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Principal Emeritus: RICHARD D. McGOEY, P.E. (NY & PA)

MICHAEL W. WEEKS, P.E. (NY, NJ & PA) LYLE R. SHUTE, P.E., LEED-AP (NY, NJ, PA) PATRICK J. HINES

MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)

TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT:MALMARKPROJECT NO.:20-15PROJECT LOCATION:SECTION 9, BLOCK 3, LOT 2REVIEW DATE:30 APRIL 2021MEETING DATE:6 MAY 2021PROJECT REPRESENTATIVE:MECURIO-NORTON- TAROLLI-MARSHALL

- **1.** Copy of the Highway Superintendents sign off letter for the access points should be submitted for the Planning Boards use.
- 2. Several comments continue to be outstanding from the 29 January 2021 including addressing encroachments onto proposed Lot 2. Internal subdivision lot line metes and boundaries should be added to the plans. Driveway access and maintenance agreement should be submitted to Dominic Cordisco for review. These access agreements should include cross grading easements.
- **3.** Notice of Intent for storm water permit coverage should be submitted to the Planning Board for review. This office will issue a Municipal Authorization at the appropriate time.
- **4.** Orange County Health Department approval for the subsurface sanitary sewer disposal system is required. Preliminary approval must be granted to submit to Health Department.
- 5. The Planning Board declared its intent for Lead Agency on 4 February 2021 and circulated the Notice of Intent on 11 February 2021. No agencies have taken exception to the Planning Boards Lead Agency, therefore the Planning Board can now declare itself Lead Agency for review of the project. Based on a review of the information submitted this office would recommend the Planning Board issue a Negative Declaration for the project.
- **6.** The project requires a Public Hearing. This office takes no exception to the Planning Board scheduling the Public Hearing at its next available date.



Respectfully submitted,

McGoey, Hauser and Edsall Consulting Engineers, D.P.C.

Afones when

Patrick J. Hines Principal

PJH/kbw



45 Main Street · P.O. Box 166 Pine Bush, New York 12566 Tel: (845) 744-3620 Fax: (845) 744-3805 Email: <u>mntm@mntm.co</u>

Lawrence J. Marshall, P.E.

Min Hainer H. G.D

Zachary A. Peters, P.E.

April 22, 2021

APR 2 2 2021

Planning Board Town of Newburgh MCGOEY, HAUSER, AND EDSALL CONSULTING ENGINEERS D.P.C.

21 Hudson Valley Professional Plaza

Newburgh, New York 12550

Also via email: planningboard@townofnewburgh.org

Re: Job No. 3807-3

Tax Map Parcel: 9-3-2 Town of Newburgh Orange County Lattintown Road 5-lot Residential Subdivision

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Fourteen (14) copies of the revised Subdivision Plan

The following comments are in response to a review by Patrick Hines of McGoey, Hauser, & Edsall Consulting Engineers, P.C. dated January 29, 2021:

- 1. We are in receipt of the signoff letter from the Highway Superintendent, dated April 19, 2021.
- 2. The applicant is in discussion with the adjoining owner to grant an easement for the existing encroachments. The limits of the easement will be indicated on the subdivision plan as soon as they have been finalized.
- 3. Metes & bounds will be included on the proposed property lines for future submissions.
- 4. No response required.
- 5. Reference to the proposed access easements for the common driveways is included in notes 8 and 9 on sheet 1. The easements will include provisions for installation and maintenance of the proposed driveways and utilities serving the individual lots.
- 6. See response 5, above.
- 7. A Notice of Intent (NOI) will be prepared and submitted to NYSDEC for coverage under the SPDES Stormwater general permit.
- 8. The proposed plan will be submitted to the Orange County Department of Health (OCDOH) for the necessary review.
- 9. No response required.
- 10. Note 1 has been added under the Zoning Legend on sheet 1 specifying lot specific bulk zoning information is provided on sheet 3. Note 10 has also been added on sheet 1 to this effect.



Zoning Legend: AR

	REQUIRED	<u>()</u>
MINIMUM LOT AREA (2)	40,000 .	S.F.
MINIMUM LOT WIDTH (3)	1.	50'
MINIMUM LOT DEPTH	<u>l</u>	50'
MINIMUM FRONT YARD		50′
MINIMUM REAR YARD		50'
MINIMUM SIDE YARD (ONE)		30'
MINIMUM SIDE YARD (BOTH)		80′
MINIMUM HABITABLE FLOOR AREA	900 3	<u>S.F.</u>
MAXIMUM BUILDING COVERAGE	К	2%
MAXIMUM BUILDING HEIGHT		35′
MAXIMUM LOT COVERAGE	20	2%

(1) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.

(2) MINIMUM LOT AREA, IN SQUARE FEET, EXCLUDES THE AREA OF THE PROPOSED PRIVATE ROAD EASEMENT.

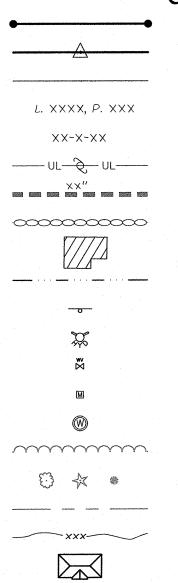
(3) AS PER TOWN CODE, LOT WIDTH IS MEASURED AT THE FRONT SETBACK REQUIREMENT OR AT THE BUILDING LINE.

Zoning Legend: R-3

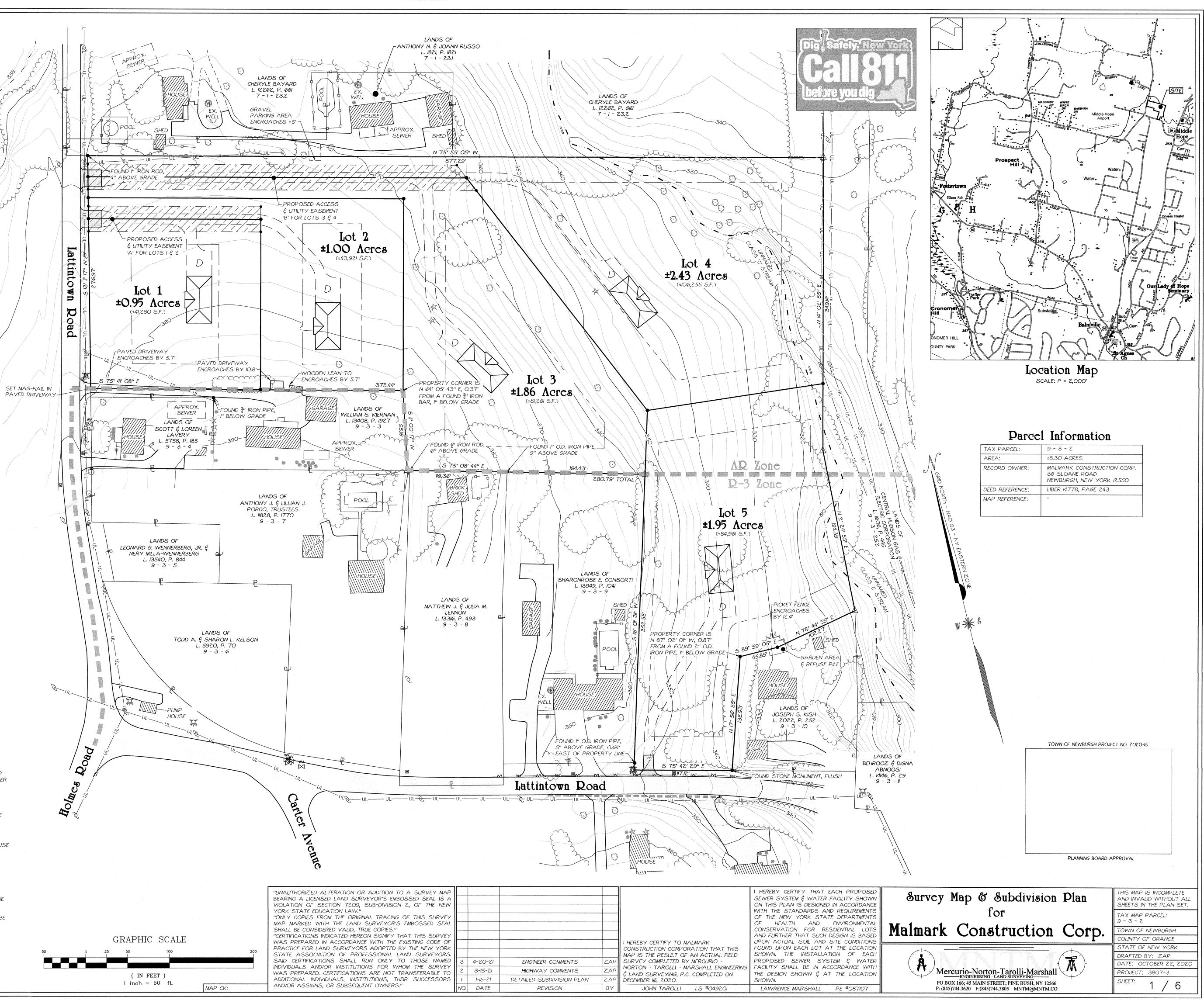
		·····
- WITH PUBLIC WATER ONLY -	REQUIRE	<u>D (1)</u>
MINIMUM LOT AREA	15,000	D S.F.
MINIMUM LOT WIDTH		100'
MINIMUM LOT DEPTH		12.5'
MINIMUM FRONT YARD		40'
MINIMUM REAR YARD		40'
MINIMUM SIDE YARD (ONE)		15'
MINIMUM SIDE YARD (BOTH)	· · · ·	30'
MINIMUM HABITABLE FLOOR AREA	900) <u>S.F.</u>
MAXIMUM BUILDING COVERAGE	******	15%
MAXIMUM BUILDING HEIGHT		35'
MAXIMUM LOT COVERAGE		30%

(1) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.

Legend



PROPERTY LINE & CORNER SET 5/8" IRON ROD AT PROPERTY CORNER ADJOINER PROPERTY LINE DEED LIBER, PAGE TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT) EXISTING UTILITY POLE & LINE EXISTING CULVERT & SIZE STONE WALL APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE WATERCOURSE SIGN LOCATION FIRE HYDRANT WATER VALVE MAILBOX WELL LOCATION EXISTNG TREE LINE EXISTING TREE & SHRUBS ZONING MINIMUM SETBACK LINE EXISTING CONTOUR LINE



and the second

Notes:

I.) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON DECEMBER 16, 2020.

PROPOSED BUILDING

2.) THE TOPOGRAPHY SHOWN IS BASED ON AERIAL IMAGERY PROVIDED BY GOLDEN AERIAL SURVEYS, INC. DATED APRIL 2020.

3.) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT. 4.) SUBJECT TO UTILITY GRANTS OF RECORD.

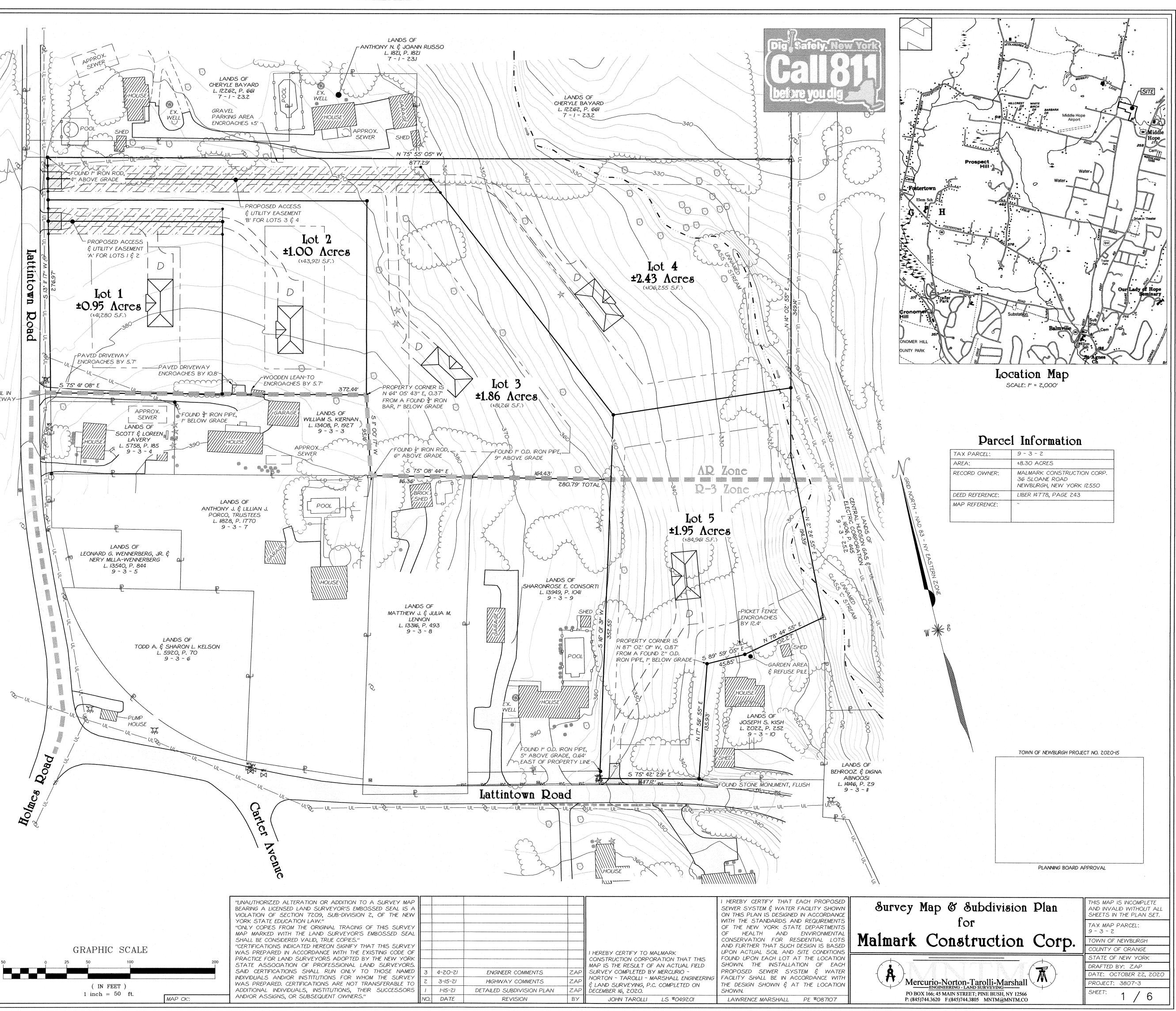
5.) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF LATTINTOWN ROAD FOR USE AS A PUBLIC HIGHWAY.

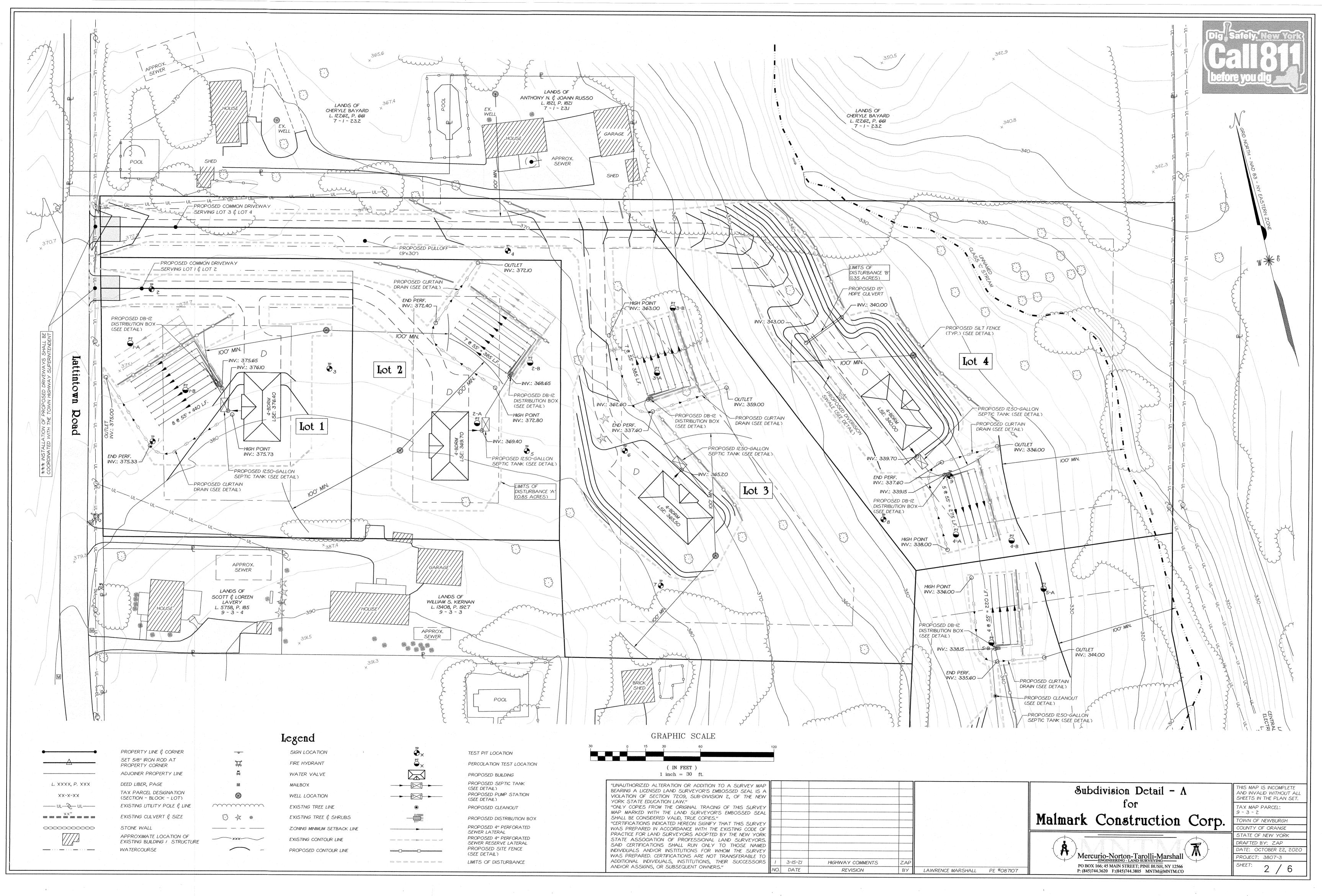
6.) VERTICAL DATUM IS NAVD88. 7.) TO AVOID ADVERSE IMPACTS TO THE INDIANA BAT (MYOTIS SODALIS), A STATE- AND FEDERALLY-LISTED ENDANGERED SPECIES, CLEARING OF TREES FOUR (4) INCHES D.B.H. OR GREATER SHALL ONLY OCCUR BETWEEN NOVEMBER I AND MARCH 31.

8.) LOTS I & Z SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'A', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.

9.) LOTS 3 & 4 SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'B', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.

IO.) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.





Zoning Legend: AR

	REQUIRED	<u>LOT I</u>	LOT Z	<u>LOT 3</u>	<u>LOT 4</u>
MINIMUM LOT AREA (I)	40,000 S.F.	±41,280 S.F.	±43,921 S.F.	±81,261 S.F.	±106,255 S.F.
MINIMUM LOT WIDTH (2)	150'	-			· · · · · -
MINIMUM LOT DEPTH	150'	_	-		-
MINIMUM FRONT YARD	50'	-		~	-
MINIMUM REAR YARD	50'	-	-	_	
MINIMUM SIDE YARD (ONE)	30'		-		
MINIMUM SIDE YARD (BOTH)	80'				
MINIMUM HABITABLE FLOOR AREA	900 S.F.	>900 S.F.	>900 S.F.	>900 S.F.	>900 S.F.
MAXIMUM BUILDING COVERAGE	10%	10%	10%	10%	10%
MAXIMUM BUILDING HEIGHT	35'	35'	35′	35′	35'
MAXIMUM LOT COVERAGE	20%	20%	20%	20%	20%

(I) MINIMUM LOT AREA, IN SQUARE FEET, EXCLUDES THE AREA OF THE

PROPOSED PRIVATE ROAD EASEMENT. (2) AS PER TOWN CODE, LOT WIDTH IS MEASURED AT THE FRONT SETBACK

REQUIREMENT OR AT THE BUILDING LINE.

Zoning Legend: R-3

- WITH PUBLIC WATER ONLY -	-	REQUIRED	<u>LOT 5</u>
MINIMUM LOT AREA		15,000 S.F.	±84,961 S.F.
MINIMUM LOT WIDTH		100'	-
MINIMUM LOT DEPTH		12.5'	-
MINIMUM FRONT YARD		40'	
MINIMUM REAR YARD		40'	
MINIMUM SIDE YARD (ONE)			-
MINIMUM SIDE YARD (BOTH)		30'	
MINIMUM HABITABLE FLOOR AREA	nduri sundu di manan mandrari manan man	900 S.F.	>900 S.F.
MAXIMUM BUILDING COVERAGE	-	15%	<15%
MAXIMUM BUILDING HEIGHT		35′	<35'
MAXIMUM LOT COVERAGE		30%	<30%

Notes:

I.) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON DECEMBER 16, 2020.

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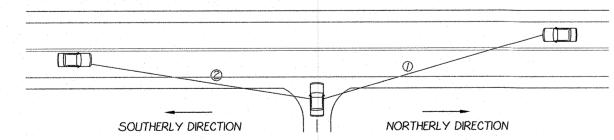
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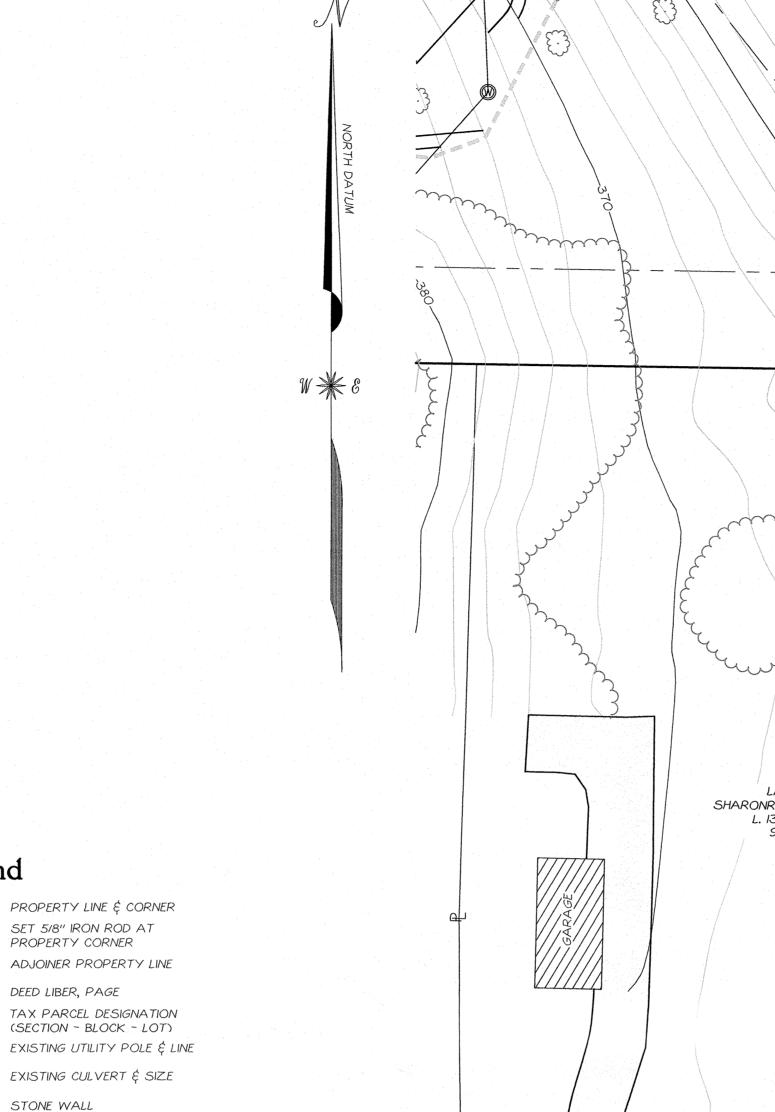
Sight Distance Tables

LATTINTOWN	NROAD SPEED	LIMIT ALONG SITE	E FRONTAGE:	40	MPH
MEASURED B	Y R. SMITHEM	ON OCTOBER 23,	2020		
LOCATION	SIGHT LINE	DISTANCE	REQUIRED	(I)	NOTES
PROPOSED	1	> 1,000'	445'		LIMITED BY HORIZONTAL CURVATURE
LOT I É Z DRIVEWAY	Z	±390'	385'		LIMITED BY VERTICAL CURVATURE
PROPOSED	1	> 1,000'	445'		LIMITED BY HORIZONTAL CURVATURE
LOT 3 & 4 DRIVEWAY	Z	±440'	385'		LIMITED BY VERTICAL CURVATURE
(I) REQUIRED	SITE DISTANC	E BASED UPON A	ASHTO STAL	NDAF	RDS FOR THE POSTED SPEED LIMIT



LATTINTOWN	ROAD SPEED	LIMIT ALONG SITU	E FRONTAGE: 30 MP	Н
MEASURED B	Y R. SMITHEM (ON OCTOBER 23,	2020	
LOCATION	SIGHT LINE	DISTANCE	REQUIRED (I)	NOTES
LOT 5	1	±455′	335'	LIMITED BY VERTICAL CURVATURE
PROPOSED DRIVE	2	±305'	290'	LIMITED BY VERTICAL CURVATURE

-----------EASTERLY DIRECTION WESTERLY DIRECTION



Legend

1995 1996, 1997 1995 1995 1995 1995 1995

<u>A</u>
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EXISTING TREE & SHRUBS
ZONING MINIMUM SETBACK LINE
EXISTING CONTOUR LINE
PROPOSED CONTOUR LINE
TEST PIT LOCATION
PERCOLATION TEST LOCATION
PROPOSED BUILDING
PROPOSED SEPTIC TANK (SEE DETAIL) PROPOSED PUMP STATION (SEE DETAIL)
PROPOSED CLEANOUT
PROPOSED DISTRIBUTION BOX
PROPOSED 4" PERFORATED SEWER LATERAL PROPOSED 4" PERFORATED SEWER RESERVE LATERAL PROPOSED SITE FENCE (SEE DETAIL)
LIMITS OF DISTURBANCE

APPROXIMATE LOCATION OF

WATERCOURSE

SIGN LOCATION

FIRE HYDRANT

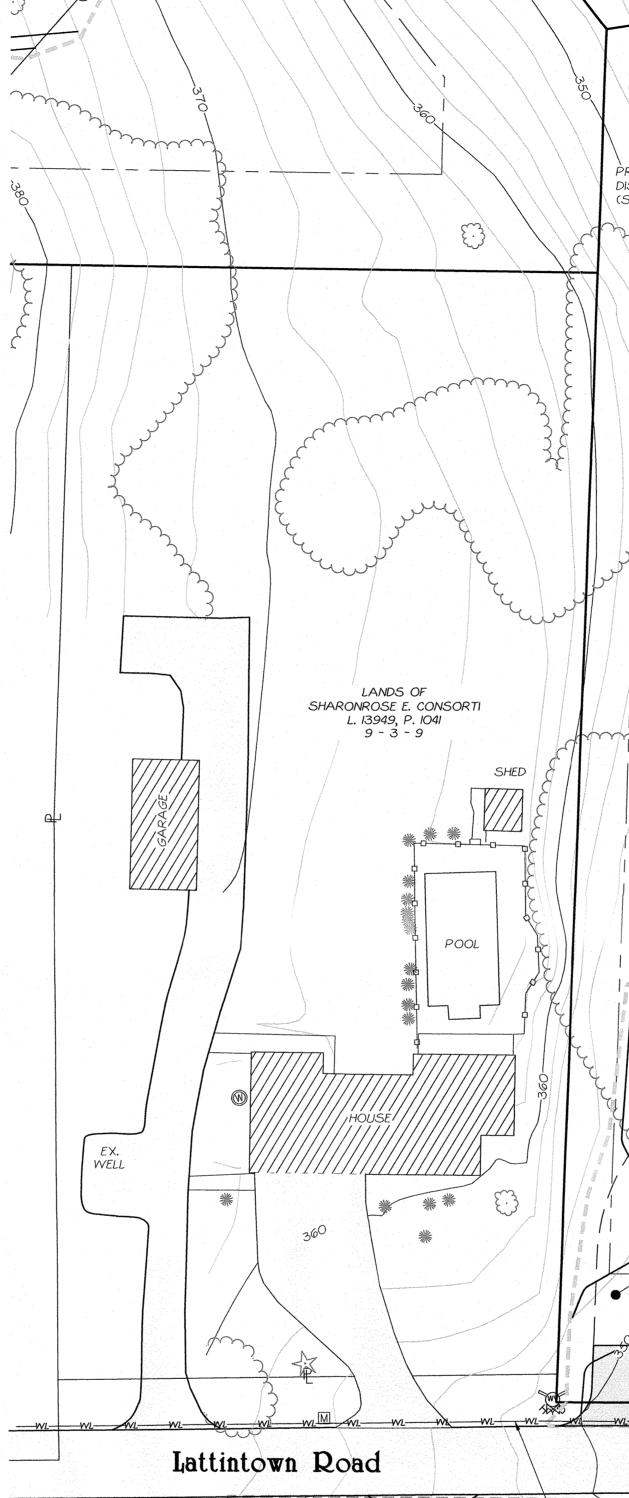
WATER VALVE

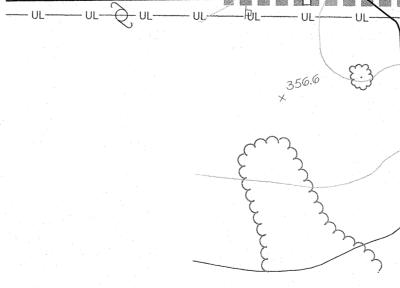
WELL LOCATION

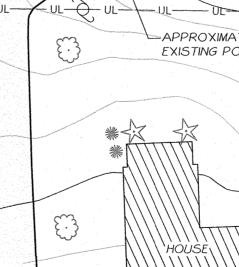
EXISTNG TREE LINE

MAILBOX

EXISTING BUILDING / STRUCTURE







SEE DETAIL)

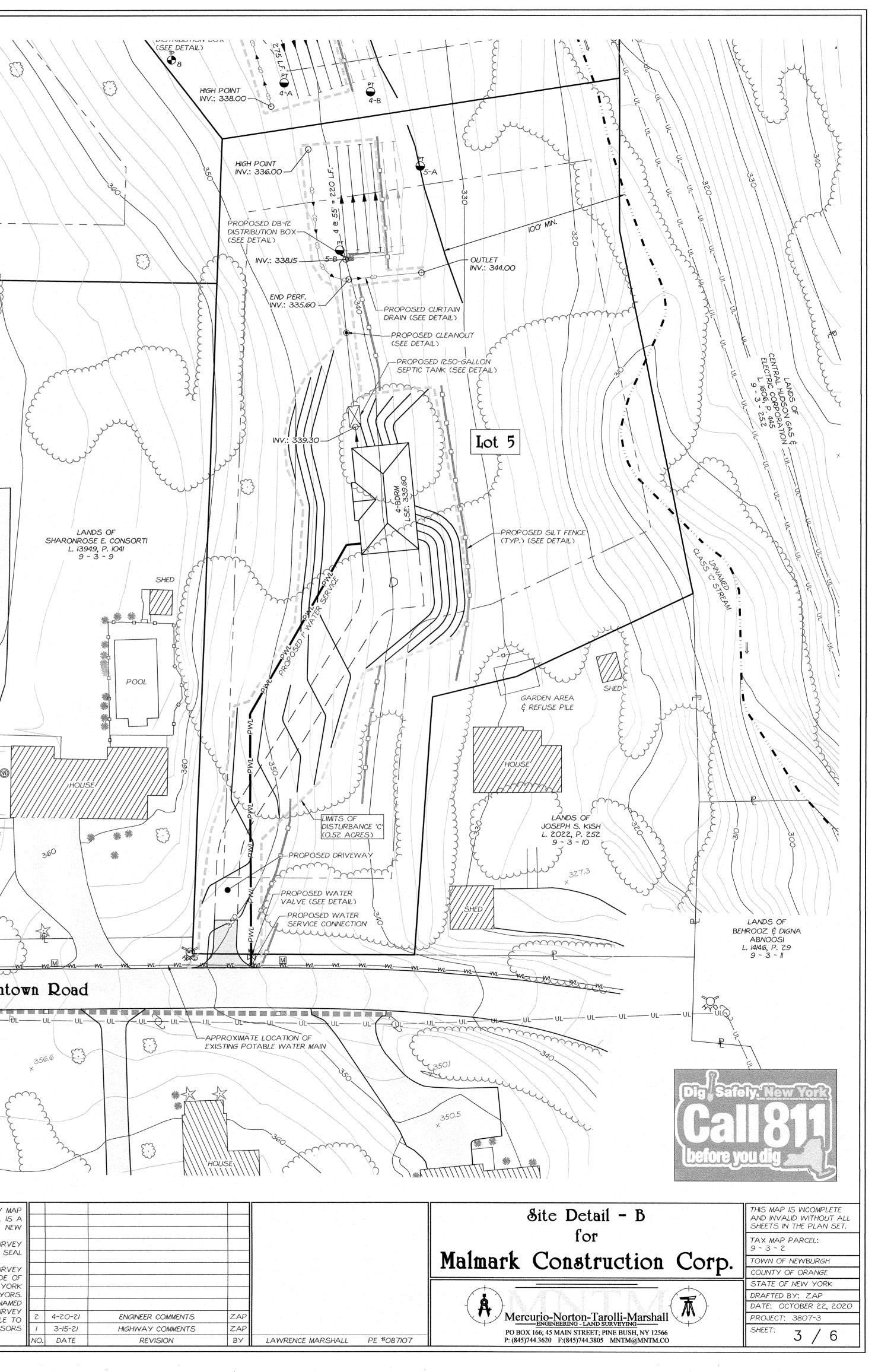
"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP
BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A
VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW
YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY
MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL
SHALL BE CONSIDERED VALID, TRUE COPIES."
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY
WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF
PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK

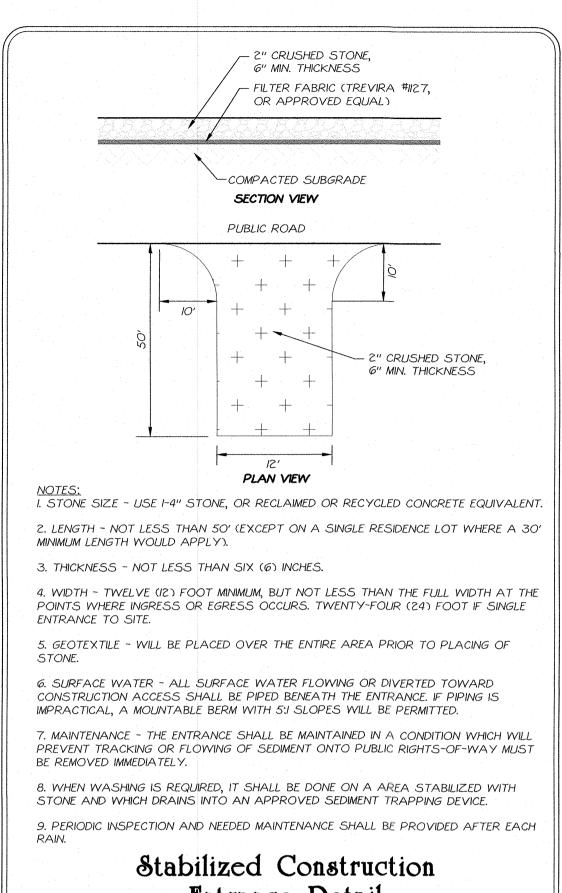
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SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMEL
INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY
WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO
ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS
AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	3-15-21 DATE	HIGHWAY COMMENTS REVISION	ZAP BY
2	4-20-21	ENGINEER COMMENTS	ZAP
	1 20 21		7.40
			· ·
-			

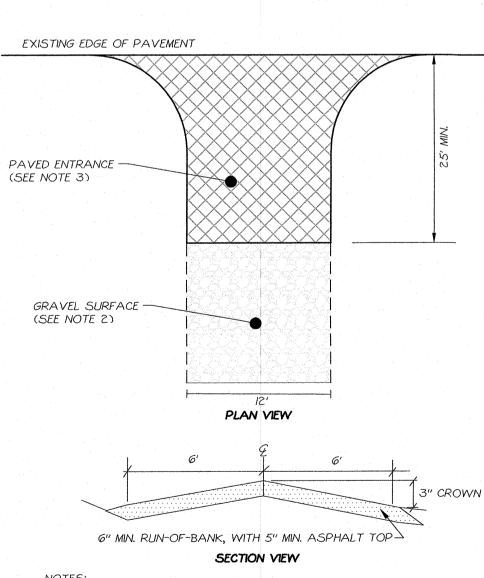
- 111 --

GRAPHIC SCALE (IN FEET) 1 inch = 30 ft.









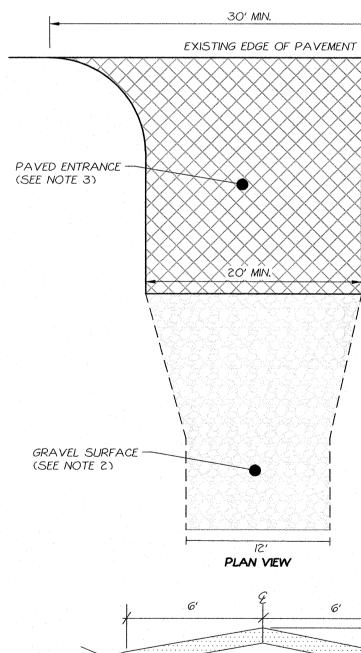
NOTES I.) THE PROPOSED DRIVEWAY SHALL BE GRADED AT -2.0% MINIMUM FROM THE EDGE OF PAVEMENT ALONG LATTINTOWN ROAD.

2.) GRAVEL DRIVEWAYS SHALL BE A MINIMUM OF 12-FEET WIDE AND CONSIST OF 8" RUN-OF-BANK GRAVEL BASE WITH 4" ITEM 4 TOP COURSE. 3.) PAVED DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" RUN-OF-BANK GRAVEL FOUNDATION, 3" BINDER COURSE, AND 2" BITUMINOUS

ASPHALT TOP COURSE FOR THE FIRST 25-FEET FROM THE EDGE OF PAVEMENT. 4.) THE MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 10%.

5.) A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT EACH PROPOSED DRIVEWAY ENTRANCE DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH THE ASSOCIATED DETAIL.

> Private Driveway Detail NOT TO SCALE



CROWN 6" MIN. RUN-OF-BANK, WITH 5" MIN. ASPHALT TOP SECTION VIEW 1.) THE PROPOSED DRIVEWAY SHALL BE GRADED AT -2.0% MINIMUM FROM THE

EDGE OF PAVEMENT ALONG LATTINTOWN ROAD.

2.) GRAVEL DRIVEWAYS SHALL BE A MINIMUM OF 20-FEET WIDE AND CONSIST OF 8" RUN-OF-BANK GRAVEL BASE WITH 4" ITEM 4 TOP COURSE. THE DRIVEWAY SHALL FLARE TO A MINIMUM WIDTH OF 30-FEET AT THE EDGE OF EXISTING PAVEMENT ALONG LATTINTOWN ROAD.

3.) PAVED DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" RUN-OF-BANK GRAVEL FOUNDATION, 3" BINDER COURSE, AND 2" BITUMINOUS ASPHALT TOP COURSE FOR THE FIRST 25-FEET FROM THE EDGE OF PAVEMENT.

4.) THE MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 10%. 5.) A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT EACH PROPOSED COMMON DRIVEWAY ENTRANCE DURING THE COURSE OF

> Common Driveway Detail NOT TO SCALE

CONSTRUCTION IN ACCORDANCE WITH THE ASSOCIATED DETAIL.

5. ENSURE THAT A CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA Z ACRES Temporary Check Dam Detail NOT TO SCALE

2. SET SPACING OF CHECK DAMS TO ASSUME THAT ELEVATIONS OF THE

3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO

4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM

SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.

THE UPSTREAM DAM.

PREVENT CUTTING AROUND THE DAM.

CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF

SAME ELEVATION TOE -CUTOFF TRENCH 18" WIDE, 6" DEEP PROFILE NOT TO SCALE A STONE CUTOFF TRENCH -FU.TER SECTION A-A SECTION B-B NOT TO SCALE NOT TO SCALE STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.

SPACING VARIES DEPENDING ON CHANNEL SLOPE

24" MAX @ CENTER

CRES

- STOCKPILED TOPSOIL LIMITS OF ----DISTURBANCE STABILIZED-CONSTRUCTION ENTRANCE (SEE DETAIL)

-UNDISTURBED-

TOPSOIL

NOTES 1.) SILT FENCE SHALL BE INSTALLED PARALLEL TO CONTOURS IN ACCORDANCE WITH THE CORRESPONDING DETAIL.

-SILT FENCING (SEE DETAIL)

2.) ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF DISTURBANCE. DISTURBED AREAS SHALL BE STABILIZED AS SOON AS PRACTICAL FOLLOWING FINAL DISTURBANCE.

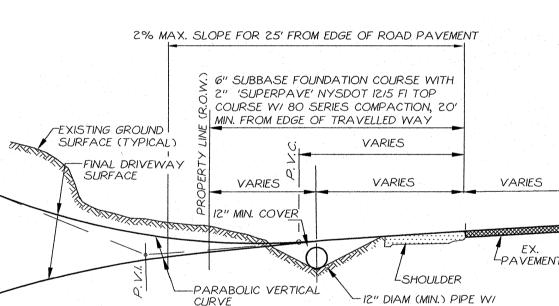
-LIMITS OF

DISTURBANC

3.) THE DISTURBANCE FOR THE SITE SHALL BE KEPT TO A MINIMUM. Typical Lot Erosion & Sediment Control Detail

NOT TO SCALE

2% MAX. SLOPE FOR 25' FROM EDGE OF ROAD PAVEMENT G" SUBBASE FOUNDATION COURSE WITH 2" 'SUPERPAVE' NYSDOT 1215 FI TOP COURSE WI 80 SERIES COMPACTION, 20' MIN. FROM EDGE OF TRAVELLED WAY EXISTING GROUND SURFACE (TYPICAL) VARIES -FINAL DRIVEWAY SURFACE VARIES VARIES 2." MIN. COVEF



EX.

FLARED END SECTION. NOTES I) DRIVEWAY SHALL BE GRADED TO DIVERT WATER INTO ROAD DRAINAGE, NOT ONTO MAIN ROAD. 2.) THE INSTALLATION OF ALL PROPOSED DRIVEWAY CULVERTS WILL BE PROPERLY COORDINATED TO ASSURE POSITIVE DRAINAGE IS ACHIEVED. 3.) BACKFILL MATERIAL WITHIN 8' OF THE EDGE OF PAVEMENT SHALL CONSIST OF ITEM NO. 4 (ITEM 304.12 SUBBASE COURSE TYPE 2).

NO BOULDERS/ROCKS OVER 12" ARE ALLOWED TO BE USED AS BACKFILL.

4.) EXCAVATED MATERIAL MAY BE USED AS BACKFILL MATERIAL BEYOND 8' FROM THE EDGE OF PAVEMENT.

Driveway Entrance Profile Detail

HIGHWAY COMMENTS NO. DATE REVISION BY

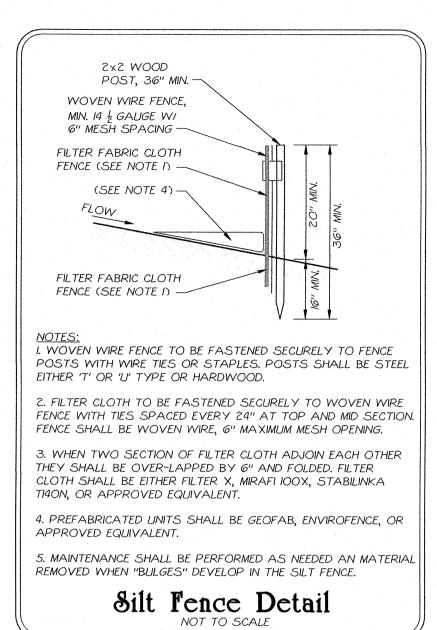
BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW." "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES." CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY

AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK

STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS 1 3-15-21



Erosion & Sediment Control Notes:

I.) DUST CONTROL SHALL BE PROVIDED IN TIMES OF DRY WEATHER. AREAS SHALL BE SPRAYED WITH WATER TO PREVENT DUST FROM TRANSFERRING TO ADJACENT PROPERTIES.

2.) THE PROPOSED AREA OF DISTURBANCE IS APPROXIMATELY 2.2 ACRES. 3.) IDLE DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION REQUIREMENTS IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2016 EDITION. TEMPORARY STABILIZATION SPECIFICATIONS INCLUDE:

- ANNUAL OR PERENNIAL RYEGRASS SEEDING WITH STRAW MULCHING AT A RATE OF 30 LBS PER ACRE. - COARSE WOOD CHIPS AT A RATE OF 500 LBS PER ACRE. - WOOD FIBER HYDROMULCH, AS PER MANUFACTURERS SPECIFICATIONS.

4.) ALL DISTURBED AREAS NOT ENCUMBERED BY LANDSCAPING MULCH, PAVEMENT, CONCRETE, OR OTHER IMPERVIOUS COVER BE STABILIZED WITH BLUE GRASS BLEND, WITH THE FOLLOWING SPECIFICATIONS: - 25% FESTUCA RUBRA COMMUTATA (CHEWINGS FESCUE) LOLIUM PERENNE (PERENNIAL RYEGRASS) - 15% - 60% POA PRATENSIS (KENTUCKY BLUEGRASS)

5.) SEEDING SHALL BE PERFORMED AT A RATE OF FIVE (5) LBS. PER ACRE.

DRIVEWAY SURFACE COVER 15" HDPE DRIVEWAY CULVERT-Typical Culvert Detail NOT TO SCALE

		Construction Detail Sheet	THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
		for	TAX MAP PARCEL: 9 - 3 - 2
		Malmark Construction Corp.	TOWN OF NEWBURGH COUNTY OF ORANGE
			STATE OF NEW YORK
			DRAFTED BY: ZAP
			DATE: OCTOBER 22, 2020
		Mercurio-Norton-Tarolli-Marshall	PROJECT: 3807-3
LAWRENCE MARSHALL	PE #087107	PO BOX 166; 45 MAIN STREET; PINE BUSH, NY 12566 P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO	SHEET: 4 / 6

Deep Soils Testing Results

TEST HOLE #	1	2	3	4	5	6	7	8	9	
TESTING DATE:	05-81-2	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	
TESTER:	RTS	RTS	RTS	RTS	RTS	RTS	RTS	RTS	RTS	
DEEP TEST <u>SOIL LOG</u> *NO WATER OR ROCK UNLESS SO NOTED	0' SILTY TOPSOIL I' I5'' HEAVY SILT 2' LOAM & 3' 36'' 4' SILT LOAM & AGG'' 5' 66'' 6' 7' 8'	' (FIELD) 2' HEAVY SILT LOAM & 3' STONES 42" 4' SILT LOAM & RIPPABLE 5' SHALE 6' 72" 7'	0' SILTY TOPSOIL (FIELD) 1' HEAVY SILT 2' LOAM 3' SILT LOAM 4' SILT LOAM & FIPPABLE 5' SHALE 6' 72"	I' (FIELD) I' I2" I' I2" I' IOAM I' III IOAM I' IIII IOAM I' IIIII IOAM I' IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII	0'SILTY TOPSOIL (FIELD) I'CLAY LOAM I8'' 2'CLAY LOAM \$ STONES 3'36'' 4'SILT LOAM 36'' 4'SILT LOAM SHALE 5'FRAGMENTS 6'76'' 8'	0' TOPSOIL 1' I2'' 2' 3' CLAYEY SILT LOAM W. 5' SHALE 4' FRAGMENTS 5' 66'' 6' 7' 8'	0' TOPSOIL 6'' G'' 1' SILT LOAM 2' - 3' CLAYEY SILT LOAM W. 4' SHALE 4' FRAGMENTS 5' - 6' - 7' - 8' -	0' TOPSOIL 1' IZ'' 2' CLAY LOAM 2' GRAVELLY 4' CLAY LOAM 4' CLAY LOAM 5' FRAGMENTS 6' 72'' 8'	0' TOPSOIL I' G'' I' CLAY LOAM I8'' 3' SILT LOAM ¢ RIPPABLE 4' SHALE 5' 6' 7' 8'	
NOTES:										

Percolation Testing Results

TEST	HOLE #	I-A	I-B	2-A	2-B	3-A	3-B	4-A	4-B	5-A	5-B
TEST	ING DATE:	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	05-01-11	11-10-20
DEPTI	H / TESTER:	24" - WJ									
ATCH	RUN I ELAPSED TIME:	12:49	25:05	15:51	6:39	0:39	16:14	0:56	7:16	4:41	2:3/
SULT STOPW INUTES	RUN 2 ELAPSED TIME:	14:31	28:40	18:08	8:36	O:59	18;1O	1:20	8:46	5:05	3:30
	RUN 3 ELAPSED TIME:	16:45	29:34	19:43	8:46	0:59	21:09	2:24	9:56	5:10	3:33
	RUN 4 ELAPSED TIME:	17:05		20:24		1:08	21:58	3:24	IO:15		-
DLETEC	RUN 5 ELAPSED TIME:				- 25	1:10		3:30			
APSEL	RUN 6 ELAPSED TIME:										
ESTING *EL	RUN 3 ELAPSED TIME: RUN 4 ELAPSED TIME: RUN 5 ELAPSED TIME: RUN 6 ELAPSED TIME: RUN 7 ELAPSED TIME: STABILIZED RATE:										
11	STABILIZED RATE:	17:05	29:34	20:24	9:00	1:10	21:58	3:30	10:15	5:10	3:33

Sewage Disposal System Requirements

DESIGN FLOW RATE (GPD)	SEPTIC TANK SIZE (GALLONS)	DISTRIBUTION BOX MODEL NUMBER	TYPE OF SYSTEM	DESIGN STABILIZED PERCOLATION RATE (MIN.)	MIN. LENGTH OF ABSORPTION TRENCH (L.F.)	PROPOSED LENGTH OF ABSORPTION TRENCH (L.F.)	SEWAGE DISPOSAL SYSTEM DESIGN
440	1,250	DB-12	A.T.	30 - 45	440	440	8 ROWS © 55 L.F.
440	1,250	DB-12	A.T.	21 - 30	367	336	7 ROWS © 55 L.F.
440	1,250	DB-12	A.T.	21 - 30	367	330	7 ROWS © 55 L.F.
440	1,250	DB-12	A.T.	11 - 15	275	275	5 ROWS © 55 L.F.
440	1,250	DB-12	A.T.	6-7	055	220	4 ROWS © 55 L.F.
	FLOW RATE (GPD) 440 440 440 440	FLOW RATE (GPD) SIZE (GALLONS) 440 I,250 440 I,250 440 I,250 440 I,250 440 I,250 440 I,250	FLOW RATE (GPD)SIZE (GALLONS)BOX MODEL NUMBER440I,250DB-I2440I,250DB-I2440I,250DB-I2440I,250DB-I2440I,250DB-I2	FLOW RATE (GPD)SIZE (GALLONS)BOX MODEL NUMBERTYPE OF SYSTEM440I,250DB-I2A.T.440I,250DB-I2A.T.440I,250DB-I2A.T.440I,250DB-I2A.T.440I,250DB-I2A.T.	FLOW RATE (GPD) SIZE (GALLONS) BOX MODEL NUMBER TYPE OF SYSTEM PERCOLATION RATE (MIN.) 440 I,250 DB-I2 A.T. 30 - 45 440 I,250 DB-I2 A.T. 21 - 30 440 I,250 DB-I2 A.T. 21 - 30 440 I,250 DB-I2 A.T. 21 - 30 440 I,250 DB-I2 A.T. 1 - 30 440 I,250 DB-I2 A.T. 11 - 15	FLOW RATE (GPD) SIZE (GALLONS) BOX MODEL NUMBER TYPE OF SYSTEM PERCOLATION RATE (MIN.) ABSORPTION TRENCH (L.F.) 440 I,250 DB-I2 A.T. 30 - 45 440 440 I,250 DB-I2 A.T. 21 - 30 367 440 I,250 DB-I2 A.T. 21 - 30 367 440 I,250 DB-I2 A.T. 11 - 15 275	FLOW RATE (GPD) SIZE (GALLONS) BOX MODEL NUMBER TYPE OF SYSTEM PERCOLATION RATE (MIN.) ABSORPTION TRENCH (L.F.) OF ABSORPTION TRENCH (L.F.) 440 I,250 DB-I2 A.T. 30 - 45 440 440 440 I,250 DB-I2 A.T. 30 - 45 440 440 440 I,250 DB-I2 A.T. 21 - 30 367 336 440 I,250 DB-I2 A.T. 21 - 30 367 330 440 I,250 DB-I2 A.T. 11 - 15 275 275

<u>NOTES:</u> 1.) A.T. = ABSORPTION TRENCH TYPE SYSTEM

2.) THE DESIGN FLOW RATE OF 440 GALLONS PER DAY (GPD) IS BASED UPON 110 GPD PER BEDROOM * 4 BEDROOM.

3.) THE DISTRIBUTION BOX SHALL BE SIZED TO ACCOMMODATE BOTH THE PRIMARY SEWER LATERALS AND THE 50% EXPANSION AREA.

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP				
BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A				
VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW		-		
YORK STATE EDUCATION LAW."	 			
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY				
MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL				
SHALL BE CONSIDERED VALID, TRUE COPIES."				
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY				
WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF		-		
PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK				
STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.				
SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED				
INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY	+			···
WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO				
ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS		-	-	-
AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."	NO.	DATE	REVISION	ВУ

MINIMUM SEPARATION DISTANCES FROM EXISTING OR PROPOSED FEATURES

SYSTEM COMPONENTS	WELL OR SUCTION LINE (E,G)	STREAM, LAKE, OR WATERCOURSE (B)	DWELLING	PROPERTY LINE	DRAINAGE DITCH (H)
HOUSE SEWER (WATERTIGHT JOINTS)	50' (E)	25'	3′	10'	10'
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD (C) (D)	<i>100'</i> (A)	100'	20'	10'	50'
SEEPAGE PIT	150' (A)	100'	20'	10'	50'
DRY WELL (ROOF & FOOTING)	50'	25'	20'	10'	IO'
RAISED OR MOUND SYSTEM (C) (D)	100' (A)	100'	20'	10'	50'
INTERMITTENT SAND FILTER (D)	100' (A)(F)	100' (F)	20'	10'	20'
NON-WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50'	50	20'	10'	10'
NON-WATERBORNE SYSTEMS WITH ONSITE RESIDUAL DISPOSAL	100'	50	20'	10'	20'

(A) WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN COARSE GRAVEL OR UPGRADE AND IN THE GENERAL PATH OF DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL.

(B) MEAN HIGH WATER MARK.

(C) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE FILL.

(D) SEPARATION DISTANCES HALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USABLE AREA (i.e. RESERVE AREA), WHEN AVAILABLE.

(E) THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE.

(F) WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.

(G) THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LEAST 50-FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.

(H) USE SITE EVALUATION TO AVOID ONSITE WASTEWATER TREATMENT SYSTEM SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWTS FUNCTIONALITY.

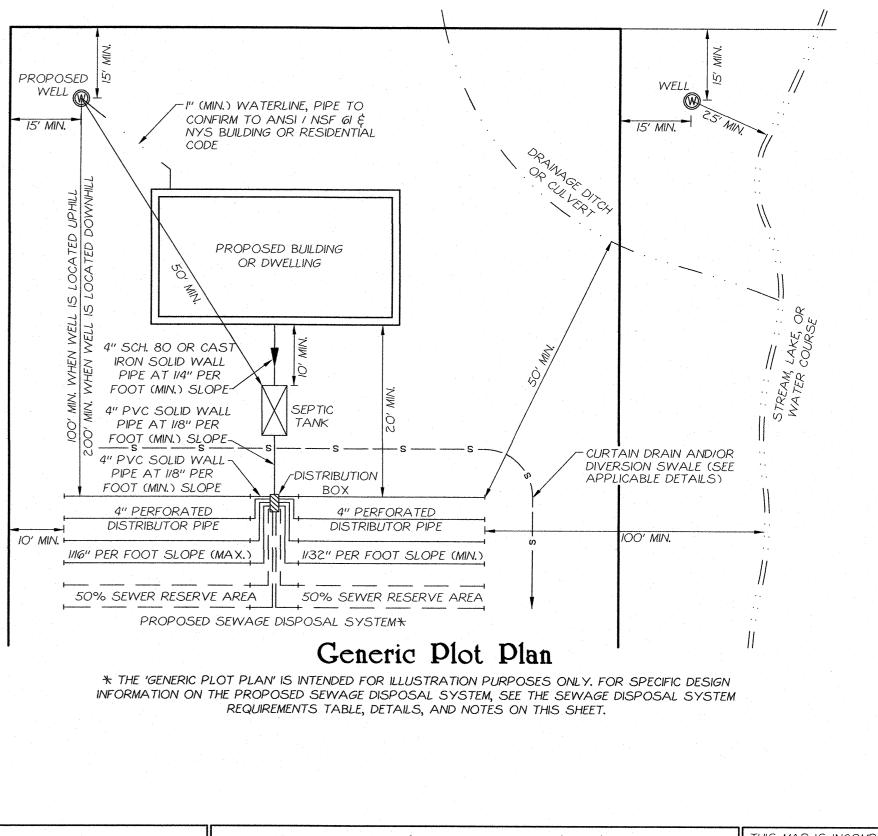
SYSTEM COMPONENT CEMETERY PROPERTY LINE SUBDIVISION BOUNDARY ABSORPTION FIELD 100' 50' (1) ALL DRAINAGE PIPES WITHIN 25 FEET OF ANY WELL SHALL BE WATERTIGHT

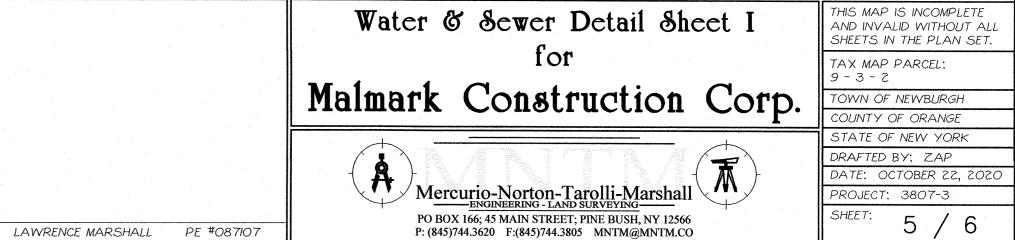
the second s						
SYSTEM COMPONENT	HIGH WATER LINE OF A WET POND	INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN	CULVERT OR STORM SEWER (GASKETED, TIGHT PIPE)	CURTAIN DRAIN	TOP OF EMBANKMENT OR STEEP (I ON 3) SLOPE	SOLID CURTAIN DRAIN, ROOF OR FOOTING PIPES, SNOW STORAGE EASEMENT
ABSORPTION FIELD	100'	50'	35'	15'	25'	10'

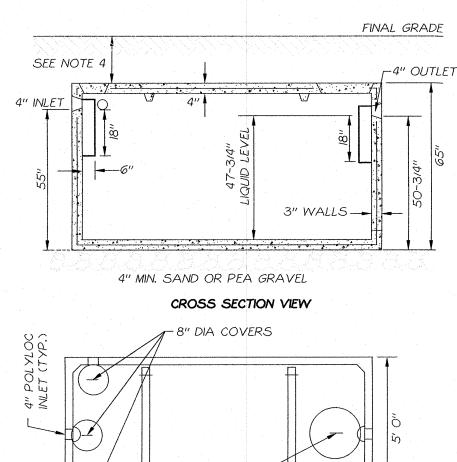
Minimum Separation Distances From Existing Or Proposed Features

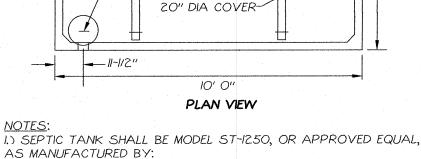
- FOR ORANGE COUNTY -

AS PER NEW YORK STATE DEPARTMENT OF HEALTH "RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS DESIGN HANDBOOK", ZOIZ EDITION & ORANGE COUNTY POLICY & STANDARDS LAST REVISED SEPTEMBER 2014









AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC 629 LYBOLT ROAD BULL VILLE, NY 10915

2.) ALL PIPE JOINTS (INLET & OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.

3.) INLET BAFFLE CAN BE RELOCATED TO THE SIDE.

(845) 361-3471

4.) IF COVER EXCEEDS IZ" A RISER MUST BE USED TO ALLOW ACCESS. CONCRETE MINIMUM STRENGTH: 4,000 P.S.I. AT 28 DAYS STEEL REINFORCEMENT: 6" X 6" XIO GA. STEEL WIRE MESH #4 REBAR AROUND PERIMETER

CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER CEMENT WEIGHT: 9,500 LBS LOAD RATING: 300 PSF

Typical Precast 1,250-Gallon Concrete Septic Tank

NOT TO SCALE

LIMITS OF TRENCH -EXCAVATION APPROVED BACKFILL OR NYSDOT ITEM 4 -NYSDOT ITEM 4 -CRUSHED STONE OR CRUSHED GRAVEL PIPE BEDDING TO SPRINGLINE 6" LAYER OF CRUSHED STONE OR CRUSHED GRAVEL PIPE BED NOTES: I) NYSDOT ITEM 4 BACKFILL SHALL BE INSTALLED IN 6" LIFTS. THE PERMANENT SEEDING SPECIFICATIONS.

GRASS -

LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND HIZ" ASPHALT TOP COURSE.

4" PVC -----SDR-35 PIPE

ARFAS

General Notes:

I.) PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.

5.) ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH.

2.) ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.

3.) SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.

4.) NO DRIVEWAY, ROADWAY, PARKING AREAS, STRUCTURES OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.

6.) ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER. 7.) MAXIMUM GROUND SLOPE OF TILE FIELD AREA SHALL NOT EXCEED 15%.

8.) NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.

9.) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.

IO.) NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.

II.) FLOW EQUALIZERS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS

12.) SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.

13.) THE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE. THE PIPE SHALL BE SCH 80 PVC OR CAST IRON.

14.) THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL, SEPTIC TANK, AND LEACH FIELD) SHALL NOT BE CHANGED. ANY RELOCATION OF THE SEPTIC SYSTEMS OR WELLS SHOWN, TO AREAS OTHER THAN AS SHOWN ON THE APPROVED PLANS, MUST BE APPROVED BY THE DESIGN ENGINEER AND ORANGE COUNTY DEPARTMENT OF HEALTH (OCDOH).

IS.) ALL WELLS AND SEPTIC SYSTEMS WITHIN 300 FEET THAT IMPACT SEPARATION DISTANCES FOR THE PROPOSED WELLS AND SEPTIC SYSTEMS ARE SHOWN ON THE PLANS.

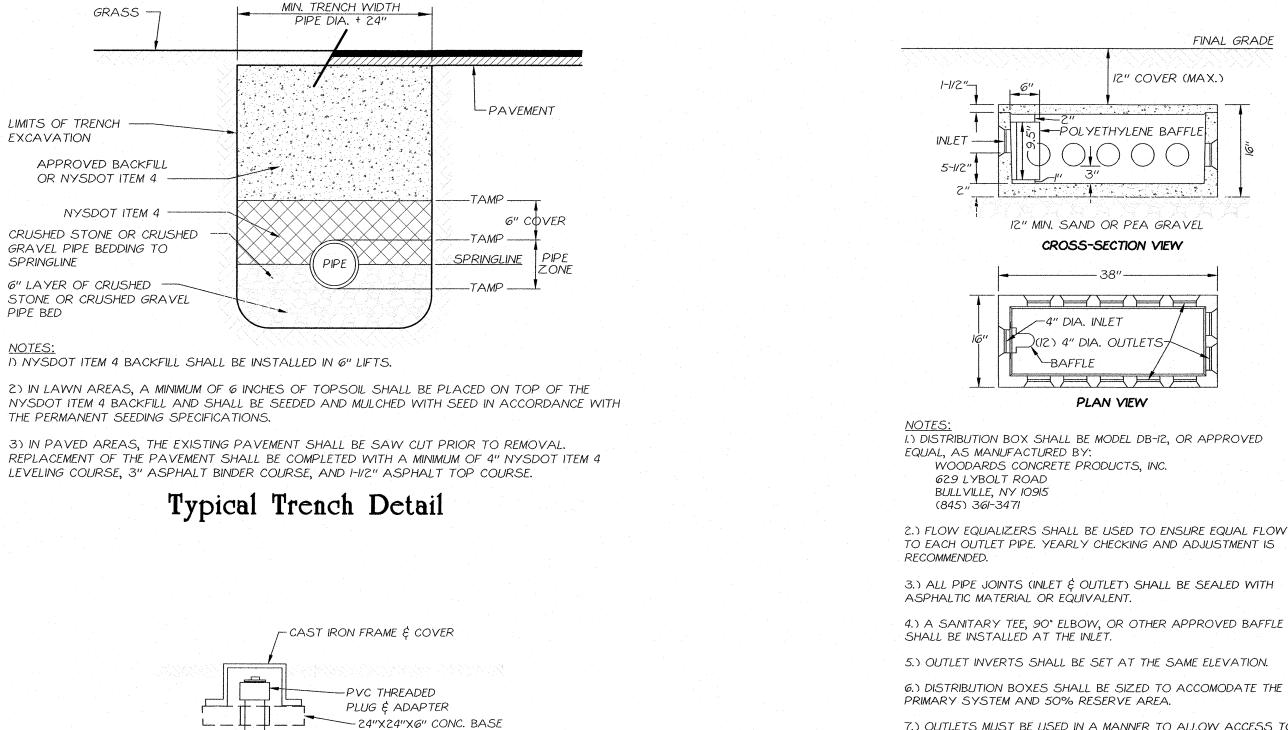
IG.) THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS. 17.) HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN LOAD WAS BASED.

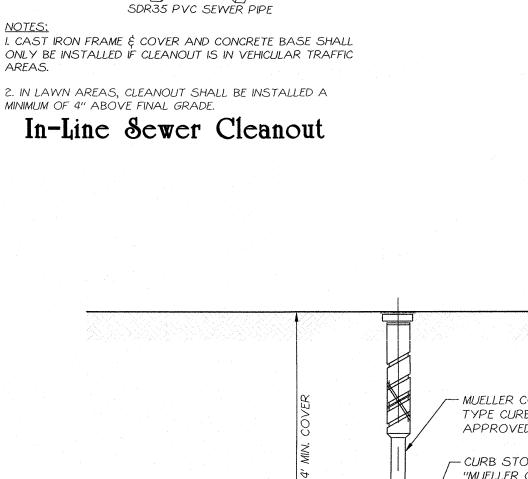
IS,) THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REVIEWED AND APPROVED BY OCDOH. THE PROPOSED SEWAGE DISPOSAL SYSTEMS HAVE BEEN DESIGNED TO ACCOMMODATE A MAXIMUM OF 80 GALLONS PER DAY (GPD) FOR WATER TREATMENT SYSTEM BACKWASH, IF APPLICABLE.

19.) THE OWNER/APPLICANT OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. INCLUDING A COPY OF THE NYSDEC WELL COMPLETION REPORT.

20.) SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.

21.) DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY. 22.) A NEW YORK STATE LICENSED ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION . THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICE THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN TESTED FOR WATER TIGHTNESS.





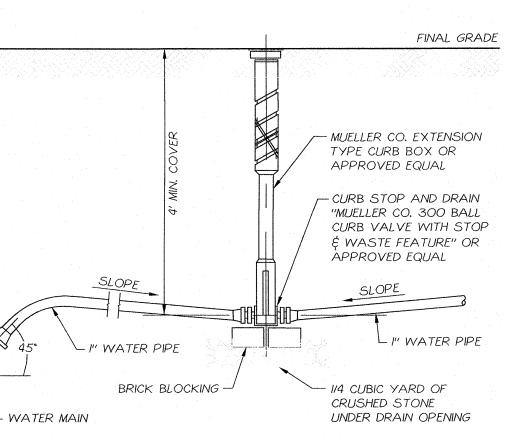
IN TRAFFIC AREAS (PIPE

SHALL BE CLEAR OF

CONC. BY MIN, OF I'')

STANDARD WYE

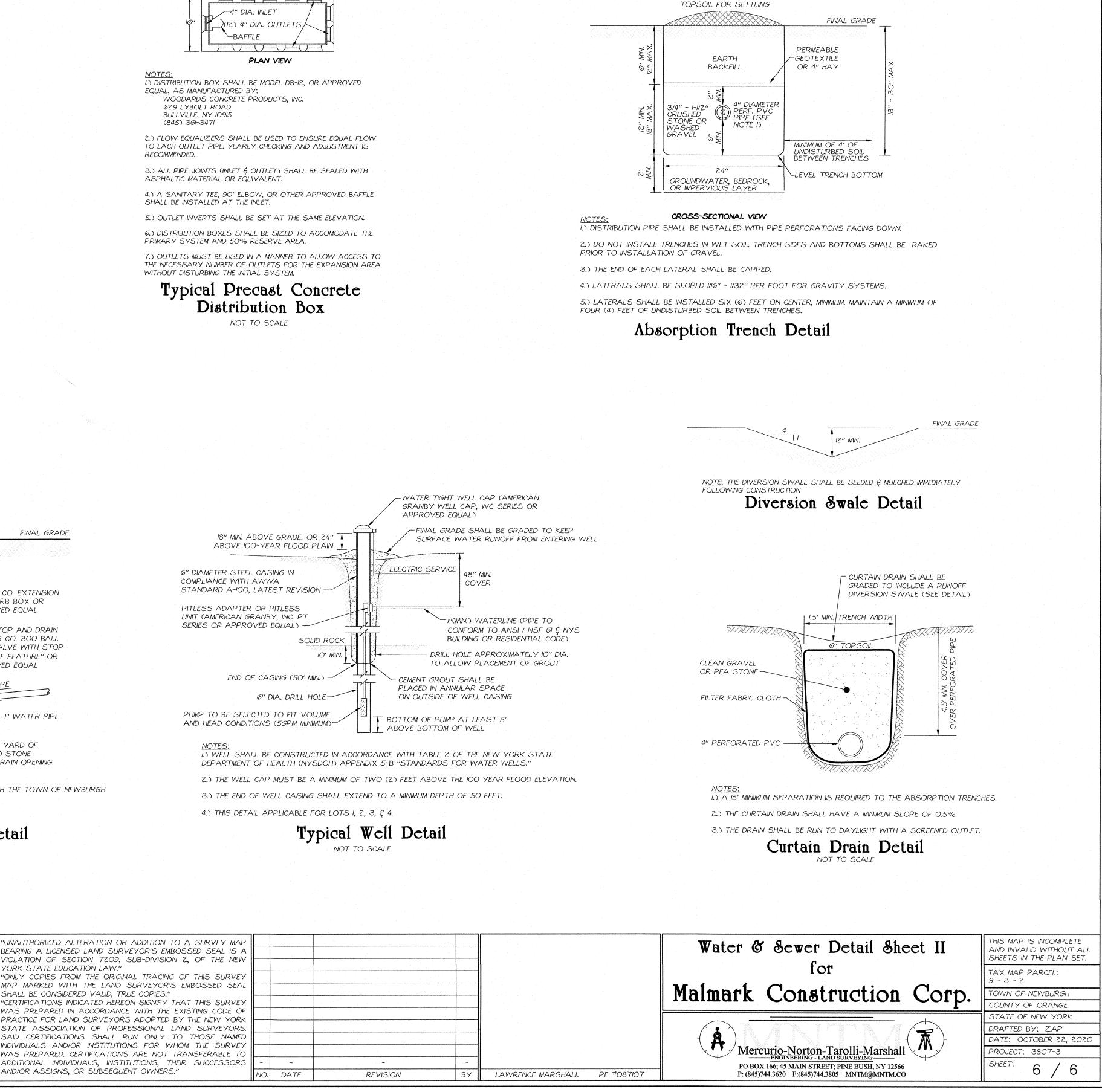
45° ELBOW



I.) WATER SERVICE CONNECTION SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS.

Typical Water Service Detail NOT TO SCALE

2.) THIS DETAIL APPLICABLE FOR LOT 5 ONLY.



1AP	ATION OR ADDITION TO A SURVEY MAP
11	AND SURVEYOR'S EMBOSSED SEAL IS A
EW	N 7209, SUB-DIVISION 2, OF THE NEW
IEY	THE ORIGINAL TRACING OF THIS SURVEY
EAL	HE LAND SURVEYOR'S EMBOSSED SEAL
/FY	VALID, TRUE COPIES." .TED HEREON SIGNIFY THAT THIS SURVEY
OF	CORDANCE WITH THE EXISTING CODE OF
	URVEYORS ADOPTED BY THE NEW YORK
· · · · · · · · · · · · · · · · · · ·	OF PROFESSIONAL LAND SURVEYORS.
	INSTITUTIONS FOR WHOM THE SURVEY

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INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO

FINAL GRADE TOPSOIL EARTH BACKFILL 4" PERFORATED DISTRIBUTOR PIPE (PVC) (FLOW) 4 FLATUNATED DUTING TO THE CONTINUE TO TRENCH BOTTOM SHALL BE LEVEL & PARALLEL WITH CONTOURS CRUSHED STONE OR WASHED GRAVEL (SEE CROSS-SECTION VIEW) TRENCH PROFILE

GEOTECHNICAL FABRIC (SEE CROSS-SECTION VIEW)-