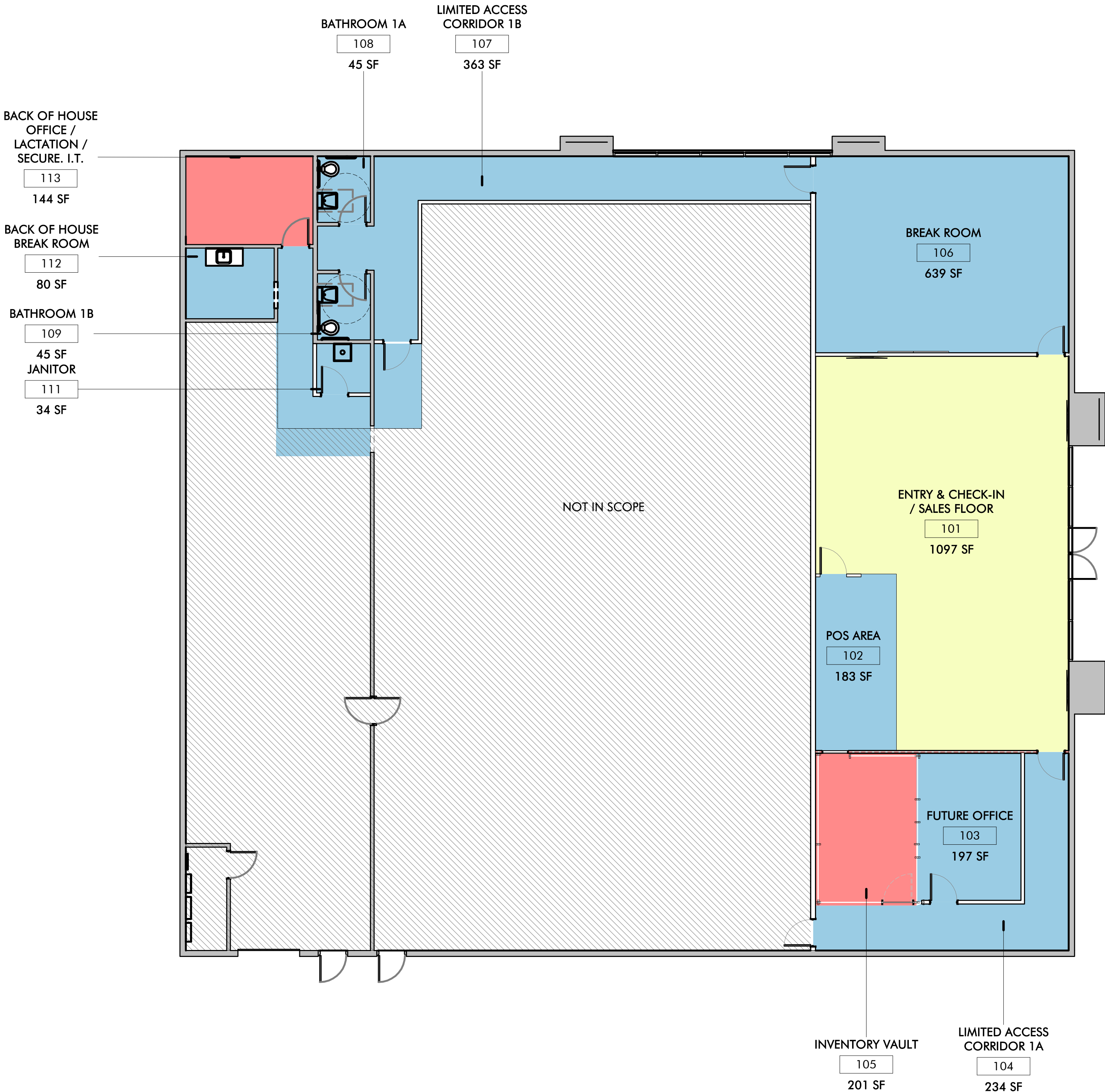
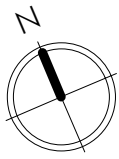
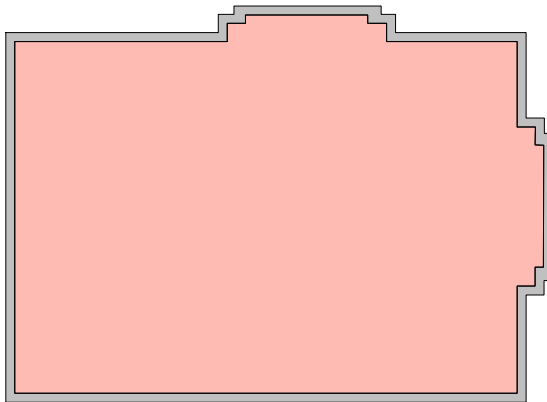
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PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: PROGRAM FLOOR PLAN
DIAGRAM

SEAL & SIGNATURE:	DATE: 24.12.04 PROJECT #: 2420 DRAWING BY: SW CHK BY: BA DWG NO. A-003.00
	2420

KEY PLAN



Notes Corresponding to Schedule B

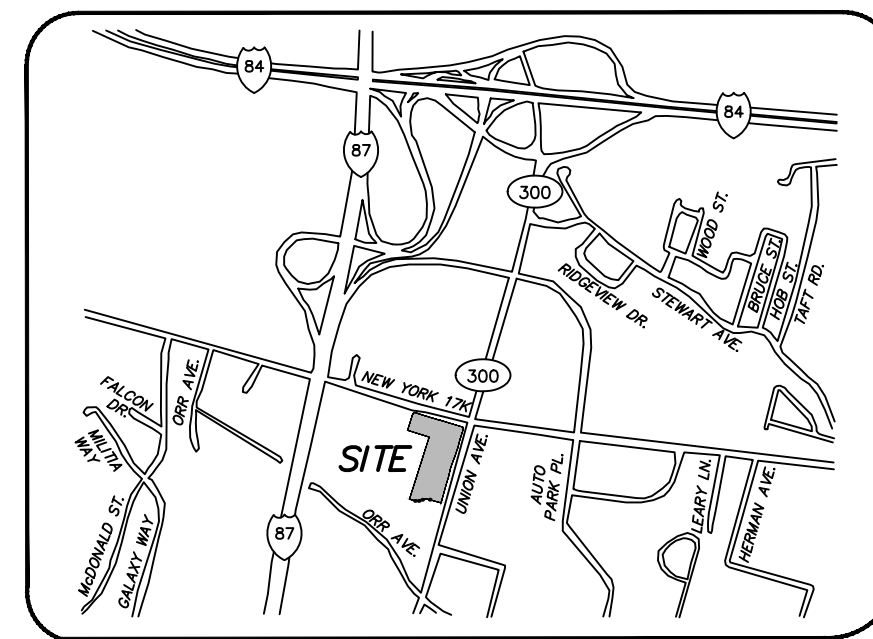
- (6A) UTILITY EASEMENT GRANTS TO CENTRAL HUDSON GAS & ELECTRIC CORPORATION, RECORDED IN LIBER 693 cp. 329, LIBER 698 cp. 84, LIBER 72 cp. 208 AND LIBER 1932 cp. 211. AFFECTS SUBJECT PARCEL AND HAS BEEN SHOWN.
- (6B) EASEMENT GRANT TO HUDSON RIVER TELEPHONE COMPANY IN LIBER 481 PAGE 311. AFFECTS SUBJECT PARCEL. APPROXIMATE LOCATION HAS BEEN SHOWN.
- (6C) UTILITY EASEMENT GRANT TO CENTRAL HUDSON GAS & ELECTRICAL CORPORATION AND NEW YORK TELEPHONE COMPANY, RECORDED IN LIBER 1575 cp. 452. AFFECTS SUBJECT PARCEL. APPROXIMATE LOCATION HAS BEEN SHOWN.
- (6D) UTILITY EASEMENT AGREEMENT MADE BETWEEN DAK DEVELOPMENT CORP., THE TOWN OF NEWBURGH AND 17K UA SEWER CONSTRUCTION CORP., DATED 2/23/1979 RECORDED 11/16/1979 IN LIBER 2149 cp. 296. AFFECTS SUBJECT PARCEL AND HAS BEEN SHOWN.
- (6E) THE EASEMENT GRANTED TO TOWN OF NEWBURGH AND 17K UA SEWER CONSTRUCTION CORP. AND RECORDED IN LIBER 2149 AT PAGE 326, AS ASSIGNED BY ASSIGNMENT OF EASEMENT RECORDED IN LIBER 2149 AT PAGE 342, DOES NOT AFFECT SUBJECT PARCEL BUT HAS BEEN SHOWN ANYWAYS.
- (6F) EASEMENTS ACQUIRED BY THE STATE OF NEW YORK, PURSUANT TO APPROPRIATION MAP Nos. 22, 38, 39, 40 AND 41. AFFECTS SUBJECT PARCEL AND HAS BEEN SHOWN.
- (6G) EASEMENTS FOR SEWER, ETC. RECITED IN DEED MADE BY DAVID V. KING, TRUSTEE TO KIBER REALTY DEVELOPMENT, DATED 12/2/1997 IN LIBER 4528 cp. 307. HAVE BEEN SHOWN BUT ARE LOCATED IN THE RIGHT-OF-WAY OF N.Y.S. ROUTE 300 (UNION AVENUE).
- (6H) TERMS COVENANTS, RESTRICTIONS, PROVISIONS AND EASEMENTS SET FORTH IN OPERATION AND MAINTENANCE DECLARATION MADE BY LOWE'S HOME CENTERS, INC., DATED AS OF 7/23/2002 RECORDED 2/25/2004 IN LIBER 5948 cp. 56. BLANKET IN NATURE.
- (6I) DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS MADE BY AND BETWEEN NEWBURGH CROSSING, LLC AND LOWE'S HOME CENTERS, INC., DATED AS OF 2/19/2004 RECORDED 2/25/2004 IN LIBER 11398 PAGE 1015. AFFECTS SUBJECT PARCEL AND HAS BEEN SHOWN.
- (6J) FUTURE ACCESS AGREEMENT MADE BETWEEN NEWBURGH CROSSING, LLC AND INLAND WESTERN NEWBURGH CROSSING, L.L.C., DATED 10/19/2005 IN LIBER 11971 cp. 1826. AFFECTS FUTURE DEVELOPMENT OF PROPERTY ADJACENT TO SUBJECT PARCEL.
- (6K) EASEMENTS DEPICTED ON FILED MAP No. 121-02. AFFECTS SUBJECT PARCEL AND HAS BEEN SHOWN.

General Notes

1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209-2, OF THE NEW YORK STATE EDUCATION LAW.
2. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INK SEAL SHALL BE CONSIDERED VALID TRUE COPIES.
3. THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PARTIES OR PURPOSE INDICATED IS EXPRESSLY FORBIDDEN WITHOUT WRITTEN RELEASE OR PERMISSION OF FRANCIS G. McCLOSKEY, LICENSE No. 049441.
4. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR EXAMINED OR CONSIDERED AS PART OF THIS SURVEY.
5. ABSTRACT OF TITLE PROVIDED BY LAND TRACK TITLE AGENCY AS AGENT FOR FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE No. LTTA-NY-3713. EFFECTIVE DATE OCTOBER 25, 2014.
6. UNDERGROUND UTILITIES SHOWN ARE TAKEN FROM FIELD LOCATION WHERE POSSIBLE AND FROM RECORD DATA. THEIR EXACT LOCATION IN THE FIELD MAY DIFFER FROM THAT SHOWN HEREIN AND ADDITIONAL UTILITIES MAY EXIST. CALL DISOAT AT 1-800-962-7962 TO HAVE UTILITIES MARKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES, EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS ON SUBJECT PARCEL.
8. THERE IS NO OBSERVABLE EVIDENCE OF SUBJECT PARCEL BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
9. THERE IS NO VISIBLE EVIDENCE OF UNUSUAL SUBSURFACE MATTERS SUCH AS, BUT NOT LIMITED TO, CONDEMNATION BY THE EPA OR FAA BUILDING HEIGHT RESTRICTION ON SUBJECT PARCEL.

Legend of Symbols & Abbreviations

R.O.W.	RIGHT OF WAY	MONUMENT
No.	NUMBER	IRON ROD
enc.	ENCROACHMENT	MANHOLE
P.O.B.	POINT OF BEGINNING	CATCHBASIN
S.F.	SQUARE FEET	SIGN
N/F	NOW OR FORMERLY	BOLLARD
Fl.	FEET	FENCE LINE
Deg.	DEGREE	GUARD RAIL
R	RECORD	OVERHEAD WIRE, UTILITY POLE & GUY WIRE
M	MEASURED	TRAFFIC FLOW ACCESS AREA
N	NORTH	WATER SHUT OFF
S	SOUTH	WATER VALVE
E	EAST	HYDRANT
W	WEST	GAS VALVE
tel.	TELEPHONE	STREET LIGHT
elec.	ELECTRIC	LIGHT POLE
L	LIBER	CONCRETE
P.	PAGE	PAVEMENT
0	HANDICAPPED PARKING SPACE	
	PARKING METER	
	COMMON DRIVE LANES	
	CURB CUT ACCESS	

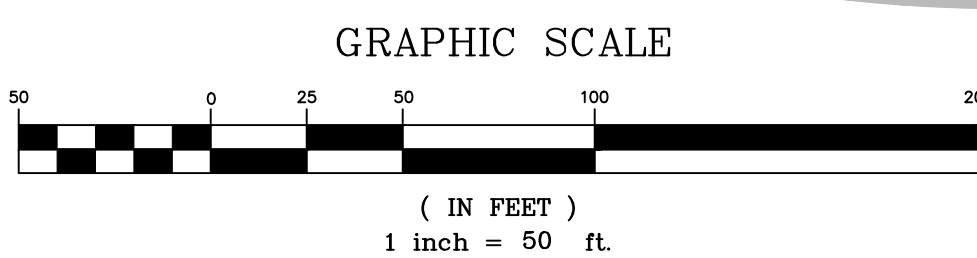
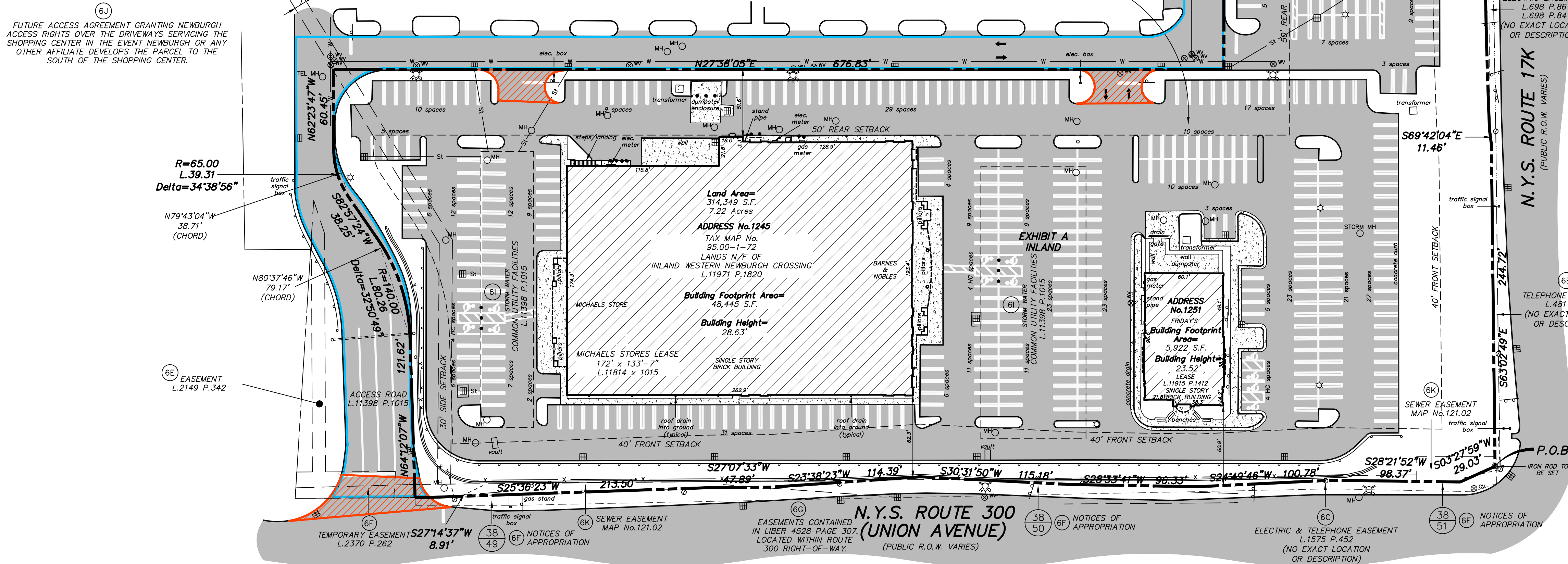
VICINITY MAP
MAP NOT TO SCALE

Statement of Encroachments

NO ENCROACHMENTS WERE OBSERVED AT THE TIME OF THE SURVEY

- (6K) SEWER EASEMENT MAP No. 121-02 L.2149 P.296 L.2149 P.340
- (6J) FUTURE ACCESS AGREEMENT GRANTING NEWBURGH ACCESS RIGHTS OVER THE DRIVEWAYS SERVING THE SHOPPING CENTER IN THE EVENT NEWBURGH OR ANY OTHER AFFILIATE DEVELOPS THE PARCEL TO THE SOUTH OF THE SHOPPING CENTER.

OPERATION & MAINTENANCE DECLARATION L.5948 P.56 SUBJECT PARCEL IS TO OPERATE AS A UNIFIED SHOPPING CENTER WITH THE LOWE'S PARCEL WITH MAINTENANCE FEE OVER COMMON AREAS SHARED, LOWE'S 68.05% SUBJECT PARCEL 31.95%



FLOOD NOTE: By graphic plotting only, this property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 3607120139E, which bears an effective date of AUGUST 3, 2009, and is not in a Special Flood Hazard Area. By telephone call dated 11/21/2014, to the National Flood Insurance Program (800-638-6620) we have learned this community does/does not currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

Parking Table

REGULAR PARKING	387
HANDICAPPED PARKING	16
TOTAL PARKING SPACES	403

PARKING REQUIREMENTS

USE	NUMBER OF SPACES
RETAIL STORE, SHOPPING CENTER AND PERSONAL SERVICE STORE:	1 PER 150 SQUARE FEET OF GROSS LEASABLE FLOOR SPACE.
RETAIL STORE IN EXCESS OF 25,000 SQUARE FEET OF LEASABLE FLOOR AREA.	1 PER 200 SQUARE FEET OF GROSS LEASABLE FLOOR SPACE.
RESTAURANT	1 PER 4 SEATS, OR PER SQUARE FEET OF SEATING AREA AS REQUIRED BY THE PLANNING BOARD FOR RESTAURANTS DEMONSTRATING GREATER PARKING SPACE NEEDS IN THE JUDGEMENT OF THE PLANNING BOARD.

PARKING FOR HANDICAPPED DRIVERS. PARKING AREAS AND PARKING GARAGES SHALL PROVIDE PARKING SPACES FOR HANDICAPPED DRIVERS WITH THE DIMENSIONS, LOCATIONS AND NUMBER AS REQUIRED BY APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.

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Record Description

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Newburgh, Orange County and State of New York, being more particularly bounded and described as follows: BEGINNING at the intersection of the southerly side of N.Y.S. Route 17K and the westerly side of Union Avenue (Also known as N.Y.S. Route 300), said point of being in the northeast corner of the herein described parcel;

THENCE RUNNING along the westerly side of Union Avenue the following nine (9) courses and distances: South 03 degrees 27' 59" West a distance of 29.03 feet to a point; South 28 degrees 21' 52" West a distance of 98.37 feet to a point; South 24 degrees 49' 46" West a distance of 100.78 feet to a point; South 28 degrees 33' 41" West a distance of 96.33 feet to a point; South 30 degrees 31' 50" West a distance of 114.18 feet to a point; South 23 degrees 38' 23" West a distance of 114.39 feet to a point; South 27 degrees 07' 33" West a distance of 47.89 feet to a point; South 25 degrees 36' 23" West a distance of 215.50 feet to a point; South 27 degrees 14' 37" West a distance of 8.91 feet to a point being the southeasterly corner of the herein described parcel;

THENCE RUNNING the following nine (9) courses and distances: North 64 degrees 12' 07" West a distance of 121.62 feet to a point; Along a curve to the left having a radius of 140.00 feet, central angle of 32 degrees 50' 49", length of 80.26 feet and a chord bearing, North 80 degrees 37' 46" West a distance of 79.17 feet to a point; North 82 degrees 57' 24" West a distance of 38.25 feet to a point; Along a curve to the right having a radius of 65.00 feet, central angle of 34 degrees 38' 56", length of 33.31 feet and a chord bearing, North 79 degrees 43' 04" West a distance of 38.71 feet to a point; North 62 degrees 23' 47" West a distance of 60.45 feet to a point; North 27 degrees 36' 05" East a distance of 676.83 feet to a point; North 62 degrees 23' 55" East a distance of 236.83 feet to a point; North 27 degrees 36' 05" East a distance of 173.85 feet to a point; North 52 degrees 31' 48" East a distance of 28.28 feet to a point, said point on the southerly side of N.Y.S. Route 17K and the northwesterly corner of the herein described parcel;

THENCE RUNNING along the southerly side of N.Y.S. Route 17K along a curve to the left having a radius of 4,152.66 feet, central angle of 03 degrees 44' 11", length of 270.81 feet and a chord bearing, South 62 degrees 55' 05" East 270.76 feet to a point; South 69 degrees 42' 04" East a distance of 11.46 feet to a point; South 63 degrees 02' 49" East a distance of 244.72 feet to the point and place of BEGINNING.

Together with the benefits of that certain OPERATION AND MAINTENANCE DECLARATION made by LOWE'S HOME CENTERS INC. dated 7/23/02 and recorded 7/25/02 in Liber 5948 cp. 56. Together with the benefits of that certain DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS by and between NEWBURGH CROSSING, LLC AND LOWE'S HOME CENTERS INC. dated 2/19/04 and recorded 2/25/04 in Liber 11398 cp. 1015.

This description is intended to describe all that property described in the Title Commitment identified as Land Track Title Agency as agent for Fidelity National Title Insurance Company, local title No. LTTA-NY-3713, effective date, October 25, 2014.

ALTA/ACSM Land Title Survey

NEWBURGH PROJECT

B&C Project No. 201403216, 001
1245-1255 ROUTE 300 NEWBURGH, N.Y.

The property described and shown herein is the same property described in Land Track Title Agency LLC as agent for Fidelity National Title Insurance Company, Title Commitment No. LTTA-NY-3713, October 25, 2014.

Surveyor's Certification

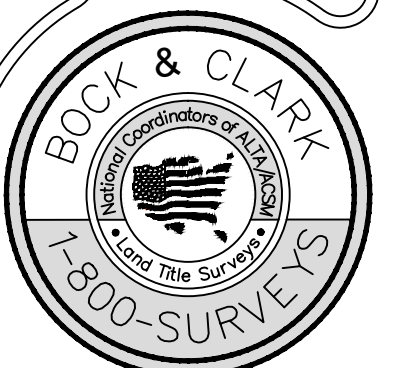
To: BCA CM LLC; 120 FULTON LLC AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS; LAND TRACK TITLE AGENCY, LLC AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS; FIDELITY NATIONAL TITLE INSURANCE COMPANY AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS; BOCK & CLARK CORPORATION AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6b, 7a, 7b1, 7c, 8, 9, 10, 11a, 13, 14, 16, 17, 18 and 21 of Table A thereof. The field work was completed on 11/9/2014.

Francis G. McCloskey, L.S.
Registration No. 49441
In the State of New York
Date of Survey: 11/12/2014
Date of Last Revision: 3/10/15
Network Project No. 201403216-001

Survey Performed by:
HERSHBERG & HERSHBERG
CONSULTING ENGINEERS AND LAND SURVEYORS
18 Locust Street
Albany, New York 12203
Phone: (518) 459-3096
Fax: (518) 459-5683
Email: hshershberg@aol.com
SURVEY FILE No.: 140353

Bock & Clark's National Surveyors Network
National Coordinators of ALTA/ACSM Land Title Surveys
537 North Cleveland-Hassillon Road
Akron, Ohio 44333
Phone: (800) SURVEYS, Fax: (330) 666-3608
www.1800surveys.com



SITE PLAN NOTES

1. ALL EXISTING EXTERIOR LIGHTING TO REMAIN. UPGRADE AS REQUIRED.

SITE PLAN KEYNOTES

- 1 EXISTING (ROAD SIDE) PYLON SIGN FOR THIS LOCATION TO REMAIN. NEW SIGNAGE WITH LOGO/BRANDING TBD BY LICENSEE.
- 2 EXISTING DUMPSTER ENCLOSURE AREA
- 3 EXISTING LIGHT POLE TO REMAIN
- 4 EXISTING EXTERIOR LIGHTS ON BUILDING FACADE TO REMAIN (TYP.)
- 5 NEW ALUMINUM EXTERIOR SIGNAGE MOUNTED ON EXISTING SIGNAGE PANEL. SEE SIGNAGE DETAIL ON PAGE A-201.00 #2.

N.Y.S. ROUTE 300

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

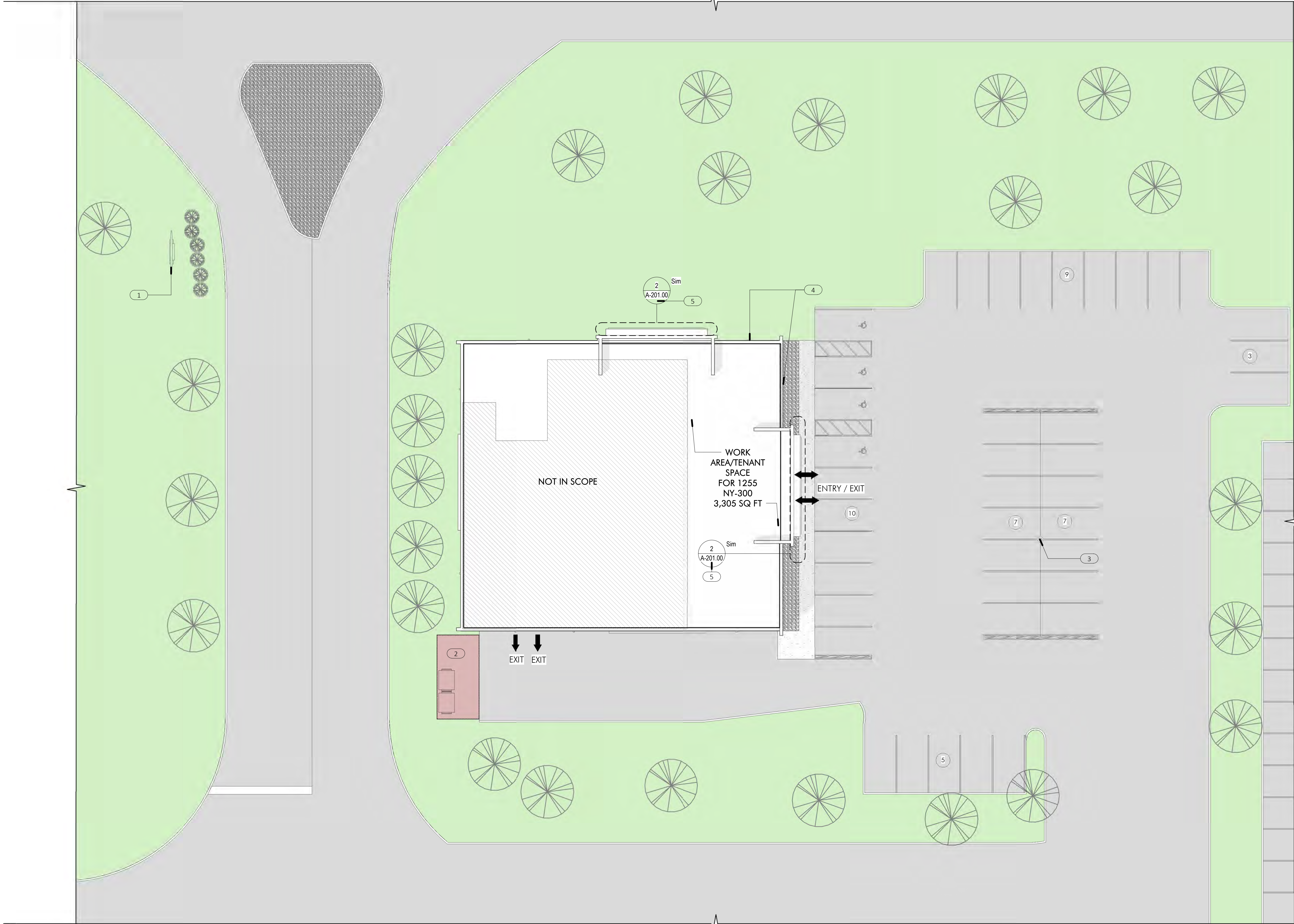
TITLE: EXISTING SITE PLAN

SEAL & SIGNATURE: DATE: 24.12.04
PROJECT #: 2420
DRAWING BY: SW
CHK BY: BA
DWG NO.

AX-100.00

2420

N.Y.S. ROUTE 17K



PARKING TABLE

REGULAR PARKING	37
HANDICAPPED PARKING	4
TOTAL PARKING SPACES	41

PARKING REQUIREMENTS

USE	NUMBER OF SPACES
RETAIL STORE, SHOPPING CENTER AND PERSONAL SERVICE STORE.	1 PER 150 SQUARE FEET OF GROSS LEASABLE FLOOR SPACE.
RETAIL STORE IN EXCESS OF 25,000 SQUARE FEET OF LEASABLE FLOOR AREA	1 PER 200 SQUARE FEET OF GROSS LEASABLE FLOOR SPACE.

PARKING FOR HANDICAPPED DRIVERS, PARKING AREAS AND PARKING GARAGES SHALL PROVIDE PARKING SPACES FOR HANDICAPPED DRIVERS WITH THE DIMENSIONS, LOCATIONS AND NUMBER AS REQUIRED BY APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.

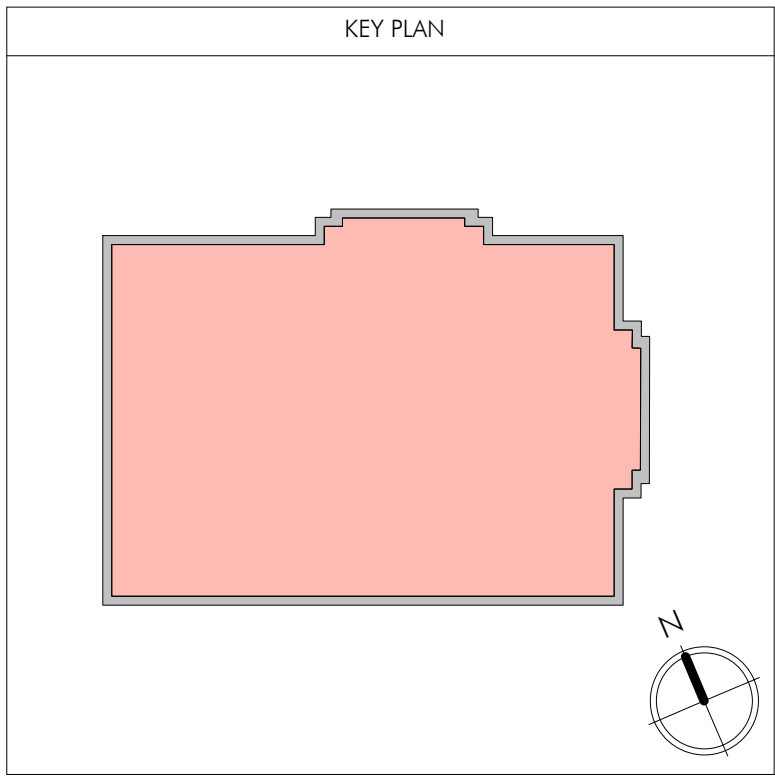
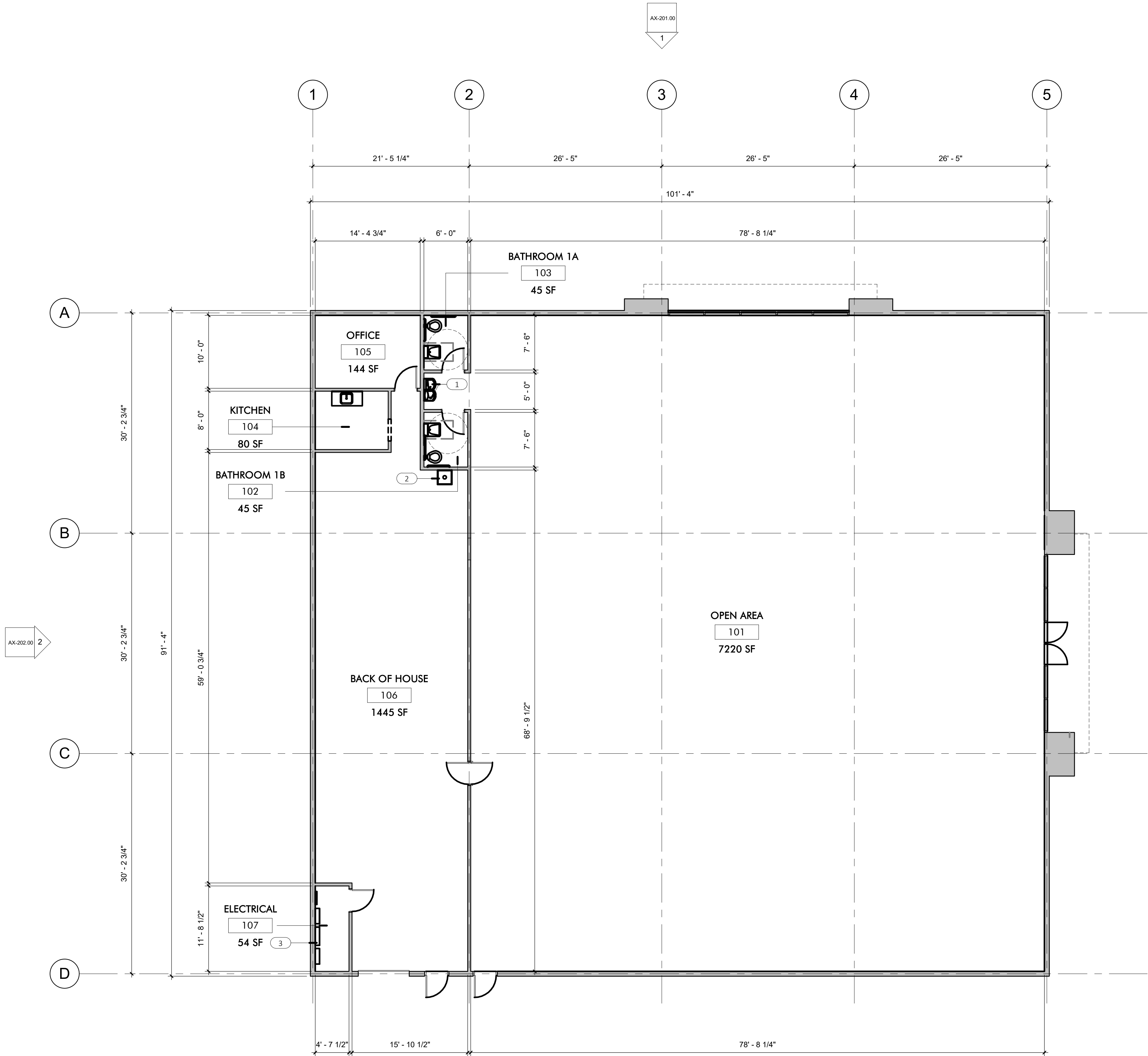
1 EXISTING SITE PLAN
1/16" = 1'-0"

12/24/2024 5:07:34 PM

11/25/2024 7:03:01 PM

1 EXISTING FIRST FLOOR PLAN

1/8" = 1'-0"



ANDERSON
ARCHITECTURE
STUDIO, PC

EXISTING FLOOR PLAN LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- EXISTING WALL TO REMAIN

EXISTING FLOOR PLAN NOTES

1. REFER TO SHEET G-001 FOR GENERAL DRAFTING STANDARDS AND ABBREVIATIONS USED & GENERAL NOTES.
2. REFER TO SHEET G-002 & G-003 FOR DISABLED ACCESS NOTES.
3. REFER TO A-002 FOR LIFE SAFETY DIAGRAM.

EXISTING FLOOR PLAN KEYNOTES

- 1 EXISTING DRINKING FOUNTAIN TO REMAIN
- 2 EXISTING MOP SINK TO REMAIN
- 3 EXISTING ELECTRICAL PANELS TO REMAIN

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: EXISTING FLOOR PLAN

SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
DWG NO.		AX-101.00
		2420

- 1 EXISTING LIGHT FIXTURES AND LOCATIONS TO BE
VERIFIED BEFORE ANY DEMO WORK OF EXISTING OR
NEW PROPOSED LIGHTING TO BE DONE.

NOT FOR CONSTRUCTION

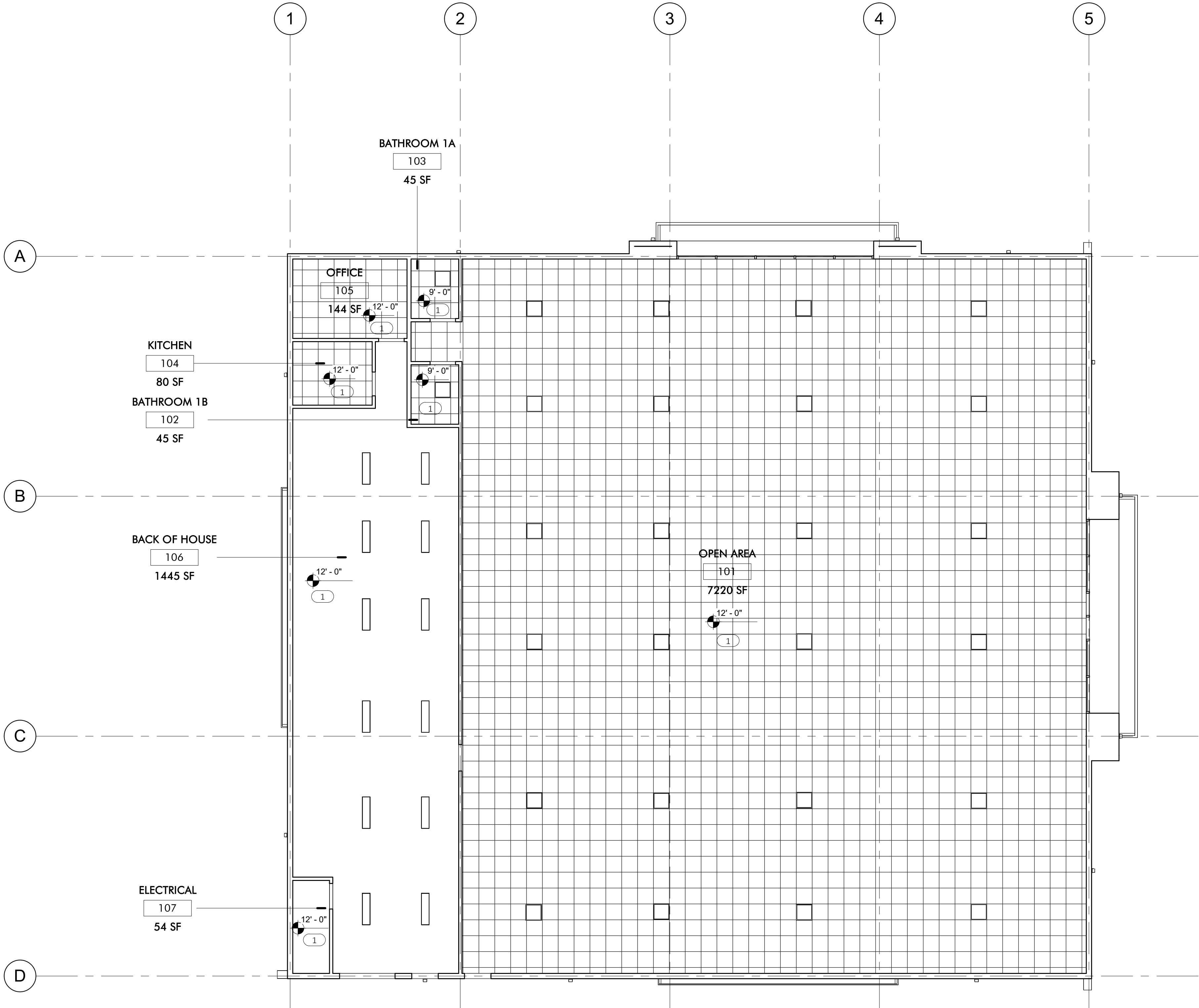
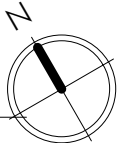
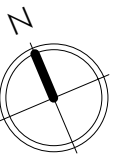
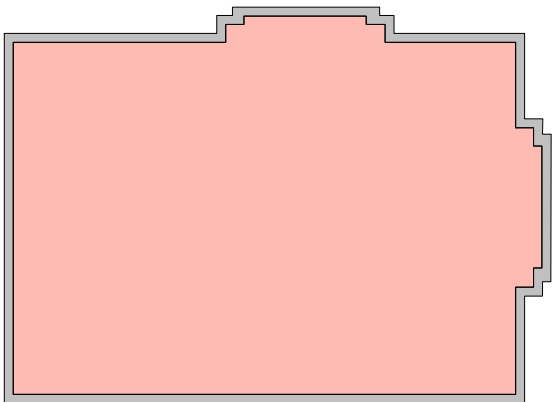
100% SD SET

PROJECT:
**NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY**
1255 NY - 300 NEWBURGH, NY
12550

TITLE:
**EXISTING REFLECTED
CEILING PLAN**

SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
DWG NO.		AX-121.00
		2420

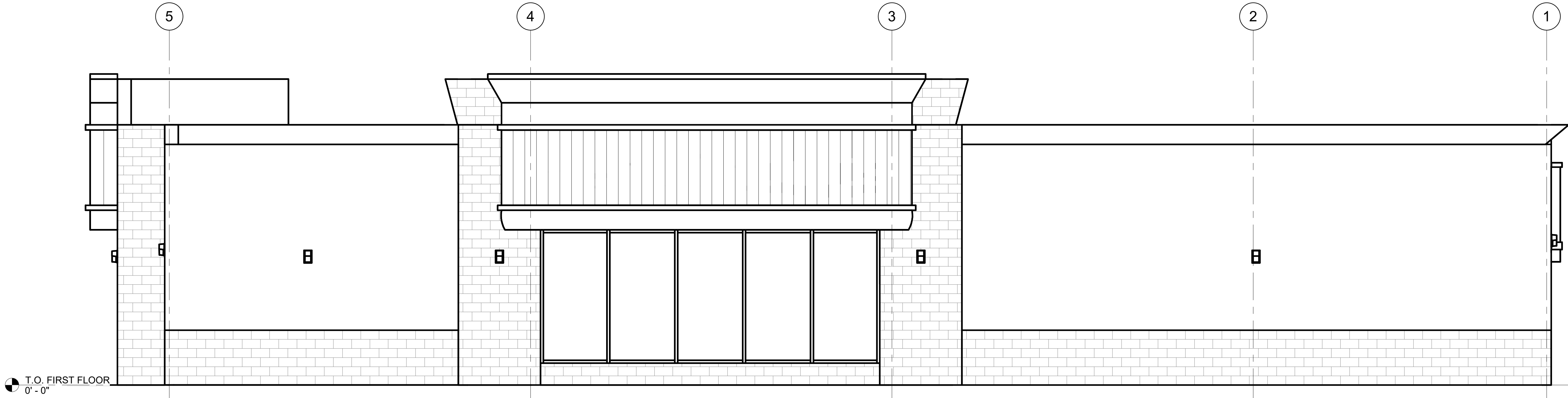
KEY PLAN



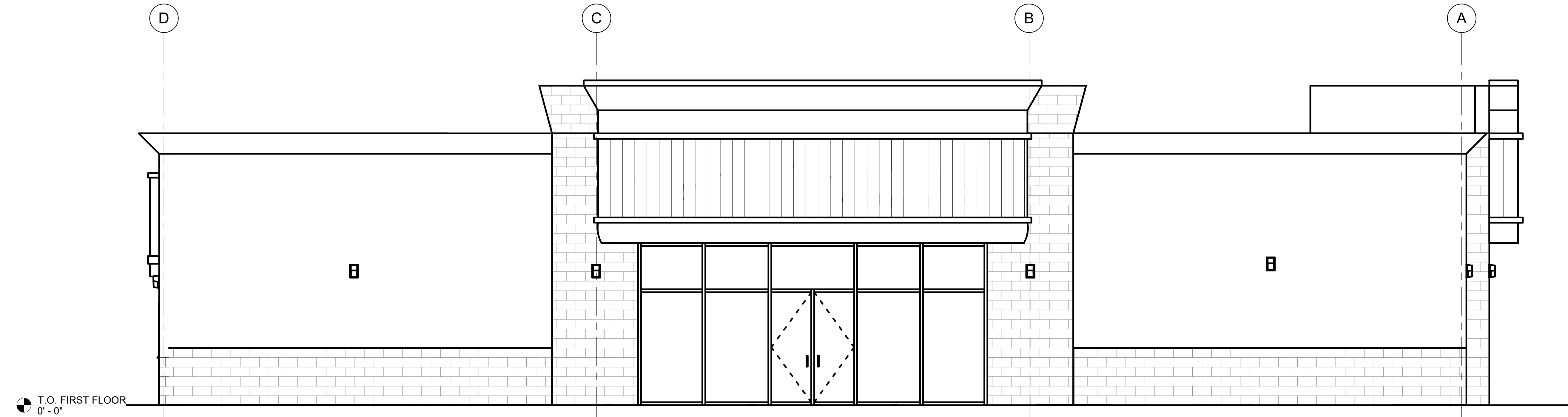
1 EXISTING REFLECTED CEILING PLAN
1/8" = 1'-0"

EXISTING ELEVATION NOTES

1. GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PRESENT GLASS FROM SHATTERING IF BROKEN.



1 EXISTING EXTERIOR ELEVATION (NORTH)
1/4" = 1'-0"



2 EXISTING EXTERIOR ELEVATION (EAST)
1/4" = 1'-0"

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: EXISTING EXTERIOR
ELEVATIONS

SEAL & SIGNATURE:

DATE: 24.12.04

PROJECT #: 2420

DRAWING BY: SW

CHE BY: BA

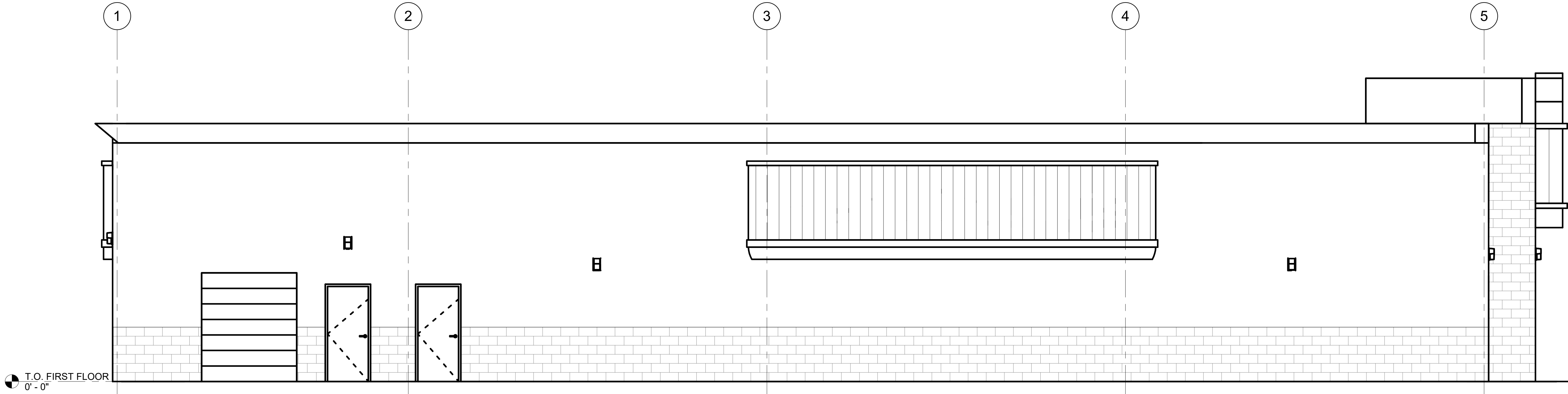
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AX-201.00

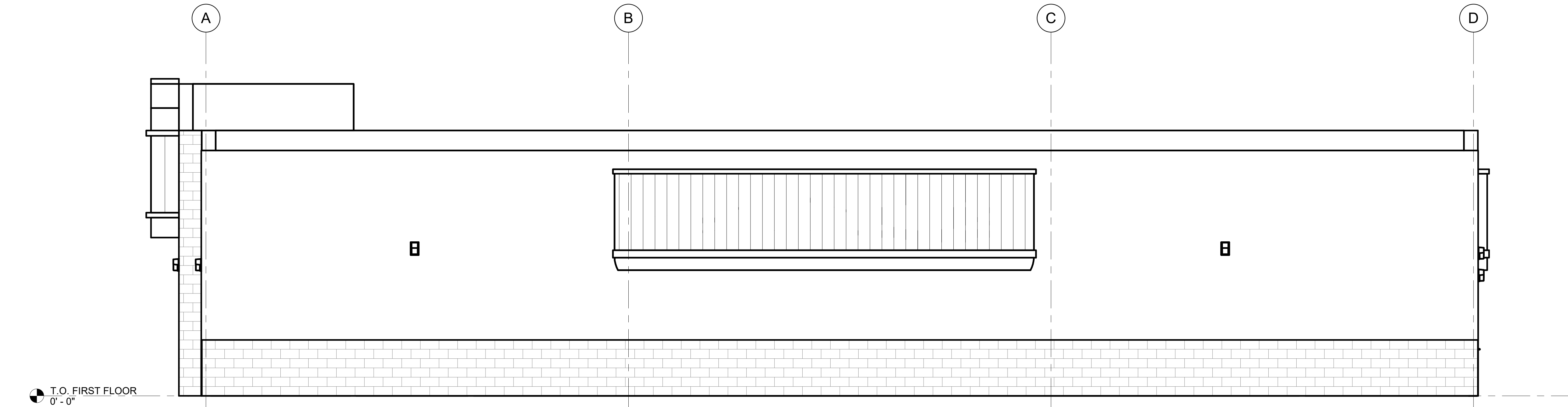
2420

EXISTING ELEVATION NOTES

1. GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PRESENT GLASS FROM SHATTERING IF BROKEN.



1 EXISTING EXTERIOR ELEVATIONS (SOUTH)
1/4" = 1'-0"



2 EXISTING EXTERIOR ELEVATION (WEST)
1/4" = 1'-0"

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: EXISTING EXTERIOR
ELEVATIONS

SEAL & SIGNATURE:	DATE: 24.12.04 PROJECT #: 2420 DRAWING BY: SW CHK BY: BA DWG NO. AX-202.00 2420
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DEMOLITION LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING STRUCTURE TO BE DEMOLISHED AND REMOVED FROM SITE.
- EXISTING DOOR TO BE REMOVED. REFER TO DEMOLITION KEYNOTES FOR MORE INFORMATION.

DEMOLITION NOTES

1. REFER TO SHEET G-001.00 FOR GENERAL DRAFTING STANDARDS AND ABBREVIATIONS USED & GENERAL NOTES.
2. REFER TO SHEET G-002.00 & G-003.00 FOR DISABLED ACCESS NOTES.
3. REFER TO A-002.00 FOR LIFE SAFETY DIAGRAM.
4. REFER TO SHEET AD-101.00, AD-121.00 & AD-200.00 FOR TYPICAL DEMOLITION NOTES, PATCHING AND CLEANING NOTES AND ELEVATION DEMOLITION NOTES.

DEMOLITION KEYNOTES

- 1EXISTING ROUGH OPENINING TO REMAIN.
- 2DEMO NEW ROUGH OPENING.

NOT FOR CONSTRUCTION

100% SD SET

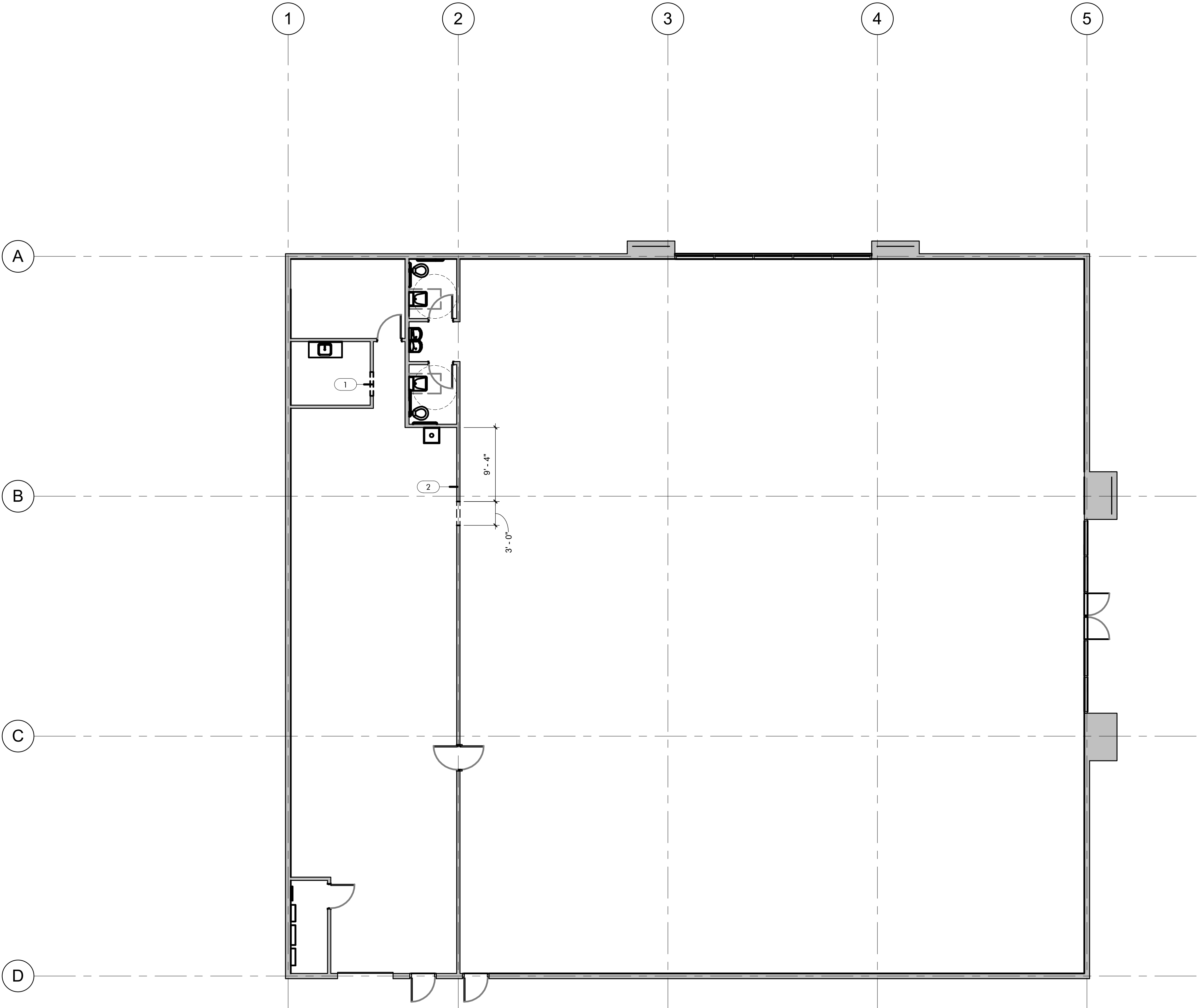
PROJECT:

NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE:

DEMOLITION FLOOR PLAN

SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
DWG NO.		AD-101.00
		2420



1 DEMOLITION FIRST FLOOR PLAN
1/8" = 1'-0"

DEMOLITION LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING STRUCTURE TO BE DEMOLISHED AND REMOVED FROM SITE.
- EXISTING DOOR TO BE REMOVED. REFER TO DEMOLITION KEYNOTES FOR MORE INFORMATION.

DEMOLITION NOTES

1. REFER TO SHEET G-001.00 FOR GENERAL DRAFTING STANDARDS AND ABBREVIATIONS USED & GENERAL NOTES.
2. REFER TO SHEET G-002.00 & G-003.00 FOR DISABLED ACCESS NOTES.
3. REFER TO A-002.00 FOR LIFE SAFETY DIAGRAM.
4. REFER TO SHEET AD-101.00, AD-121.00 & AD-200.00 FOR TYPICAL DEMOLITION NOTES, PATCHING AND CLEANING NOTES AND ELEVATION DEMOLITION NOTES.

DEMOLITION KEYNOTES

- 1 EXISTING ROUGH OPENINING TO REMAIN.
- 2 DEMO NEW ROUGH OPENING.

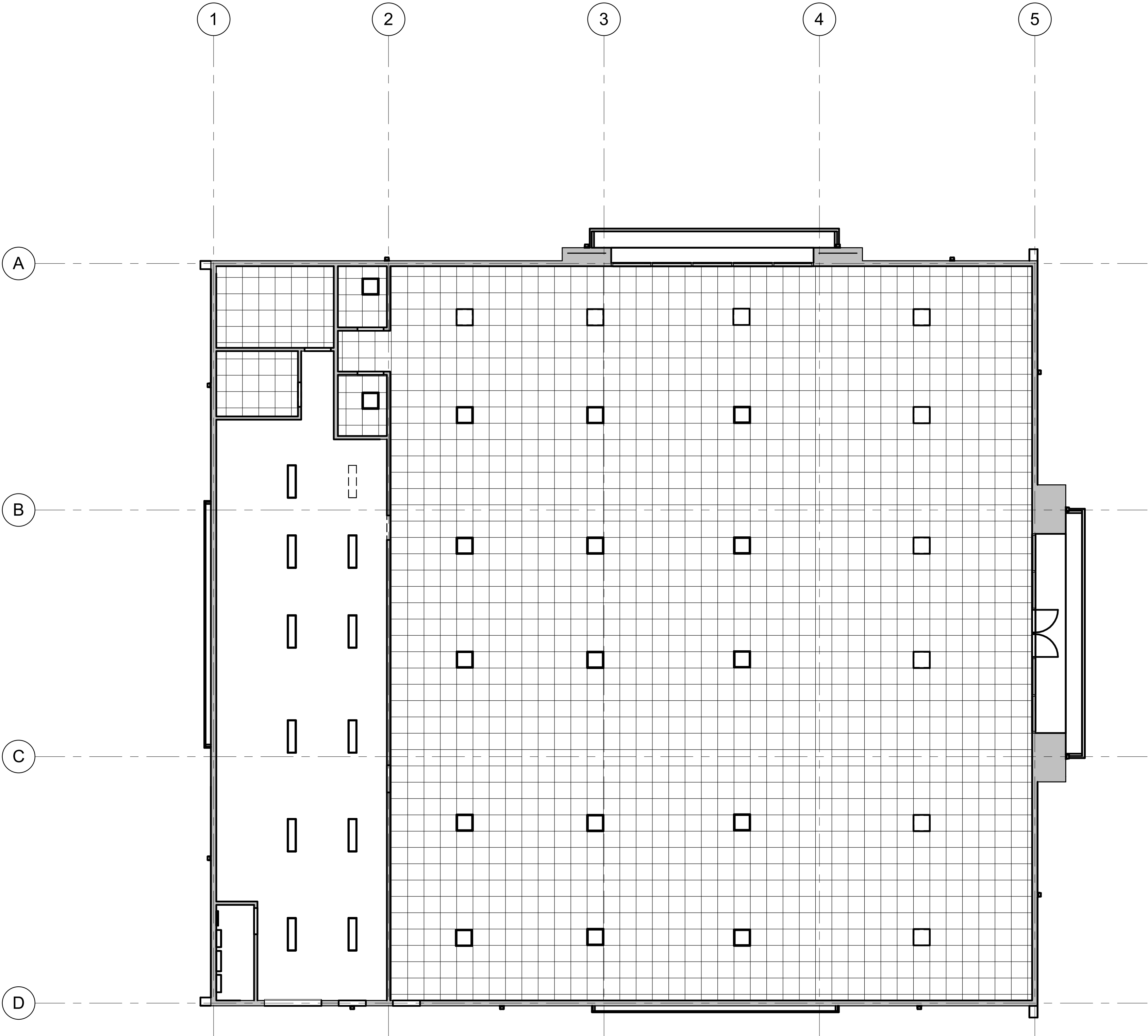
NOT FOR CONSTRUCTION

100% SD SET

PROJECT:
NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

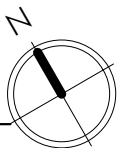
TITLE:
DEMOLITION REFLECTED
CEILING PLAN

SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
DWG NO.		AD-121.00
		2420



1 DEMOLITION REFLECTED CEILING PLAN

1/8" = 1'-0"



PROPOSED FLOOR PLAN LEGEND

- AREA NOT IN CONTRACT/SCOPE (N.I.C.)
- EXISTING WALL TO REMAIN
- NEW WALL
- HARDENED CONSTRUCTION
- 1-HR FIRE RATED PARTITION

PROPOSED FLOOR PLAN NOTES

- ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO GWB. U.N.O.
- PATCH AND REPAIR EXISTING WALLS TO REMAIN IN AREA OF WORK TO AS - NEW CONDITION.
- PROVIDE FIRE RATED BLOCKING FOR WALL MOUNTED EQUIPMENT, FIXTURES, CASEWORK & GRAB BARS. VERIFY LOCATIONS.
- PROVIDE ACCESS PANELS WHERE REQUIRED BY MECHANICAL, ELECTRICAL, PLUMBING, OR FIRE PROTECTION DOCUMENTS. COORDINATE LOCATIONS WITH ARCHITECT.
- NEW DOOR LOCATIONS TO BE 6" FROM INSIDE OF FRAME TO NEAREST WALL UNLESS OTHERWISE NOTED AND DIMENSIONED. SEE TYPICAL DETAILS.
- MOISTURE RESISTANT GWB. BOARD TO BE USED IN ALL BATHROOMS AND KITCHENS.
- SEE A-601 FOR DOOR DETAILS.
- GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PRESENT GLASS FROM SHATTERING IF BROKEN.
- REFER TO SHEET A-511 FOR APPROPRIATE SIGNAGE.

PROPOSED FLOOR PLAN KEYNOTES

- GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PREVENT GLASS FROM SHATTERING IF BROKEN.
- GLAZING SHALL HAVE PRIVACY FILM APPLIED.
- G.C. TO COORDINATE WITH MILLWORK VENDOR FOR FINAL DIMENSIONS AND ROUGH OPENINGS NEEDED FOR PASS THROUGH AS APPLICABLE.

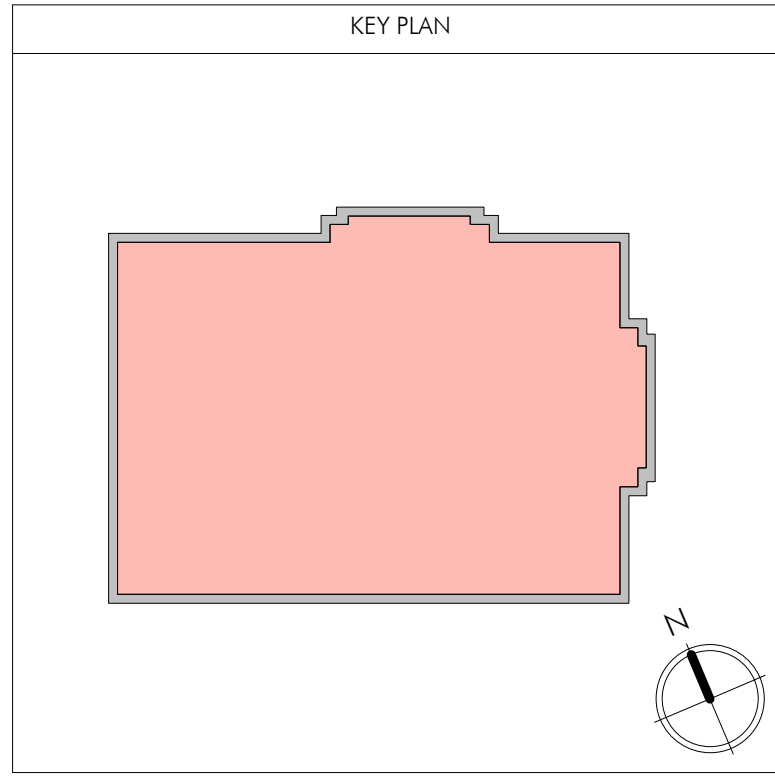
NOT FOR CONSTRUCTION

100% SD SET

PROJECT:
**NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY**
1255 NY - 300 NEWBURGH, NY
12550

TITLE:
PROPOSED FLOOR PLAN

SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
DWG NO.		A-101.00
		2420



A-202.00 2

A-201.00 3

1
A-202.00

A-201.00
1

1 PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

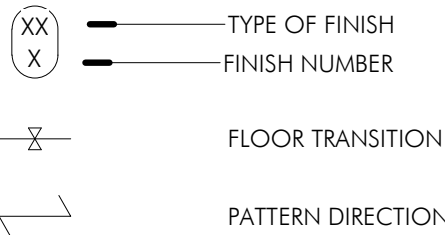
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FINISH LEGEND

PAINT AND FLOOR TAG



FINISH TAG



FINISH NOTES

1. PROVIDE FLOOR BASE RB-1 AT ALL NEW WALLS. STRAIGHT AT CARPET, COVE AT LVT OR VCT. ALL FLOOR BASE IS TO BE CONTINUOUS ROLLS, U.N.O.
2. REDUCERS AND TRIM AT TRANSITIONS TO MATCH ADJACENT CARPET COLOR. GC TO COORDINATE WITH ARCHITECT FOR CLARIFICATION BEFORE PURCHASE.
3. GLUE TO BE QUICK RELEASE IN NATURE U.N.O.
4. PROVIDE SPECIFIED THRESHOLD, REFER TO HARDWARE TYPES REFERENCED AND HARDWARE SCHEDULE ON SHEET A-601
5. PROVIDE METAL REDUCER STRIP AT DOOR WAY, REFER TO A-601 FOR SPEC.
6. REPAIR AND PATCH EXISTING FINISHES AS NEEDED.

FINISH KEYNOTES

- 1 XX
- 2
- 3

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: **NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY**
1255 NY - 300 NEWBURGH, NY
12550

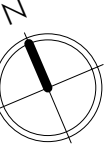
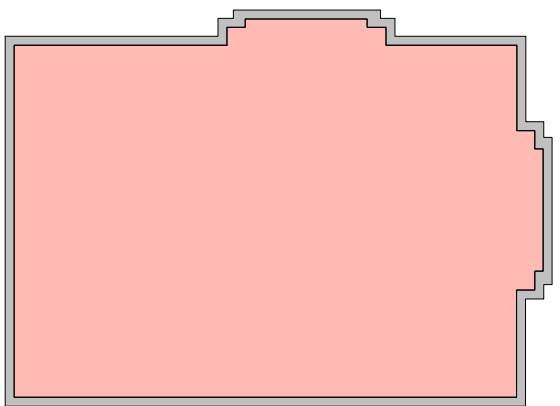
TITLE: **PROPOSED FINISH FLOOR
PLAN**

SEAL & SIGNATURE: DATE: **24.12.04**
PROJECT #: **2420**
DRAWING BY: **SW**
CHK BY: **BA**
DWG NO.

A-102.00

2420

KEY PLAN



1

2

3

4

5

BACK OF HOUSE
OFFICE / LACTATION /
SECURE. I.T.
113
-
EXIST.
EXIST.

BATHROOM 1A
108
EXIST.
EXIST.
EXIST.

LIMITED ACCESS
CORRIDOR 1B
107
PAINT
RB-1
LVT-1

BACK OF HOUSE
BREAK ROOM
112
EXIST.
EXIST.
EXIST.

BATHROOM 1B
109
EXIST.
EXIST.
EXIST.

JANITOR
111
PAINT
RB-1
LVT-1

BREAK ROOM
106
PAINT
RB-1
LVT-1

ENTRY & CHECK-IN /
SALES FLOOR
101
PAINT
RB-1
LVT-1

POS AREA
102
PAINT
RB-1
LVT-1

FUTURE OFFICE
103
PAINT
RB-1
LVT-1

LIMITED ACCESS
CORRIDOR 1A
104
PAINT
RB-1
LVT-1

INVENTORY VAULT
105
PAINT
RB-1
LVT-1

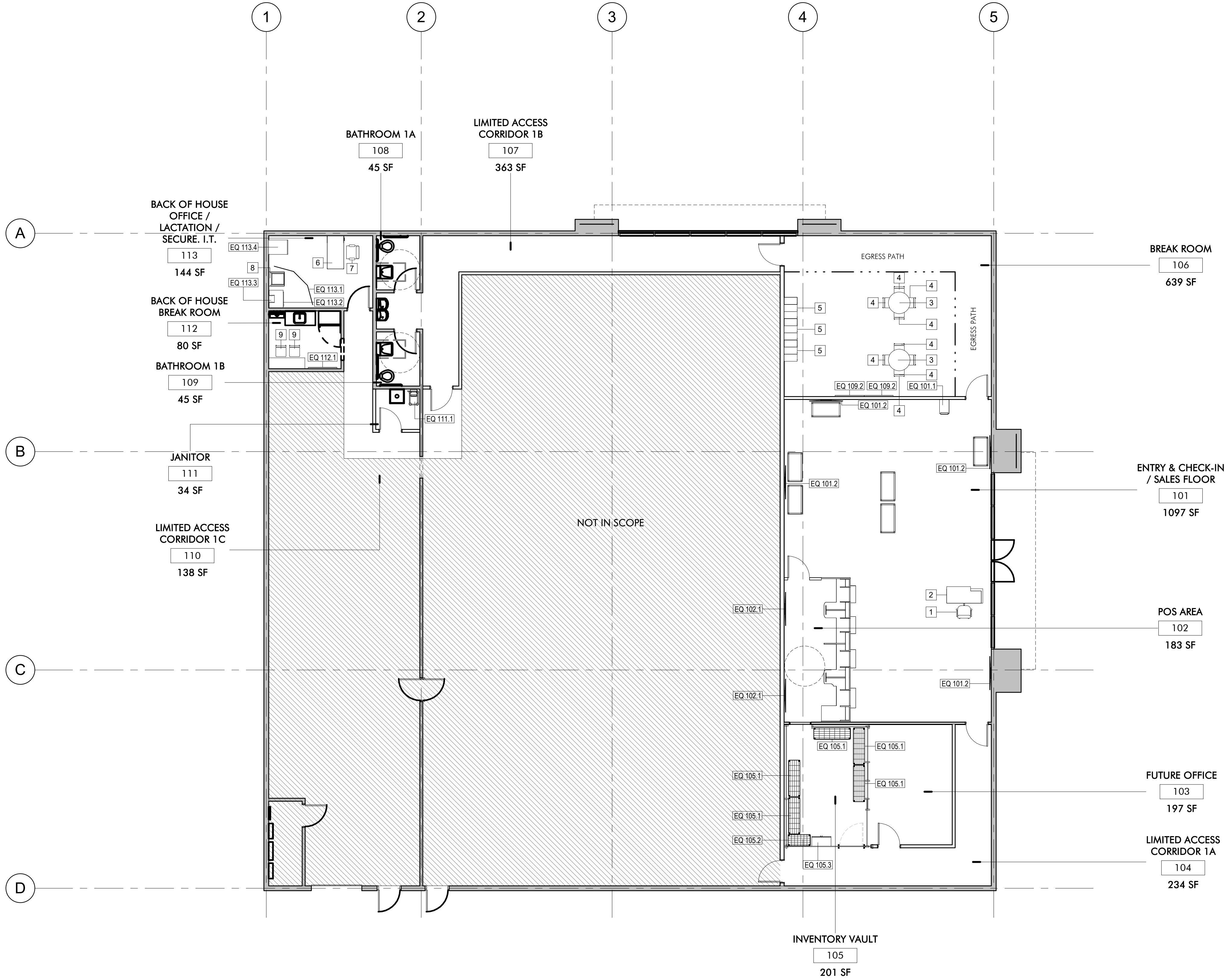
NOT IN SCOPE

1 PROPOSED FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

11/25/2024 7:07:45 PM

11/25/2024 7:08:41 PM

1 PROPOSED FF&E FLOOR PLAN
1/8" = 1'-0"



ANDERSON
ARCHITECTURE
STUDIO, PC

FURNITURE & EQUIPMENT LEGEND

- MILLWORK
AREA NOT IN CONTRACT (N.I.C.)

FURNITURE & EQUIPMENT NOTES

1. REFER TO SHEET G-001 FOR GENERAL NOTES, GENERAL DRAFTING STANDARDS, AND ABBREVIATIONS USED.
2. REFER TO SHEETS G-002 & G-003 FOR DISABLED ACCESS NOTES.
3. REFER TO SHEET A-002 FOR FIRE AND SAFETY NOTES.
4. G.C. SHALL HAVE FURNITURE VENDOR APPROVE ALL POWER AND TELEPHONE FEEDS FOR WORKSTATIONS PRIOR TO INSTALLATION.
5. G.C. IS TO HAVE FURNITURE VENDOR APPROVE ALL ELECTRICAL AND DATA IN PRIVATE OFFICES PRIOR TO INSTALLATION.
6. FURNITURE VENDOR FOR EITHER WORKSTATIONS OR CASEWORK SHALL FIELD VERIFY LOCATION TO VERIFY CLEAR DIMENSIONS REQUIRED FOR FURNITURE PRIOR TO ORDERING FURNITURE. DO NOT SCALE THE DRAWINGS.
7. REFER TO SHEETS A-103 AND A-621 FOR FURNITURE AND EQUIPMENT INFORMATION.

FURNITURE & EQUIPMENT KEYNOTES

1. G.C. TO COORDINATE WITH MILLWORK VENDOR FOR FINAL DIMENSIONS AND ROUGH OPENINGS NEEDED FOR PASS THROUGHS AS APPLICABLE.
2. FIELD CUT WORK SURFACES TO MEET DIMENSIONS FROM MILLWORK, IF NECESSARY.

NOT FOR CONSTRUCTION

100% SD SET

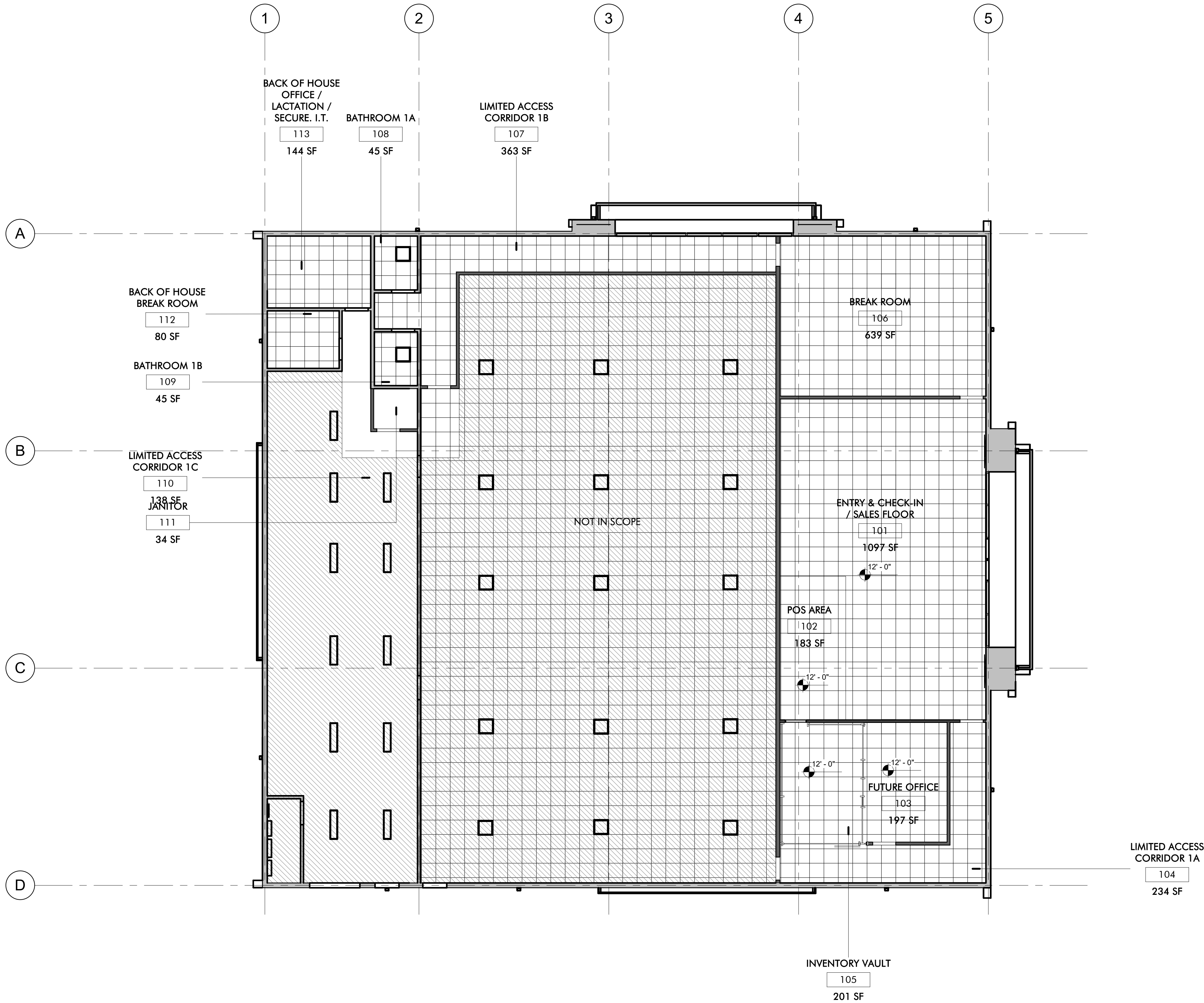
PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: PROPOSED FF&E PLAN

SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
DWG NO.		A-103.00
		2420

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1 PROPOSED REFLECTED CEILING PLAN
1/8" = 1'-0"



ANDERSON
ARCHITECTURE
STUDIO, PC

REFLECTED CEILING LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- NEW 2x4 CEILING SYSTEM
CEILING GRID
MANUFACTURER: SEE SPEC.
SIZE: 2x4
SERIES: SEE SPEC.
COLOR: WHITE
CEILING TILE
MANUFACTURER: SEE SPEC.
SERIES: SEE SPEC.
SIZE: 24X48X7/8"
COLOR: WHITE
REFERENCE SHEET A-701.00 FOR SPECIFICATIONS AND REQUIREMENTS.
- OPEN CEILING.
- EXISTING SOFFIT IS TO REMAIN.
- DRYWALL CEILING, HEIGHT IS INDICATED IN BUBBLE IF NOT STANDARD
- CEILING MOUNTED EXIT SIGN. DARK QUADRANT INDICATES FACE, ARROW(S) INDICATE DIRECTION.
- CEILING HEIGHT AS INDICATED.
- NEW WALL MOUNTED JUNCTION BOX FOR LF-15, HEIGHT TBD. ELECTRICAL SUB-CONTRACTOR TO CONNECT DEVICE.

REFLECTED CEILING PLAN NOTES

- FIRE AND LIFE SAFETY COMPONENTS**
- ALL COMPONENTS SHALL BE WHITE U.O.N.
 - FIRE PULL COMPONENTS SHALL BE RED OR OTHER ACCORDING TO LOCAL JURISDICTION.
 - ALL STROBES SHALL BE CEILING MOUNTED, U.O.N. MOUNT IN CENTER OF ACOUSTIC CEILING TILES WHERE OCCURS, U.O.N.
 - ALL SPRINKLER HEADS SHALL BE FULLY CONCEALED CEILING MOUNTED, U.O.N. MOUNT IN CENTER OF ACOUSTIC CEILING TILES WHERE OCCURS, U.O.N. WHERE BUILDING STANDARD IS SEMI-CONCEALED, HEADS AT GWB CEILINGS SHALL BE FULLY CONCEALED.
 - COMPONENTS SHALL BE MOUNTED WITH CONSISTENT CENTERLINE, U.O.N.
- GENERAL**
- PROVIDE AND INSTALL PERFORATED CEILING GRILLE PANELS AT ALL ACOUSTIC CEILING MOUNTED SUPPLY AND RETURN LOCATIONS, U.O.N. CONFIRM COLOR OF GRILLE WITH ARCHITECT BEFORE PURCHASE AND INSTALLATION.
 - REFER TO SECURITY PLANS FOR SECURITY FIXTURES.

REFLECTED CEILING KEYNOTES

- CENTER CEILING TILE AND GRID IN ROOM AS SHOWN.
- PROVIDE NEW HARD CEILING WITH INTEGRATED LIGHTING.
- CEILING INSTALLER TO COORDINATE WITH ELECTRICIAN.
- EXISTING CEILING TO REMAIN. UPGRADE AS REQUIRED.
- CAGE VAULT TO BE ENCLOSED WITH CEILING. TBD WITH FDA CAGE VAULT CONSULTANT.

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: PROPOSED REFLECTED
CEILING PLAN

SEAL & SIGNATURE: DATE: 24.12.04
PROJECT #: 2420
DRAWING BY: SW
CHK BY: BA
DWG NO. A-121.00
2420

CATEGORIES

A = STUD WALLS WITH (1) LAYER OF GYPSUM BOARD EACH SIDES OF CORE
C = STUD WALLS WITH (1) LAYER OF GYPSUM BOARD (TYPE-X) EACH SIDES OF CORE (1 HOUR FIRE RATED)
E = STUD WALLS WITH (1) LAYER OF GYPSUM BOARD ONLY ON ONE SIDE OF CORE
S = INTERIOR SOFFIT WALLS (REFER TO DETAILS)

WALL HEIGHTS

1 = WALL EXTEND FROM FLOOR TO BOTTOM/DECK ABOVE
2 = WALL EXTEND FROM FLOOR TO 6" ABOVE CEILINGS (REFER TO RCP)
3 = WALL EXTEND FROM FLOOR TO BOTTOM OF CEILINGS (REFER TO RCP)
4 = PARTIAL HEIGHT PARTITION (REFER TO DETAIL FOR HEIGHT)

CORE SIZE

1 = STUD SIZE 7/8"
2 = STUD SIZE 1 1/2"
3 = STUD SIZE 2 1/2"
4 = STUD SIZE 3 5/8"
6 = STUD SIZE 6"
8 = STUD SIZE 8"

BASIC PARTITION THICKNESS
W/ONE SIDE OF GWB

= 1-1/2"
= 2-1/8"
= 3-1/8"
= 4-1/4"
= 6-5/8"
= 8-5/8"

BASIC PARTITION THICKNESS
W/ONE SIDE OF GWB ON
EACH SIDE OF WALL

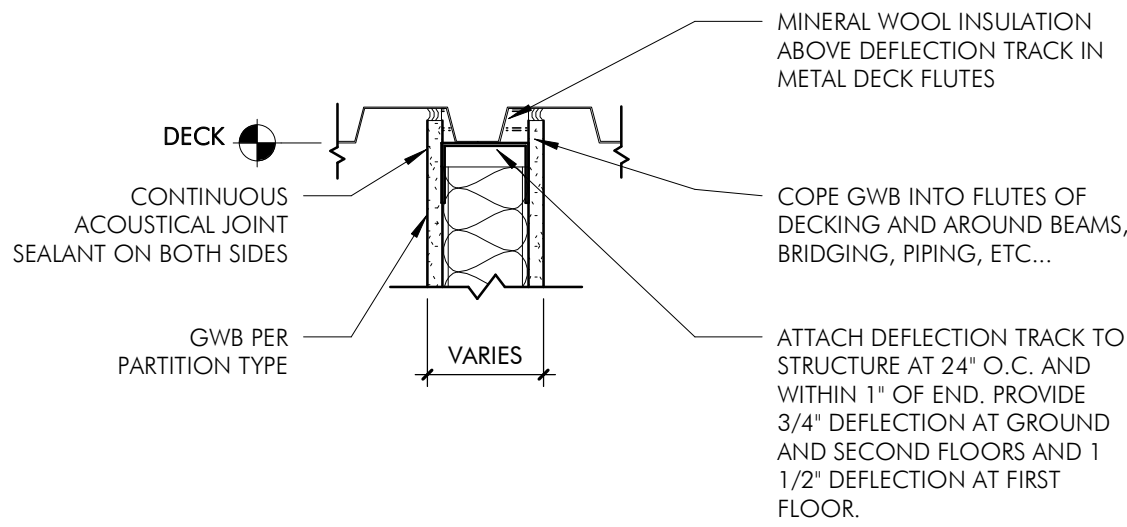
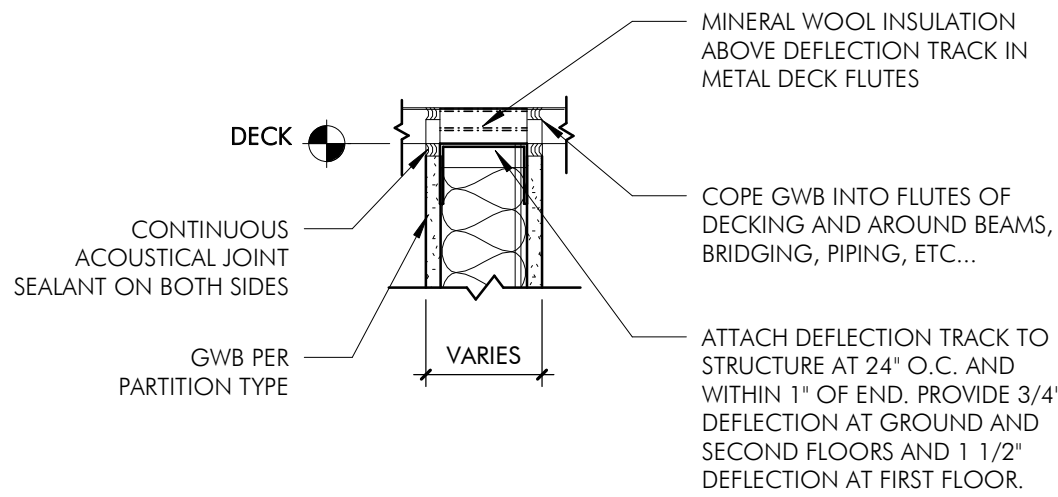
2-1/8"
2-3/4"
3-3/4"
4-7/8"
7-1/4"
9-1/4"

REMARKS

A = 2 1/2" SOUND INSULATION
B = 3 1/2" SOUND INSULATION
C = 6" SOUND INSULATION
D = CEMENT BACKER-BOARD OR HARDI-BOARD
W/ SOUND INSULATION ON BOTH SIDES OF WET WALL
E = CEMENT BACKER-BOARD OR HARDI-BOARD
W/ SOUND INSULATION ONLY ON WET SIDE OF WALL
F = NO INSULATION

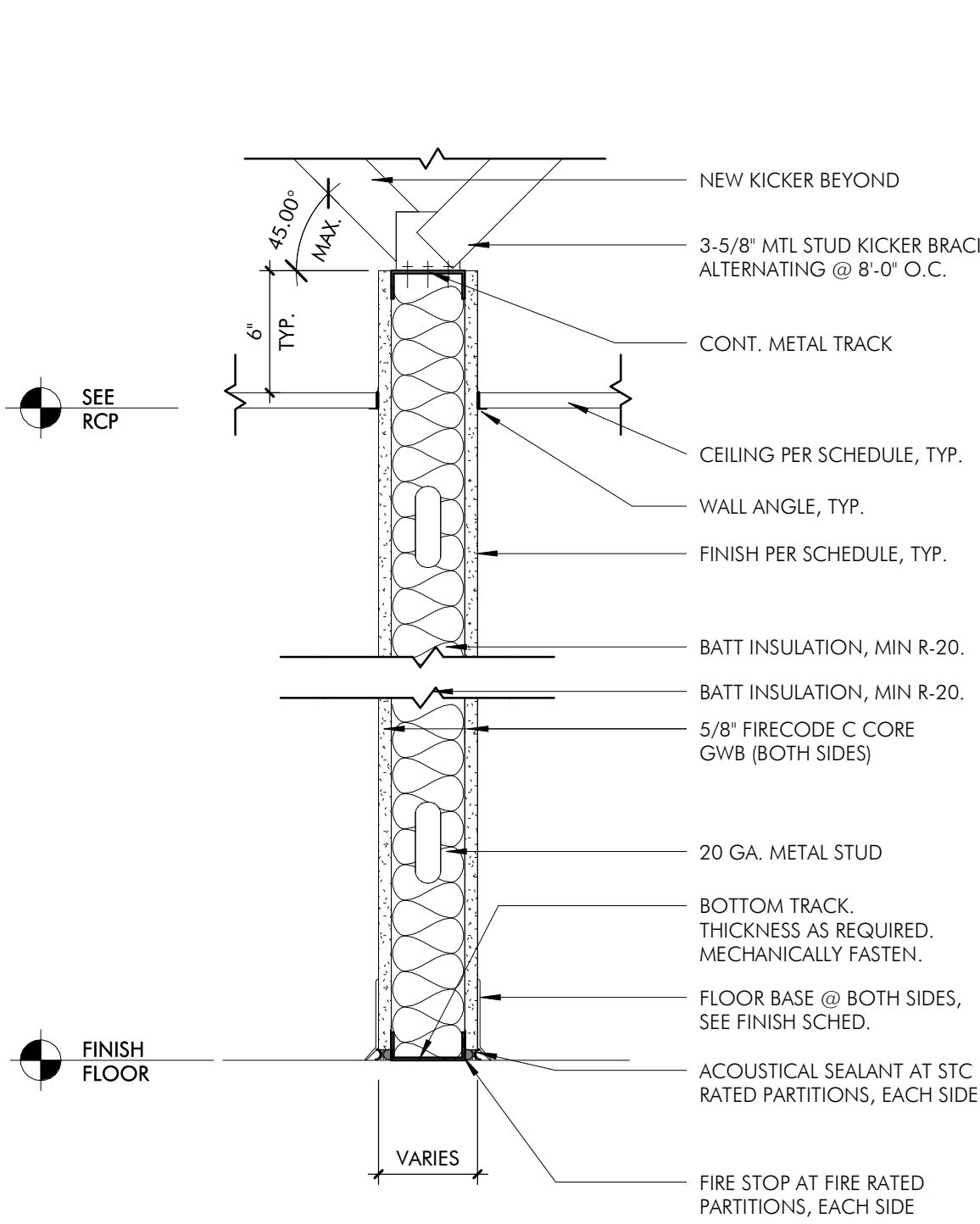
WALL ASSEMBLY LEGEND

1 1/2" = 1'-0"



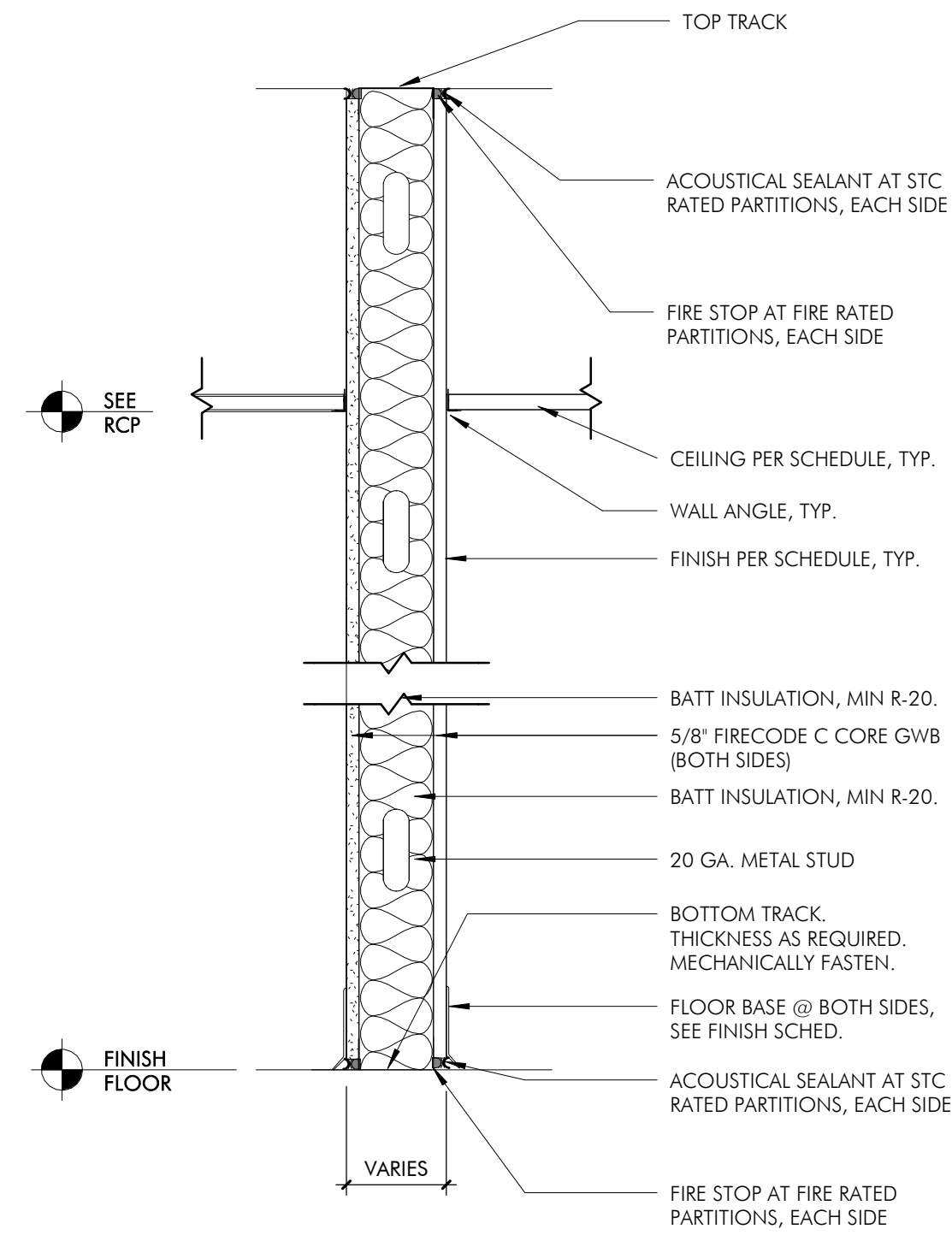
WALL DECK CONNECTION

1 1/2" = 1'-0"



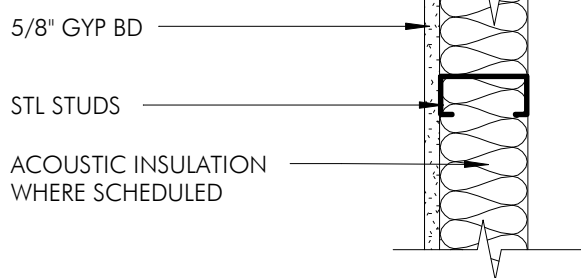
2

• TYPICAL PARTIAL HEIGHT 6" ABOVE RCP



1

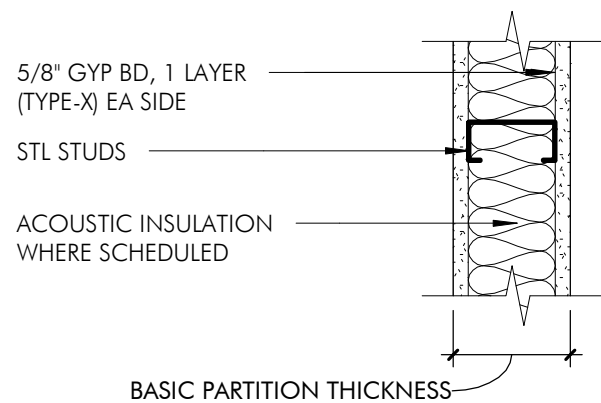
• TYPICAL FULL HEIGHT TO DECK



E

• 1 LAYER ON OF GYP ON ONE SIDE

STC 30

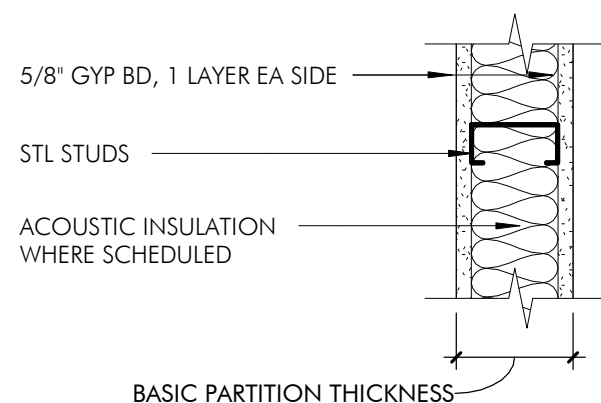


C

• 1 LAYERS OF GYPSUM (TYPE-X) ON EACH SIDE (1-HOUR)

STC 45-49

UL 419



A

• 1 LAYERS OF GYPSUM ON EACH SIDE

STC 45-49

UL 419

NOT FOR CONSTRUCTION

100% SD SET

PROJECT:

NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE:

WALL TYPES & DETAILS

SEAL & SIGNATURE:

DATE: 24.12.04

PROJECT #: 2420

DRAWING BY: SW

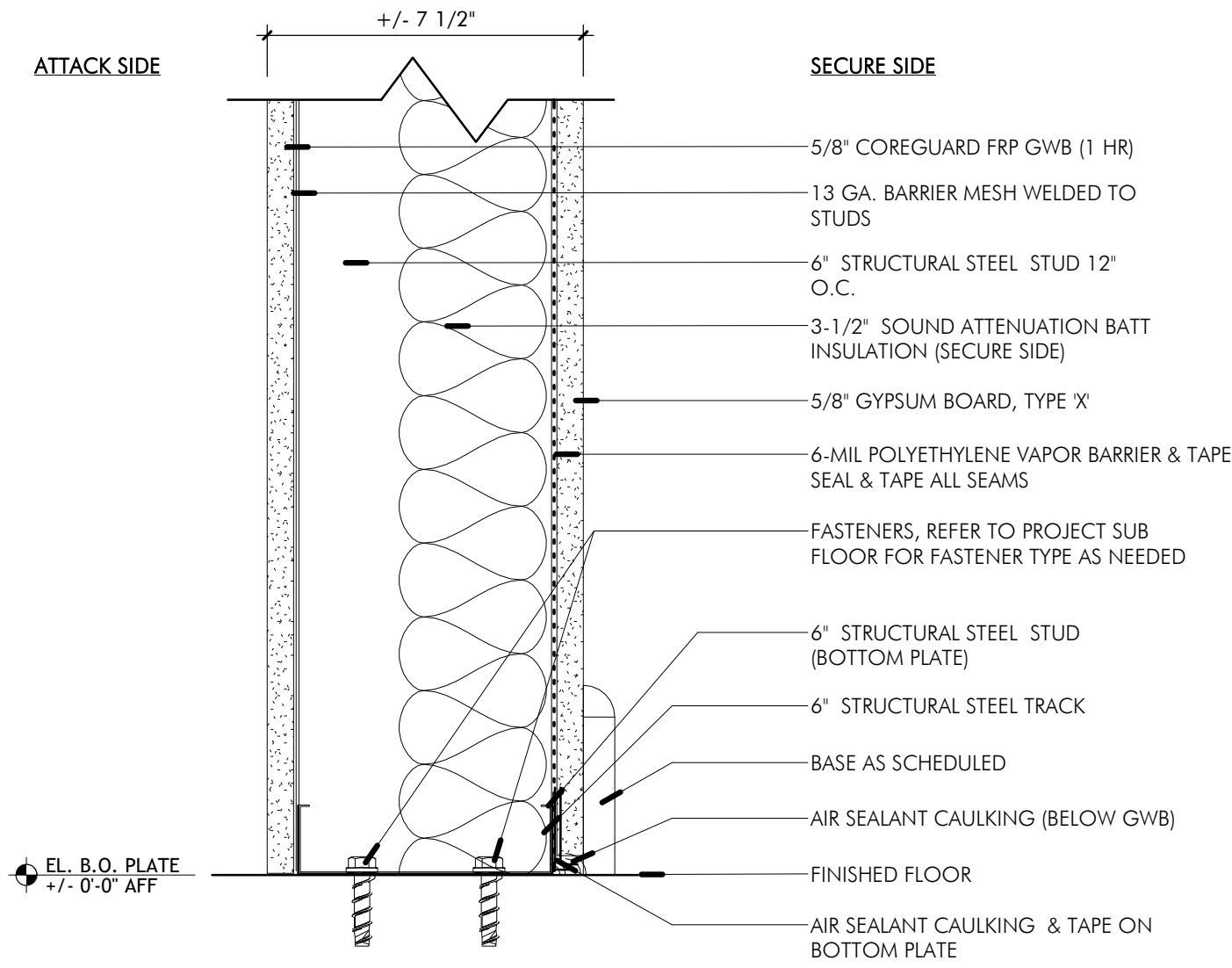
CHE BY: BA

DWG NO.

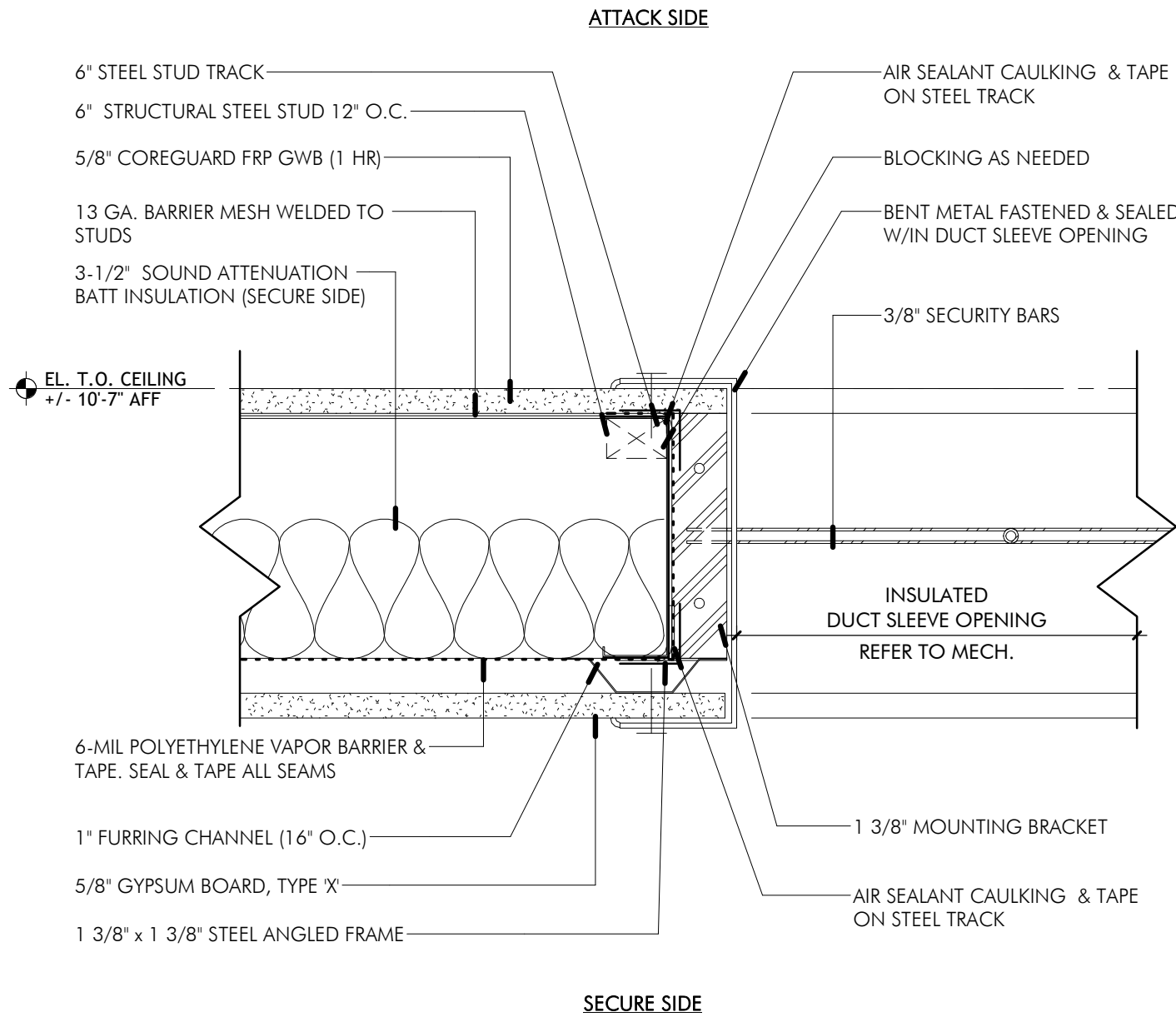
A-131.00

2420

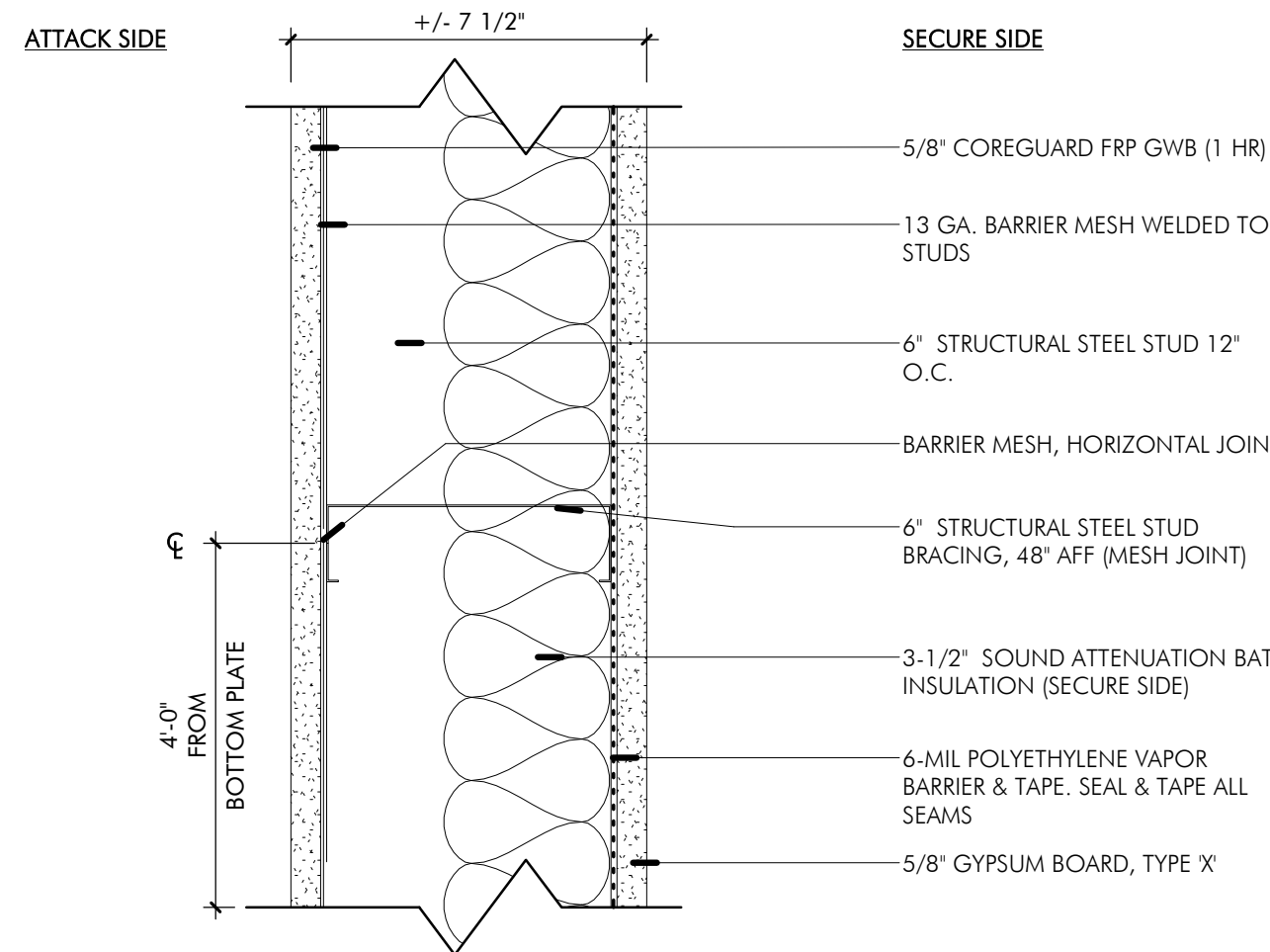
VAULT WALL DETAILS



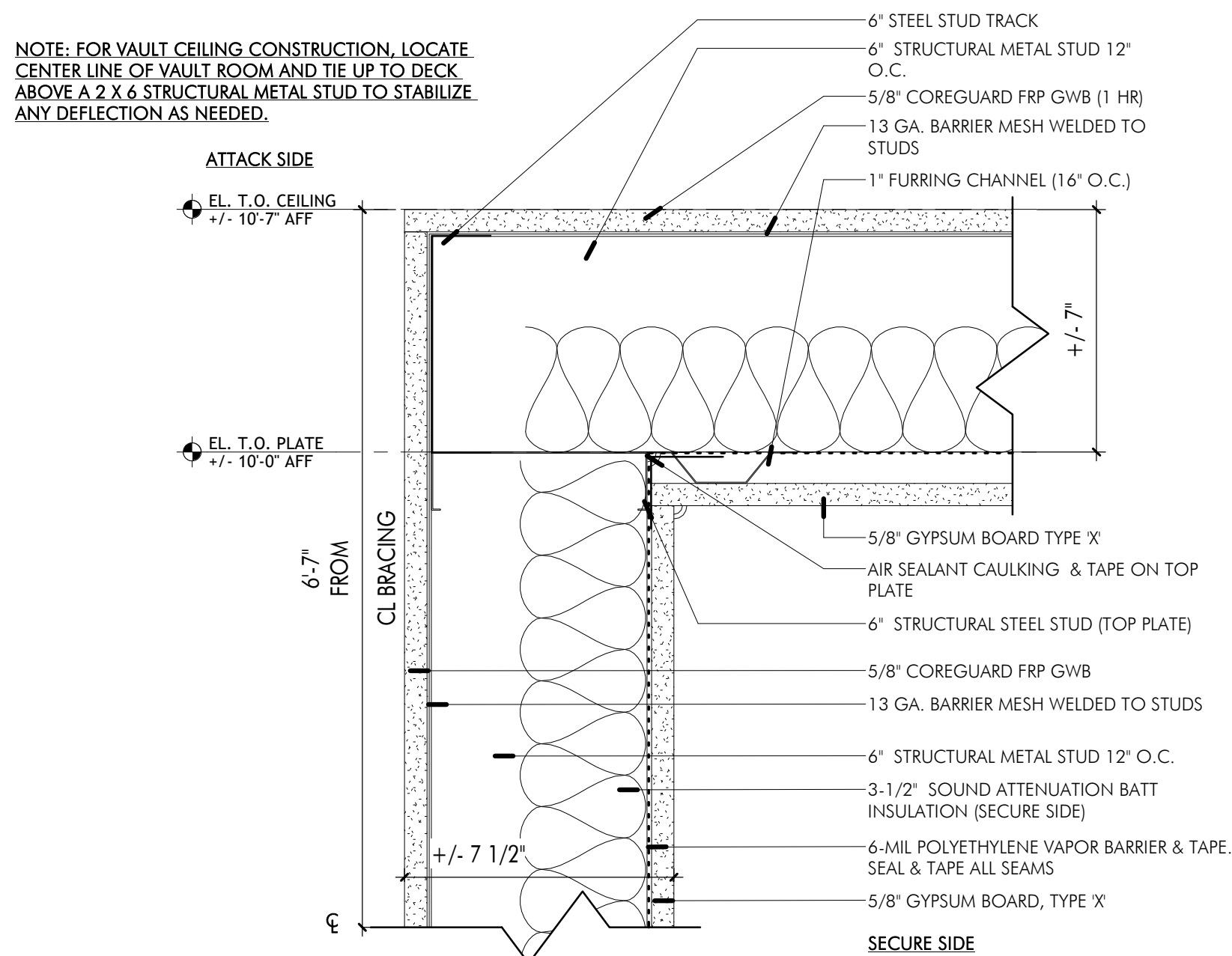
6 VAULT BOTTOM PLATE DETAIL1
3" = 1'-0"



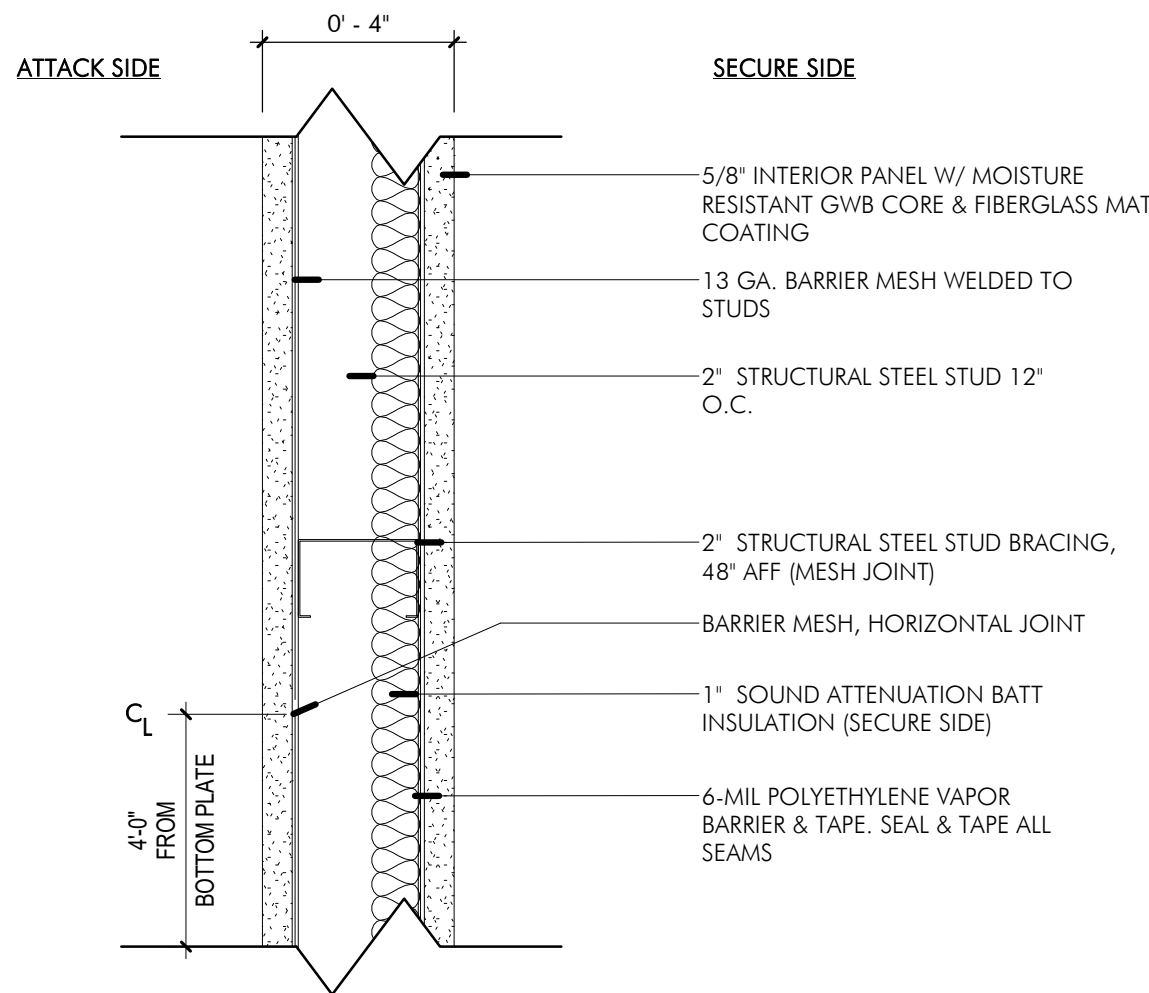
3 VAULT DUCT SLEEVE DETAIL1
3" = 1'-0"



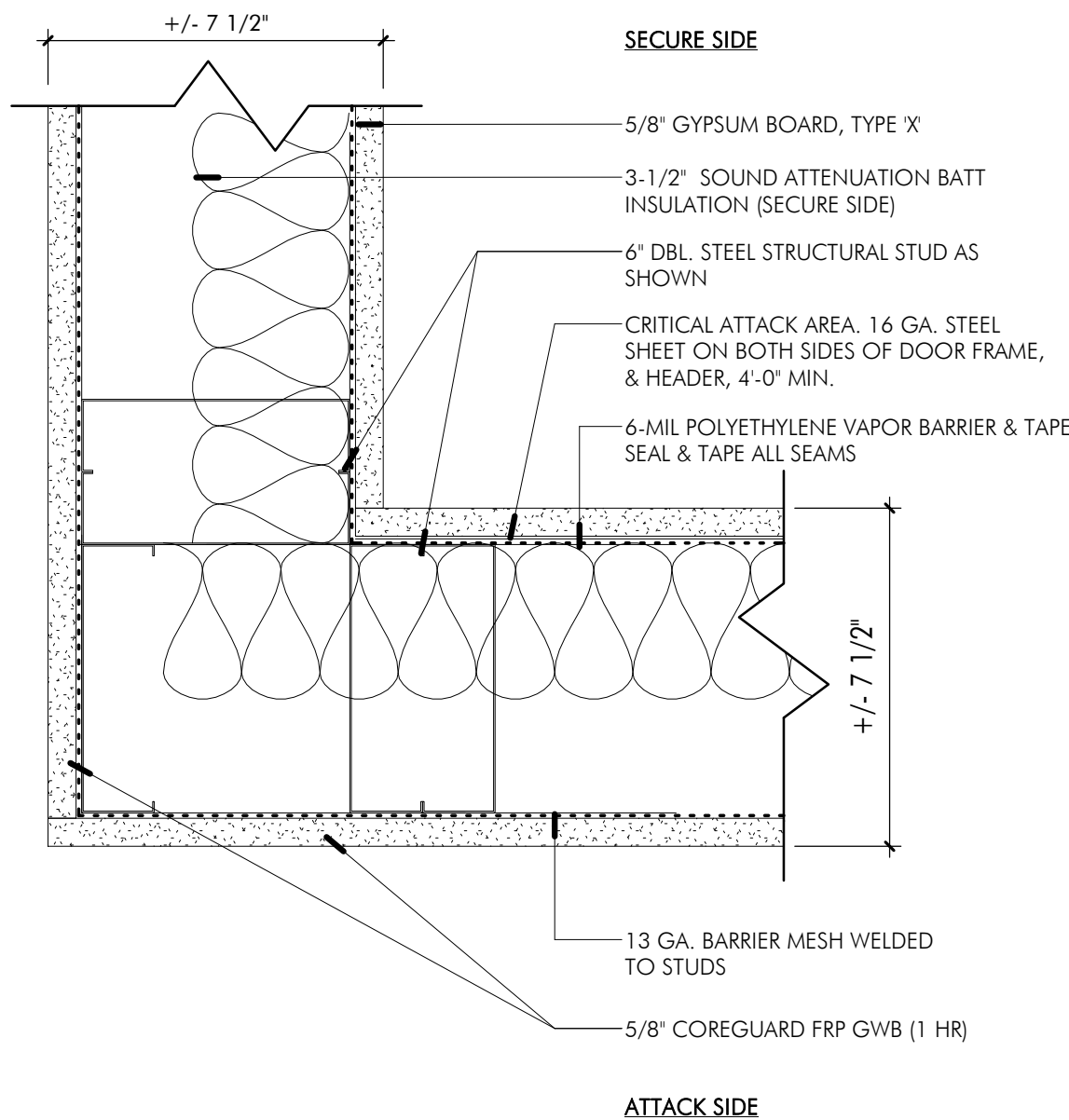
5 VAULT BRACING DETAIL1
3" = 1'-0"



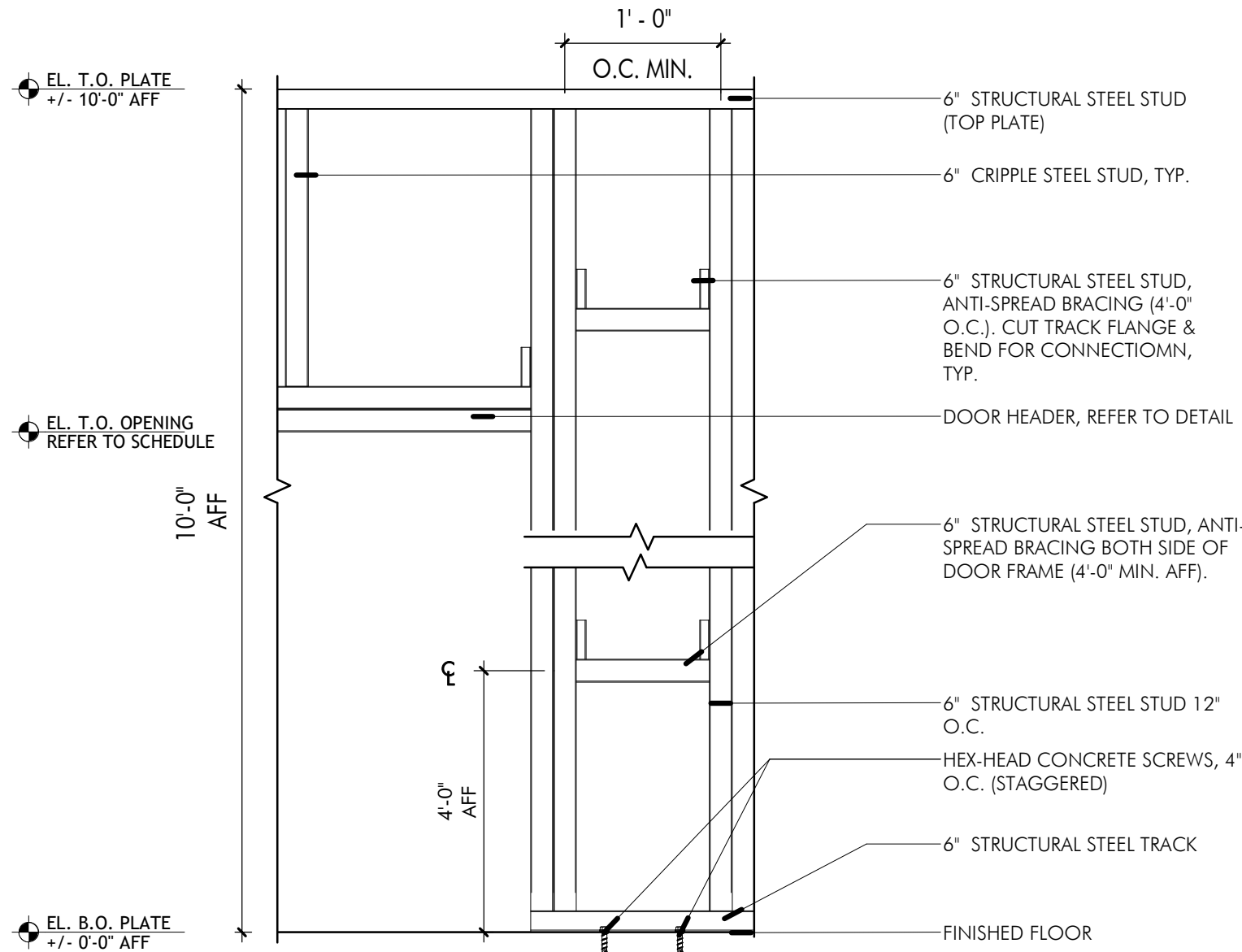
2 VAULT TOP PLATE DETAIL1
3" = 1'-0"



7 VAULT BRACING DETAIL @ PARTY WALL1
3" = 1'-0"



4 VAULT CORNER PLAN DETAIL1
3" = 1'-0"



1 VAULT FRAMING ELEVATION DETAIL1
1" = 1'-0"

NOT FOR CONSTRUCTION

100% DD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: DETAILS - VAULT

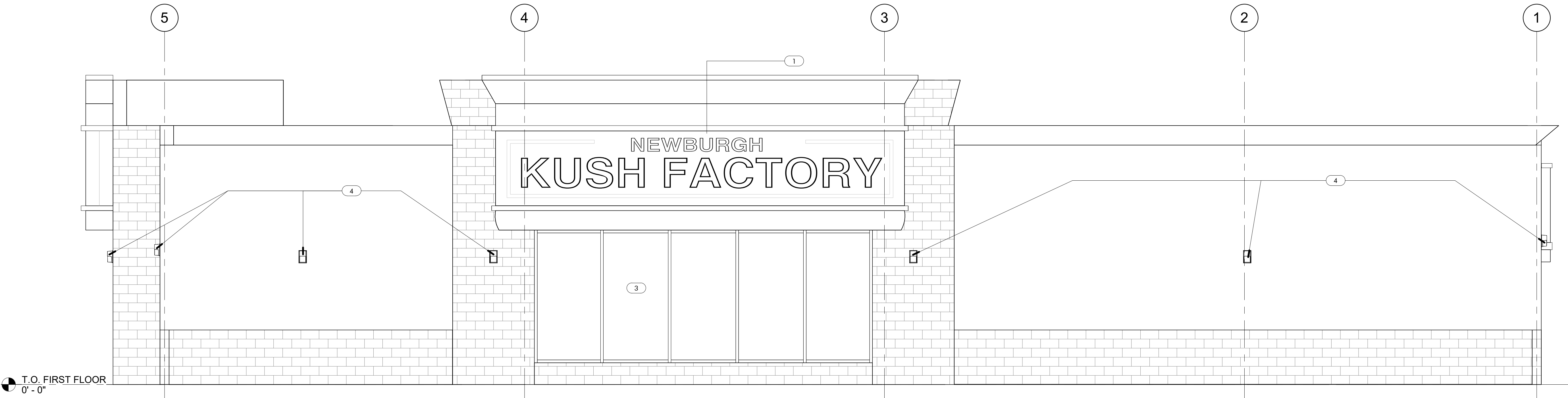
DOB NOW JOB #: XX
SEAL & SIGNATURE: [Signature]
DATE: 24.12.04
PROJECT #: 2420
DRAWING BY: OJ
CHK BY: BA
DWG NO. A-132.00
2420

PROPOSED ELEVATION NOTES

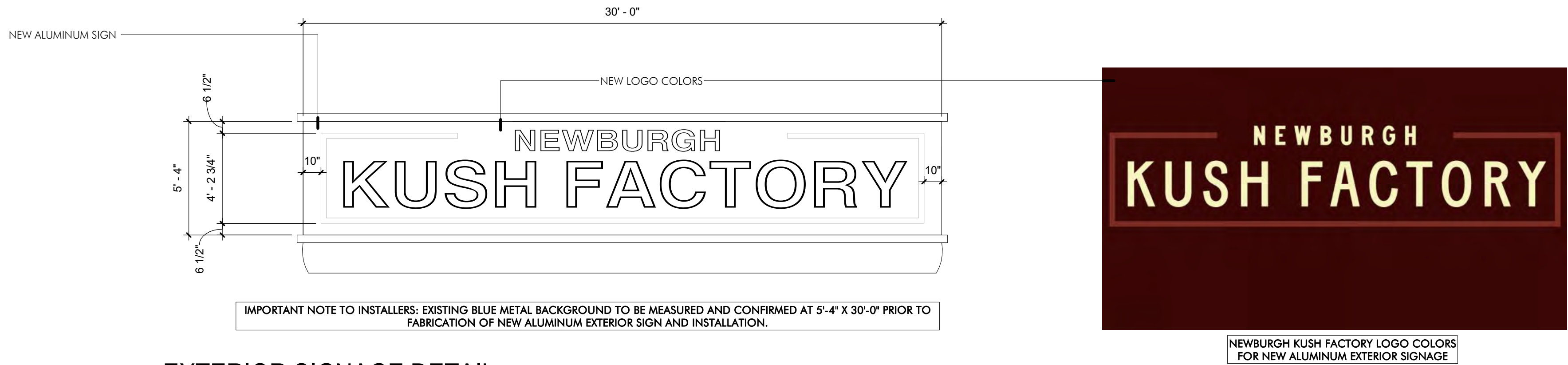
1. GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PRESENT GLASS FROM SHATTERING IF BROKEN.

PROPOSED ELEVATION KEYNOTES

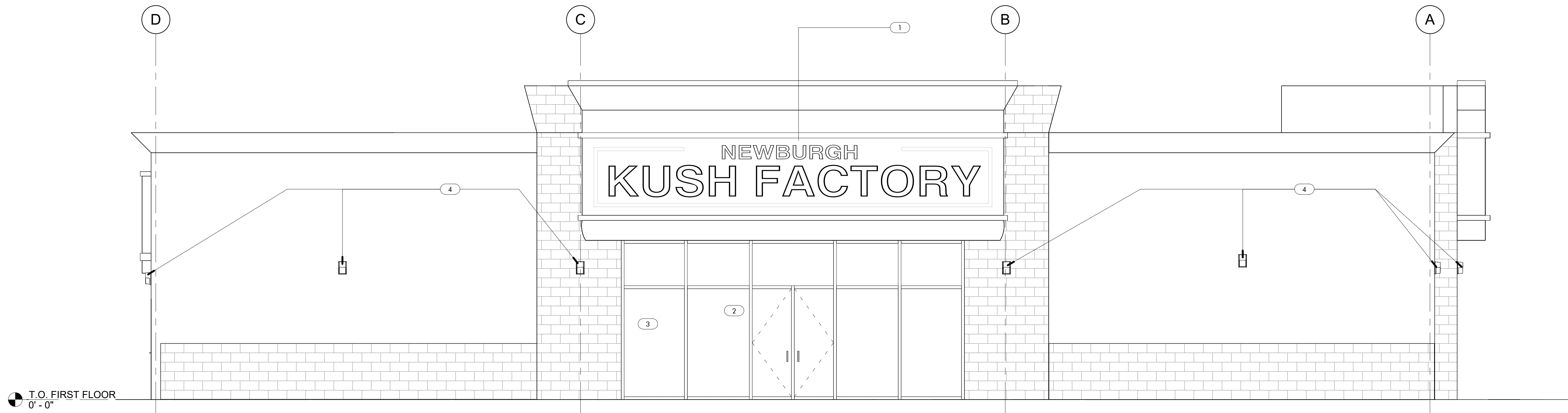
1. NEW ALUMINUM EXTERIOR SIGNAGE MOUNTED ON EXISTING SIGNAGE PANEL. NEW SIGNAGE AS PER OWNER REQUIREMENTS. UPDATE ELECTRICAL AS REQUIRED BY NEW SIGNAGE SPECIFICATIONS, ZONING, AND OTHER CODE REQUIREMENTS.
2. PROVIDE NEW SECURITY CAMERAS AND SYSTEM AS PER NEW OWNER'S DIRECTION.
3. GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PREVENT GLASS FROM SHATTERING IN BROKEN.
4. EXISTING EXTERIOR FACADE LIGHTS TO REMAIN, TYP.
5. NO NEW SIGNAGE HERE.



1 PROPOSED EXTERIOR ELEVATION (NORTH)
1/4" = 1'-0"



2 EXTERIOR SIGNAGE DETAIL
1/4" = 1'-0"



3 PROPOSED EXTERIOR ELEVATION (EAST)
1/4" = 1'-0"

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: PROPOSED EXTERIOR
ELEVATIONS

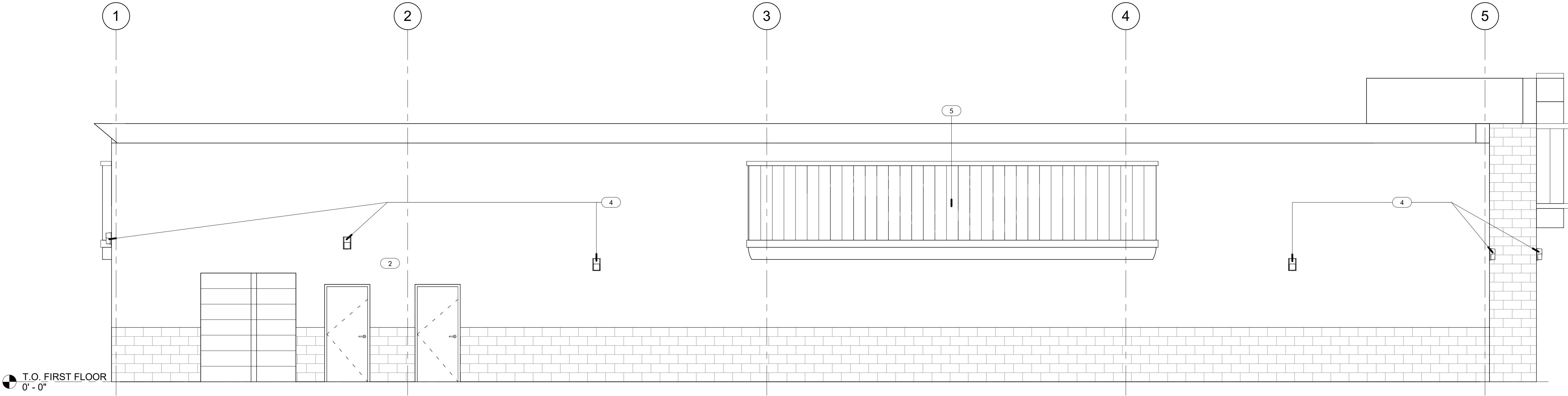
SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
DWG NO.		A-201.00
		2420

PROPOSED ELEVATION NOTES

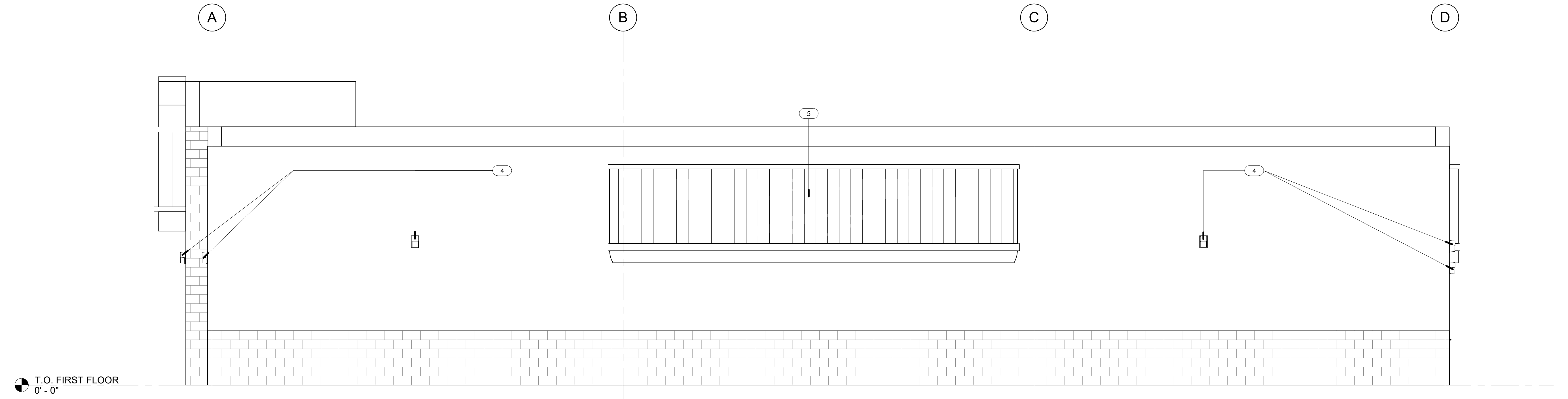
1. GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PREVENT GLASS FROM SHATTERING IF BROKEN.

PROPOSED ELEVATION KEYNOTES

- 1. NEW ALUMINUM EXTERIOR SIGNAGE MOUNTED ON EXISTING SIGNAGE PANEL. NEW SIGNAGE AS PER OWNER REQUIREMENTS. UPDATE ELECTRICAL AS REQUIRED BY NEW SIGNAGE SPECIFICATIONS, ZONING, AND OTHER CODE REQUIREMENTS.
- 2. PROVIDE NEW SECURITY CAMERAS AND SYSTEM AS PER NEW OWNERS DIRECTION.
- 3. GC TO CONFIRM THAT THE LANDLORD HAS PROVIDED LAMINATED SAFETY GLASS IN STOREFRONT. IF THE LAMINATED SAFETY GLASS IS NOT PROVIDED, GC TO INSTALL SECURITY FILM ON GLAZING TO PREVENT GLASS FROM SHATTERING IN BROKEN.
- 4. EXISTING EXTERIOR FACADE LIGHTS TO REMAIN, TYP.
- 5. NO NEW SIGNAGE HERE.



1 PROPOSED EXTERIOR ELEVATION (SOUTH)
1/4" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION (WEST)
1/4" = 1'-0"

NOT FOR CONSTRUCTION

100% SD SET

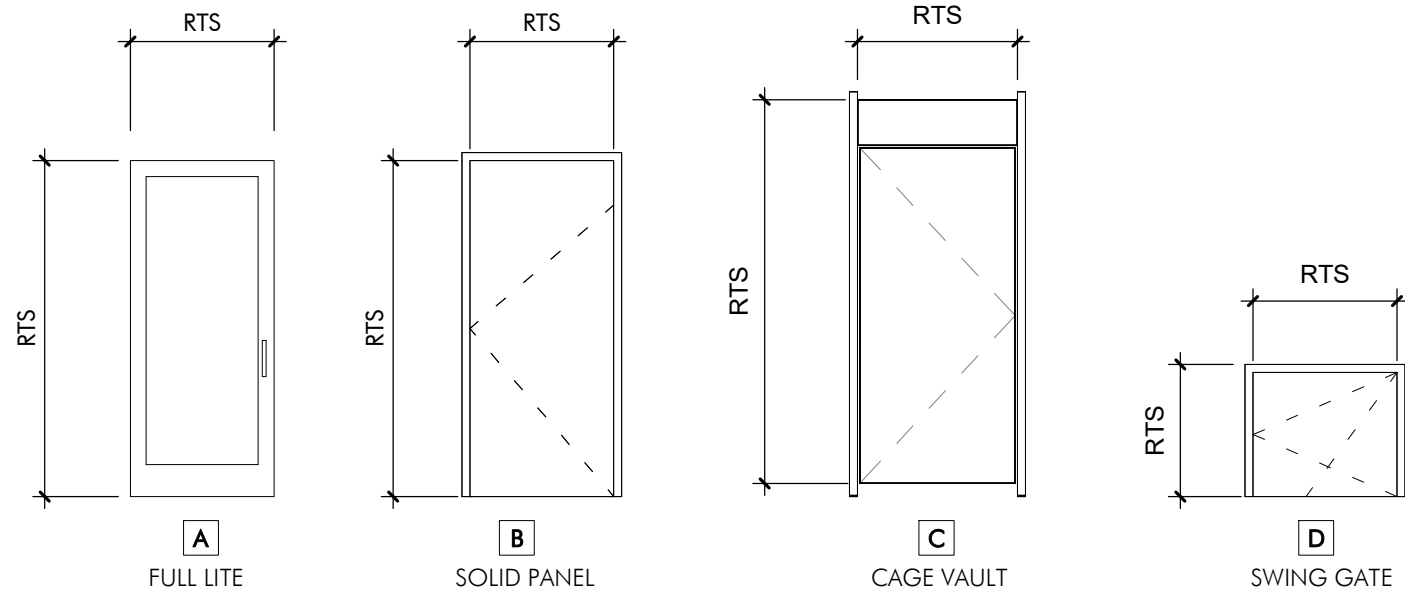
PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE: PROPOSED EXTERIOR
ELEVATIONS

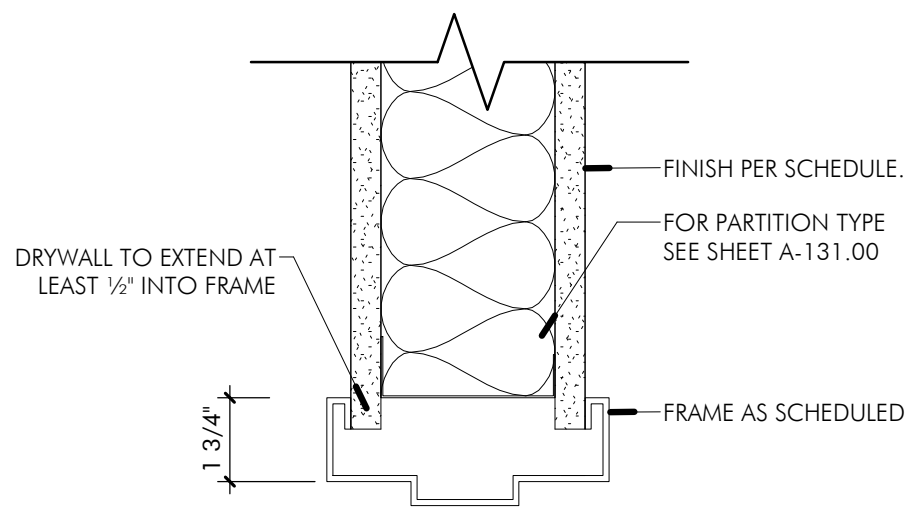
SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHE BY:	BA
	DWG NO:	A-202.00
		2420

DOOR SCHEDULE																	
NUMBER	ROOM NUMBER	LOCATION	DOOR (NORMAL SIZE)			TYPE	FRAME TYPE	DOOR MATERIAL	INTERIOR/EXTERIOR	GLASS LITE KITS	FIRE RATING	ELECTRIFIED FRAME	CARD READER	KEYPAD	LATCH GUARDS	HARDWARE	COMMENTS
			WIDTH	HEIGHT	THICKNESS												
101A	101	ENTRY & CHECK-IN / SALES FLOOR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXTERIOR	-	EXIST.					EXISTING	UPGRADE EXISTING AS REQUIRED. GC TO APPLY PRIVACY FILM.
102A	102	POS AREA	3' - 0"	3' - 0"	0' - 1 3/4"	D	KNOCK-DOWN	WOOD	INTERIOR	-	-	Yes	Yes			SET D	SWING GATE TO BE PROVIDED BY MILLWORK VENDOR. VERIFY HEIGHT OF DOOR WITH MILLWORK VENDOR. HEIGHT TO MATCH POS COUNTER.
103A	103	FUTURE OFFICE	3' - 0"	7' - 0"	0' - 1 3/4"	B	KNOCK-DOWN	HM	INTERIOR	-	-					SET A	
104A	104	LIMITED ACCESS CORRIDOR 1A	3' - 0"	7' - 0"	0' - 1 3/4"	B	KNOCK-DOWN	HM	INTERIOR	-	-					SET D	
104B	104	LIMITED ACCESS CORRIDOR 1A	3' - 0"	7' - 0"	0' - 1 3/4"	B	KNOCK-DOWN	HM	INTERIOR	-	3/4 HR	Yes	Yes	Yes		SET D	
105A	105	INVENTORY VAULT	3' - 0"	8' - 0"	0' - 1 3/4"	C	KNOCK-DOWN	CAGE VAULT	INTERIOR	-	-	Yes	Yes	Yes		SET F	CAGE VAULT DOOR TO BE COORDINATED WITH FDA CAGE VAULT CONSULTANT.
106A	106	BREAK ROOM	3' - 0"	7' - 0"	0' - 1 3/4"	B	KNOCK-DOWN	HM	INTERIOR	-	-					SET D	
107A	107	LIMITED ACCESS CORRIDOR 1B	3' - 0"	7' - 0"	0' - 1 3/4"	B	KNOCK-DOWN	HM	INTERIOR	-	3/4 HR	Yes	Yes	Yes		SET D	
107B	107	LIMITED ACCESS CORRIDOR 1B	3' - 0"	7' - 0"	0' - 1 3/4"	B	KNOCK-DOWN	HM	INTERIOR	-	-	Yes	Yes	Yes		SET D	
108A	108	BATHROOM 1A	EXISTING	EXISTING	EXISTING	B	EXISTING	EXISTING	INTERIOR	-	-					EXISTING	UPGRADE EXISTING AS REQUIRED.
109A	109	BATHROOM 1B	EXISTING	EXISTING	EXISTING	B	EXISTING	EXISTING	INTERIOR	-	-					EXISTING	UPGRADE EXISTING AS REQUIRED.
111A	111	JANITOR	3' - 0"	7' - 0"	0' - 1 3/4"	B	KNOCK-DOWN	HM	INTERIOR	-	-	Yes				SET D	

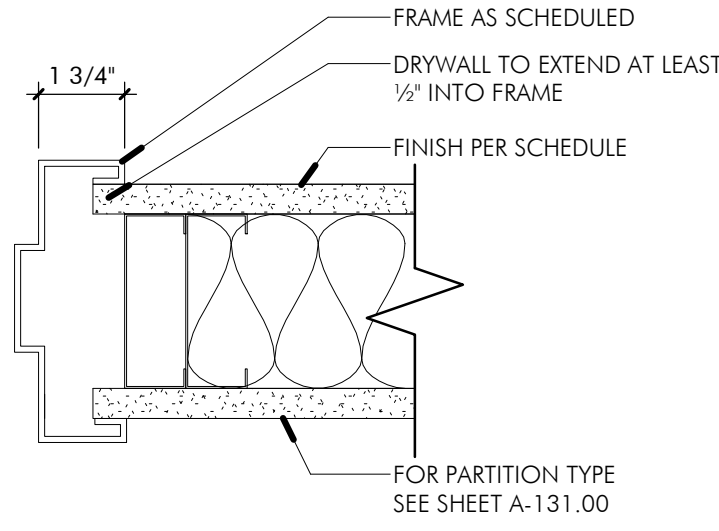
DOOR HARDWARE		
TYPE	HARDWARE FUNCTION	ITEMS
SET A	OFFICE	CLOSER, GASKET, SWEEP, HANDLES, LOCKSET, KICK PLATE
SET B	PASSAGE	CLOSER, GASKET, SWEEP, HANDLES, KICK PLATE
SET C	PRIVACY	CLOSER, GASKET, SWEEP, KICK PLATE, LOCKSET
SET D	STOREROOM	CLOSER, GASKET, SWEEP, KICK PLATE, LOCKSET
SET E	ENTRY	CLOSER, GASKET, SWEEP, CRASH BAR, PULL, KICK PLATE
SET F	VAULT	CLOSER, GASKET, SWEEP, KICK PLATE, VAULT HARDWARE



DOOR TYPES
1/4" = 1'-0"



2 DOOR HEAD DETAIL
3" = 1'-0"

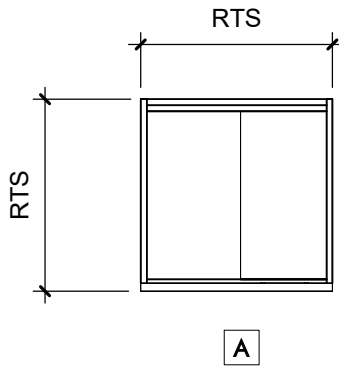


1 DOOR JAMB DETAIL
3" = 1'-0"

GENERAL NOTES:

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INFORMATION CONTAINED ON THIS SCHEDULE WITH APPLICABLE BUILDING AND FIRE CODE REQUIREMENTS.
- IT IS INTENDED THAT APPROVAL DRAWINGS WILL NOT BE REQUIRED FOR THESE ITEMS AND THAT THE MANUFACTURER'S PUBLISHED DETAILS, TOGETHER WITH APPLICABLE BUILDING AND FIRE CODE REQUIREMENTS, WILL PROVIDE ALL THE NEEDED INFORMATION.
- FIRE DOOR AND FRAME ASSEMBLIES SHALL BE IDENTIFIED BY LABELS AND/OR AN APPROVED IDENTIFICATION MARKING OF AN AGENCY ACCEPTED BY THE AUTHORITY HOLDING JURISDICTION. THE DOOR LABEL SHALL INDICATE THE APPLICABLE FIRE TEST RATING FOR THE DOOR CONSTRUCTION FURNISHED.
- NO DOORS SHALL HAVE LOUVERS.
- EACH DOOR FACE SHALL BE FORMED FROM A SINGLE SHEET OF STEEL. THERE SHALL BE NO VISIBLE SEAMS ON THE SURFACE OF THE FACES.
- ALL SURFACES OF DOORS AND FRAMES EXPOSED TO VIEW SHALL RECEIVE A FACTORY APPLIED COAT OF RUST INHIBITING PRIMER.
- FINISH PAINT ALL SURFACE OF DOORS AND FRAMES EXPOSED TO VIEW.
- FRAMES SHALL BE INSTALLED PLUMB, LEVEL, RIGID AND IN TRUE ALIGNMENT.
- ALL FRAMES, OTHER THAN DRYWALL SLIP-ON TYPES, SHALL BE FASTENED TO THE ADJACENT STRUCTURE TO RETAIN THEIR POSITION AND STABILITY WITH A MINIMUM OF THREE ANCHORS PER JAMB SUITABLE FOR THE ADJOINING WALL CONSTRUCTION.
- SLIP-ON DRYWALL FRAMES SHALL BE INSTALLED IN PREPARED WALL OPENINGS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SHALL HAVE AN ANCHORING SYSTEM THAT IS AN INTEGRAL PART OF THE FRAME, AND ALLOWS INSTALLATION OF THE FRAME AFTER THE WALL HAS BEEN CONSTRUCTED AND FINISHED.
- WHERE GROUTING IS REQUIRED IN MASONRY INSTALLATIONS, FRAMES SHALL BE BRACED OR FASTENED IN SUCH A WAY THAT WILL PREVENT GROUTING SHALL NOT BE USED FOR FRAMES INSTALLED IN DRYWALL WALLS.
- INSTALLATION OF HARDWARE ITEMS SHALL BE IN ACCORDANCE WITH THE HARDWARE MANUFACTURER'S RECOMMENDATIONS AND TEMPLATES.
- ANY REPAIR OR RELOCATION REQUIRED TO EITHER THE DOOR OR FRAME IN A FIRE RATED OPENING SHALL BE CONDUCTED IN ACCORDANCE WITH ANSI/NFPA 80, STANDARD FOR FIRE DOORS AND OTHER OPENING PROTECTIVES.
- PROVIDE STEEL DOORS AND FRAMES FROM AN SDI CERTIFIED MANUFACTURER.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE DOOR HARDWARE WITH SECURITY DRAWINGS.

WINDOW SCHEDULE								
MARK	MANUFACTURER	WIDTH	HEIGHT	STYLE	COUNT	EXTERIOR/INTERIOR	FRAME MATERIAL	COMMENTS
A	DK HARDWARE	3' - 0"	4' - 0"	COMBINATION EXCHANGE WINDOW WITH CLEAR PACKAGE RECEIVER	1	INTERIOR	ANODIZED BRONZE	TO BE CONFIRMED WITH OWNER.
Grand total: 1								



WINDOW TYPES
1/4" = 1'-0"

NOT FOR CONSTRUCTION

100% SD SET

PROJECT: NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550
TITLE: STOREFRONT, WINDOW, &
DOOR SCHEDULES

SEAL & SIGNATURE:	DATE:	24.12.04
	PROJECT #:	2420
	DRAWING BY:	SW
	CHK BY:	BA
DWG NO.		A-601.00
		2420

ROOM FINISH SCHEDULE																					
ROOM NUMBER	ROOM NAME	AREA	WALLS												FLOORS				CEILING FINISH	COMMENTS	
			NORTH ELEVATION			EAST ELEVATION			SOUTH ELEVATION			WEST ELEVATION			FLOOR		BASE				
			NORTH MATERIAL	NORTH FINISH	NORTH COLOR	EAST MATERIAL	EAST FINISH	EAST COLOR	SOUTH MATERIAL	SOUTH FINISH	SOUTH COLOR	WEST MATERIAL	WEST FINISH	WEST COLOR	MATERIAL	COLOR	MATERIAL	COLOR			
101	ENTRY & CHECK-IN / SALES FLOOR	1097 SF	GWB	PAINT	TBD	EXIST.	PAINT	TBD	GWB	PAINT	TBD	GWB	PAINT	TBD	LVT-1	TBD	RB-1	BLACK			
102	POS AREA	183 SF	GWB	PAINT	TBD	-	-	-	GWB	PAINT	TBD	GWB	PAINT	TBD	LVT-1	TBD	RB-1	BLACK			
103	FUTURE OFFICE	197 SF	GWB	PAINT	TBD	GWB	PAINT	PT-1	GWB	PAINT	PT-1	GWB	PAINT	PT-1	LVT-1	TBD	RB-1	BLACK			
104	LIMITED ACCESS CORRIDOR 1A	234 SF	GWB	PAINT	PT-1	EXIST.	PAINT	PT-1	EXIST.	PAINT	PT-1	GWB	PAINT	PT-1	LVT-1	TBD	RB-1	BLACK			
105	INVENTORY VAULT	201 SF	GWB	PAINT	PT-1	CAGE VAULT	-	-	CAGE VAULT	-	-	GWB	PAINT	PT-1	LVT-1	TBD	RB-1	BLACK		NORTH WALL -HARDENED CONSTRUCTION WALL.	
106	BREAK ROOM	639 SF	EXIST.	PAINT	PT-1	EXIST.	PAINT	PT-1	GWB	PAINT	PT-1	GWB	PAINT	PT-1	LVT-1	TBD	RB-1	BLACK			
107	LIMITED ACCESS CORRIDOR 1B	363 SF	EXIST.	PAINT	PT-1	GWB	PAINT	PT-1	GWB	PAINT	PT-1	EXIST.	PAINT	PT-1	LVT-1	TBD	RB-1	BLACK			
108	BATHROOM 1A	45 SF	EXIST.	EXIST.	-	EXIST.	EXIST.	-	EXIST.	EXIST.	-	EXIST.	EXIST.	-	EXIST.	EXIST.	EXIST.	EXIST.	EXISTING	EXISTING- BATHROOM TO REMAIN. UPGRADE EXISTING AS REQUIRED.	
109	BATHROOM 1B	45 SF	EXIST.	EXIST.	-	EXIST.	EXIST.	-	EXIST.	EXIST.	-	EXIST.	EXIST.	-	EXIST.	EXIST.	EXIST.	EXIST.	EXISTING	EXISTING- BATHROOM TO REMAIN. UPGRADE EXISTING AS REQUIRED.	
110	LIMITED ACCESS CORRIDOR 1C	138 SF	EXIST.	PAINT	PT-1	EXIST. / GWB	PAINT	PT-1	EXIST.	EXIST.	-	EXIST.	EXIST.	-	EXIST.	EXIST.	RB-1	BLACK	EXISTING	UPGRADE EXISTING FLOORS & FINISHES AS REQUIRED WHERE NEEDED.	
111	JANITOR	34 SF	EXIST.	PAINT	PT-1	EXIST.	PAINT	PT-1	GWB	PAINT	PT-1	GWB	PAINT	PT-1	LVT-1	TBD	RB-1	BLACK	EXISTING		
112	BACK OF HOUSE BREAK ROOM	80 SF	EXIST.	EXIST.	-	EXIST.	-	-	EXIST.	-	-	EXIST.	-	-	EXIST.	EXIST.	EXIST.	EXIST.	EXISTING	EXISTING ROOM TO REMAIN. UPGRADE AS REQUIRED.	
113	BACK OF HOUSE OFFICE / LACTATION / SECURE. I.T.	144 SF	EXIST.	-	-	EXIST.	-	-	EXIST.	-	-	EXIST.	-	-	EXIST.	EXIST.	EXIST.	EXIST.	EXISTING	EXISTING ROOM TO REMAIN. UPGRADE AS REQUIRED.	

WALL FINISH LEGEND			
FINISH MARK	MANUFACTURER	PRODUCT NAME	SWATCH
WP-1	X	COLOR:	
VG-1	X	COLOR:	

FLOORING FINISH LEGEND			
FINISH MARK	MANUFACTURER	PRODUCT NAME	SWATCH
LVT-1	XX	XX	
RB-1	TBD	RESILIENT BASE-VINYL COLOR: BLACK	

PAINT LEGEND			
PAINT #	BENJAMIN MOORE COLOR #	NAME	SWATCH
PT-1	BENJAMIN MOORE	COLOR: WHITE	
PT-2	XX	XX	
PT-3	XX	XX	

CASEWORK FINISH LEGEND - SHELVING & DISPLAYS:			
MARK	MANUFACTURER	PRODUCT NAME	SWATCH
HW-1	*HARDWARE*	METAL HARDWARE FINISH COLOR: BLACK POWDER COAT	
PL-1	XX	XX	
PL-1	XX	XX	

CASEWORK FINISH LEGEND - POS			
MARK	MANUFACTURER	PRODUCT NAME	SWATCH
PL-2	XX	XX	
PL-3	XX	XX	

EQUIPMENT SCHEDULE - NEWBURGH KUSH FACTORY RETAIL DISPENSARY				
MARK	NAME OF EQUIPMENT	QUANTITY	MANUFACTURER	COMMENTS
EQ 101.1	FLOOR MOUNTED ATM MACHINE	1		
EQ 101.2	LCD DISPLAY	4	Samsung	TCL 55" CLASS S5-SERIES 4K UHD HDR LED SMART OR SIMILAR
EQ 102.1	LCD DISPLAY	2	Samsung	TCL 55" CLASS S5-SERIES 4K UHD HDR LED SMART OR SIMILAR
EQ 105.1	METAL SHELVING	5		
EQ 105.2	METAL SHELVING	1		
EQ 105.3	SECURE STORAGE CABINET / SAFE	1		
EQ 105.4	CAGE VAULT	7	Southwest Solutions Group, WIR	
EQ 109.2	ENCLOSED BULLETIN BOARD	2		
EQ 111.1	MOP BUCKET WITH WRINGER	1	GLOBAL INDUSTRIAL	
EQ 112.1	DRY ERASE MAGNETIC BOARD	1		
EQ 113.1	PRIVACY SCREEN	1	VERSARE	
EQ 113.2	UNDERCOUNTER FRIDGE	1		
EQ 113.3	PAPER TOWEL DISPENSER	1	Bradley Corporation	
EQ 113.4	SECURE I.T. DATA RACK	1	TBD	

FURNITURE SCHEDULE - NEWBURGH KUSH FACTORY RETAIL DISPENSARY				
MARK	NAME OF FURNITURE	QUANTITY	MANUFACTURER	COMMENTS
1	FRONT DESK CHAIR	1		OFFICE CHAIR
2	RECEPTION DESK	1		
3	ROUND TABLE	2		
4	CHAIR	8		BAR CHAIR
5	LOCKERS	3		
6	OFFICE DESK	1		OFFICE DESK
7	CHAIR, TASK, ARMS	1		OFFICE CHAIR
8	MODERN ARM CHAIRS	1		
9	CHAIR	2		BAR CHAIR

NOT FOR CONSTRUCTION

100% SD SET

PROJECT:

NEWBURGH KUSH
FACTORY RETAIL
DISPENSARY
1255 NY - 300 NEWBURGH, NY
12550

TITLE:

FINISH, FURNITURE,
FIXTURES & EQUIPMENT
SCHEDULES

SEAL & SIGNATURE:

DATE: 24.12.04
PROJECT #: 2420
DRAWING BY: SW
CHK BY: BA
DWG NO:
A-621.00

2420

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