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e-mail: mheny@mhepc.com

Principal Emeritus:

RICHARD D. McGOEY, P.E. (NY & PA)

TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT: MALMARK

PROJECT NO.: 20-15

PROJECT LOCATION: SECTION 9, BLOCK 3, LOT 2

REVIEW DATE: 28 MAY 2021 MEETING DATE: 3 JUNE 2021

PROJECT REPRESENTATIVE: MECURIO-NORTON- TAROLLI-MARSHALL

- 1. Comments outstanding from the 6 May 2021 Planning Board meeting should be addressed.
- 2. The project is a major subdivision and requires Orange County Health Department approval for wells and septics. County Health Department will not review projects until preliminary approval is granted.
- **3.** In response to written comments received from a neighbor the Applicants representative is requested to evaluate the installation of a swale along the northern portion of the driveway on Lot #4 conveying any surface water to the existing water course on Lot #4.
- **4.** Common driveway Access and Maintenance Agreements will be required for Lots 1 & 2, 3 & 4 which are proposed to share driveways.
- **5.** Copy of Highway Superintendents letter regarding approval of the driveway location should be received.
- **6.** Several written comments have been received requesting screening of the residential subdivision. Planning Board typically does not require screening of residential projects from residential projects. Input from the Applicant regarding their responses to the neighbors request should be received.

Respectfully submitted,

McGoey, Hauser and Edsall Consulting Engineers, D.P.C.

Patrick J. Hines

Principal PJH/kbw



45 Main Street · P.O. Box 166 Pine Bush, New York 12566

> Tel: (845) 744-3620 Fax: (845) 744-3805 Email: mntm@mntm.co

Lawrence J. Marshall, P.E.

RECENED.

Zachary A. Peters, P.E.

April 22, 2021

APR 2 2 2021

Planning Board
Town of Newburgh

MCGOEY, HAUSER, AND EDSALL CONSULTING ENGINEERS D.P.C.

21 Hudson Valley Professional Plaza

Newburgh, New York 12550

Also via email: planningboard@townofnewburgh.org

Re: Job No. 3807-3

Tax Map Parcel: 9-3-2 Town of Newburgh Orange County Lattintown Road

5-lot Residential Subdivision

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Fourteen (14) copies of the revised Subdivision Plan

The following comments are in response to a review by Patrick Hines of McGoey, Hauser, & Edsall Consulting Engineers, P.C. dated January 29, 2021:

- 1. We are in receipt of the signoff letter from the Highway Superintendent, dated April 19, 2021.
- 2. The applicant is in discussion with the adjoining owner to grant an easement for the existing encroachments. The limits of the easement will be indicated on the subdivision plan as soon as they have been finalized.
- 3. Metes & bounds will be included on the proposed property lines for future submissions.
- 4. No response required.
- 5. Reference to the proposed access easements for the common driveways is included in notes 8 and 9 on sheet 1. The easements will include provisions for installation and maintenance of the proposed driveways and utilities serving the individual lots.
- 6. See response 5, above.
- 7. A Notice of Intent (NOI) will be prepared and submitted to NYSDEC for coverage under the SPDES Stormwater general permit.
- 8. The proposed plan will be submitted to the Orange County Department of Health (OCDOH) for the necessary review.
- 9. No response required.
- 10. Note 1 has been added under the Zoning Legend on sheet 1 specifying lot specific bulk zoning information is provided on sheet 3. Note 10 has also been added on sheet 1 to this effect.



Zoning Legend: AR

	REQUIRED (I)
MINIMUM LOT AREA (2)	40,000 S.F.
MINIMUM LOT WIDTH (3)	150'
MINIMUM LOT DEPTH	<i>150'</i>
MINIMUM FRONT YARD	50′
MINIMUM REAR YARD	50'
MINIMUM SIDE YARD (ONE)	30′
MINIMUM SIDE YARD (BOTH)	80′
MINIMUM HABITABLE FLOOR AREA	900 S.F.
MAXIMUM BUILDING COVERAGE	10%
MAXIMUM BUILDING HEIGHT	35′
MAXIMUM LOT COVERAGE	20%

(1) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.

(2) MINIMUM LOT AREA, IN SQUARE FEET, EXCLUDES THE AREA OF THE PROPOSED PRIVATE ROAD EASEMENT.

(3) AS PER TOWN CODE, LOT WIDTH IS MEASURED AT THE FRONT SETBACK REQUIREMENT OR AT THE BUILDING LINE.

Zoning Legend: R-3

- WITH PUBLIC WATER ONLY -	REQUIRED (I)
MINIMUM LOT AREA	15,000 S.F.
MINIMUM LOT WIDTH	100'
MINIMUM LOT DEPTH	12.5'
MINIMUM FRONT YARD	40'
MINIMUM REAR YARD	40'
MINIMUM SIDE YARD (ONE)	15'
MINIMUM SIDE YARD (BOTH)	30'
MINIMUM HABITABLE FLOOR AREA	900 S.F.
MAXIMUM BUILDING COVERAGE	15%
MAXIMUM BUILDING HEIGHT	35′
MAXIMUM LOT COVERAGE	30%

(1) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.

Legend

дС8	Circ
•	PROPERTY LINE & CORNER
	SET 5/8" IRON ROD AT PROPERTY CORNER
	ADJOINER PROPERTY LINE
L. XXXX, P. XXX	DEED LIBER, PAGE
××-×-××	TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
UL UL	EXISTING UTILITY POLE & LINE
××"	EXISTING CULVERT & SIZE
	STONE WALL
	APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE
	WATERCOURSE
	SIGN LOCATION
***	FIRE HYDRANT
w ⊠	WATER VALVE
M	MAILBOX
	WELL LOCATION
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	EXISTNG TREE LINE
₩ **	EXISTING TREE & SHRUBS
	ZONING MINIMUM SETBACK LINE
xxx	EXISTING CONTOUR LINE
	PROPOSED BUILDING

### Notes:

I.) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON DECEMBER

2.) THE TOPOGRAPHY SHOWN IS BASED ON AERIAL IMAGERY PROVIDED BY GOLDEN AERIAL SURVEYS, INC. DATED APRIL 2020.

3.) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.

4.) SUBJECT TO UTILITY GRANTS OF RECORD.

5.) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF LATTINTOWN ROAD FOR USE AS A PUBLIC HIGHWAY.

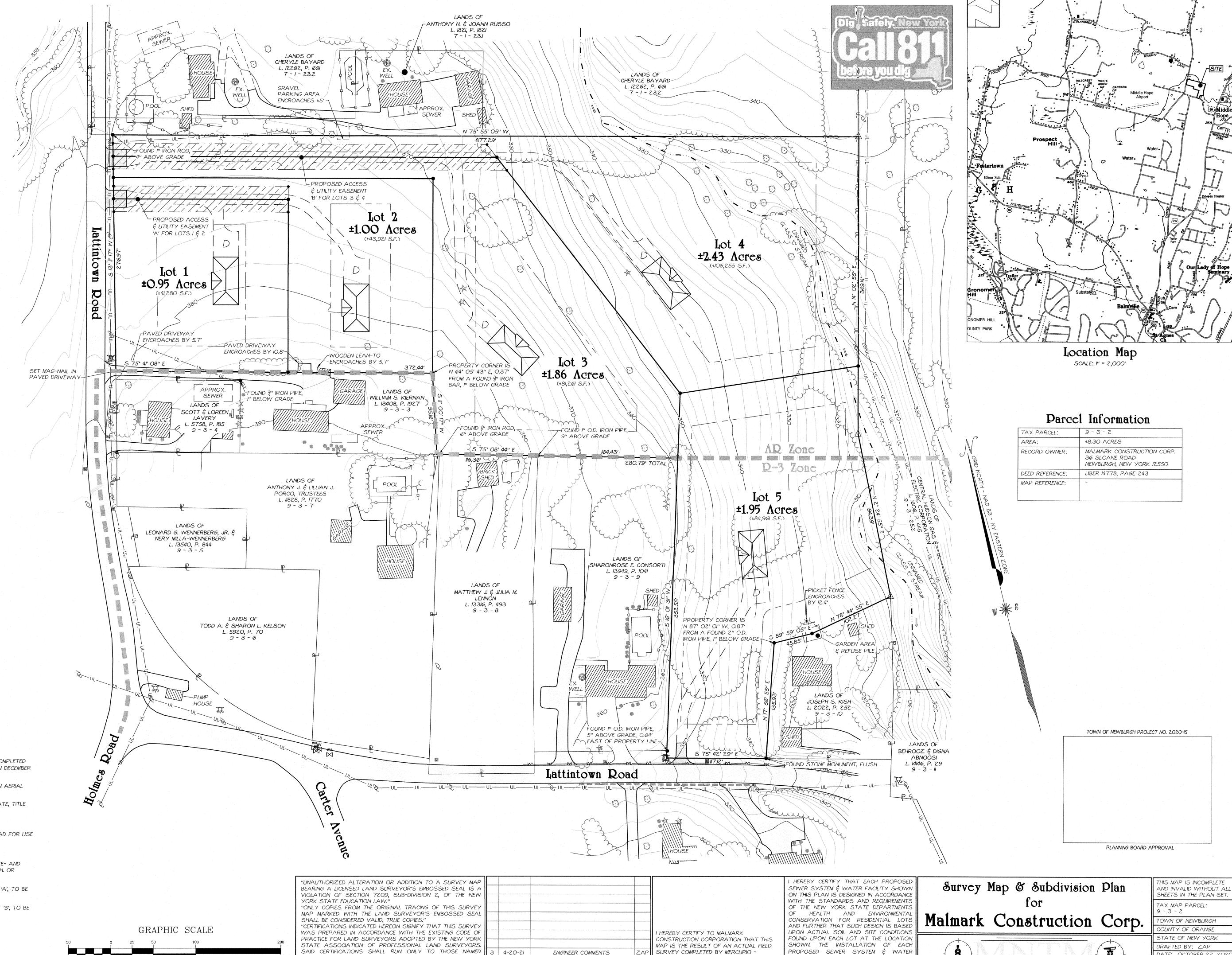
6.) VERTICAL DATUM IS NAVD88.

7.) TO AVOID ADVERSE IMPACTS TO THE INDIANA BAT (MYOTIS SODALIS), A STATE- AND FEDERALLY-LISTED ENDANGERED SPECIES, CLEARING OF TREES FOUR (4) INCHES D.B.H. OR GREATER SHALL ONLY OCCUR BETWEEN NOVEMBER I AND MARCH 31.

8.) LOTS I & 2 SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'A', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.

9.) LOTS 3 & 4 SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'B', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.

10.) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.



HIGHWAY COMMENTS

DETAILED SUBDIVISION PLAN

REVISION

1-15-21

VO. DATE

INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY

ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS

WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO

AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

1 inch = 50 ft.

NORTON - TAROLLI - MARSHALL ENGINEERING

JOHN TAROLLI LS #049201

LAND SURVEYING, P.C. COMPLETED ON

DECEMBER 16, 2020.

FACILITY SHALL BE IN ACCORDANCE WITH

THE DESIGN SHOWN & AT THE LOCATION

LAWRENCE MARSHALL PE #087107

SHOWN.

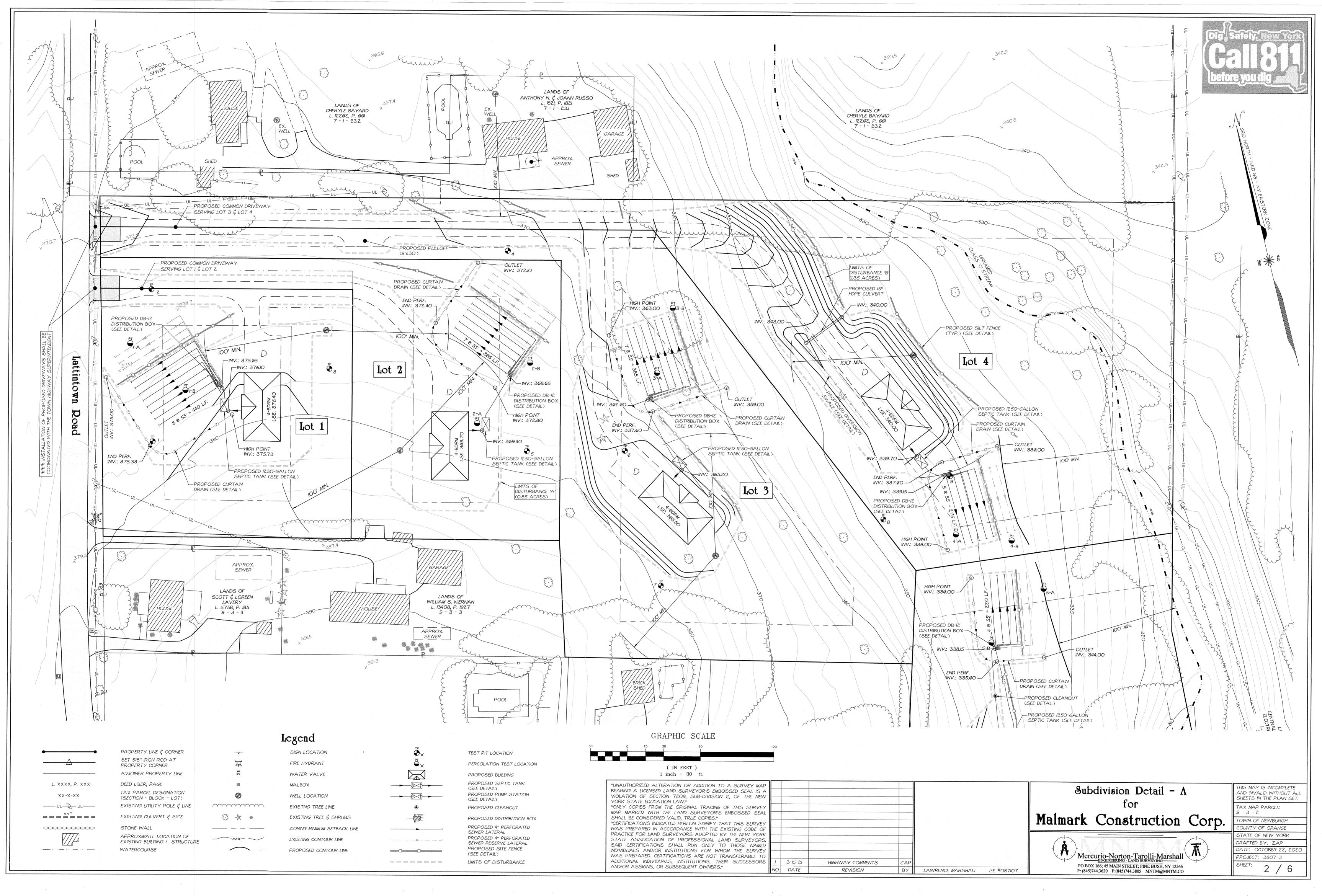
DATE: OCTOBER 22, 200

PROJECT: 3807-3

Mercurio-Norton-Tarolli-Marshall

PO BOX 166; 45 MAIN STREET; PINE BUSH, NY 12566

P: (845)744.3620 F:(845)744.3805 MNTM@MNTM.CO



Zoning Legend: AR

	REQUIRED	<u>LOT I</u>	LOT Z	LOT 3	LOT 4
MINIMUM LOT AREA (1)	40,000 S.F.	±41,280 S.F.	±43,921 S.F.	±81,261 S.F.	±106,255 S.F.
MINIMUM LOT WIDTH (2)	150'				
MINIMUM LOT DEPTH	150'		-		_
MINIMUM FRONT YARD	50'				_
MINIMUM REAR YARD	50'		-		
MINIMUM SIDE YARD (ONE)	30′				
MINIMUM SIDE YARD (BOTH)	80'				
MINIMUM HABITABLE FLOOR AREA	900 S.F.	>900 S.F.	>900 S.F.	>900 S.F.	>900 S.F.
MAXIMUM BUILDING COVERAGE	10%	10%	10%	10%	10%
MAXIMUM BUILDING HEIGHT	35′	35′	35′	35′	35′
MAXIMUM LOT COVERAGE	20%	20%	20%	20%	20%

⁽I) MINIMUM LOT AREA, IN SQUARE FEET, EXCLUDES THE AREA OF THE PROPOSED PRIVATE ROAD EASEMENT.

#### Zoning Legend: Q-3

OT 5 61 S.F.
61 S.F.
0 S.F.
<15%
<35'
30%
-

#### Notes:

I.) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON DECEMBER

2.) THE TOPOGRAPHY SHOWN IS BASED ON AERIAL IMAGERY PROVIDED BY GOLDEN AERIAL SURVEYS, INC. DATED APRIL 2020.

3.) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE

4.) SUBJECT TO UTILITY GRANTS OF RECORD.

5.) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF LATTINTOWN ROAD FOR USE AS A PUBLIC HIGHWAY.

6.) VERTICAL DATUM IS NAVD88.

7.) TO AVOID ADVERSE IMPACTS TO THE INDIANA BAT (MYOTIS SODALIS), A STATE- AND FEDERALLY-LISTED ENDANGERED SPECIES, CLEARING OF TREES FOUR (4) INCHES D.B.H. OR GREATER SHALL ONLY OCCUR BETWEEN NOVEMBER I AND MARCH 31.

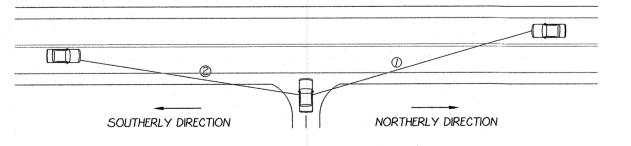
8.) LOTS I & Z SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'A', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.

9.) LOTS 3 & 4 SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'B', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.

# Sight Distance Tables

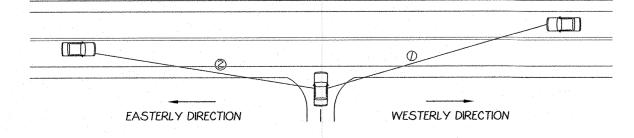
LATTINTOW	V ROAD SPEED	LIMIT ALONG SITE	E FRONTAGE: 40	) MPH
MEASURED B	BY R. SMITHEM	ON OCTOBER 23,	2020	
LOCATION	SIGHT LINE	DISTANCE	REQUIRED (1)	NOTES
PROPOSED	1	> 1,000'	445′	LIMITED BY HORIZONTAL CURVATURE
LOT I & Z DRIVEWAY	2	±390′	385′	LIMITED BY VERTICAL CURVATURE
PROPOSED		> 1,000'	445′	LIMITED BY HORIZONTAL CURVATURE
LOT 3 É 4	2	±440'	385′	LIMITED BY VERTICAL CURVATURE

(I) REQUIRED SITE DISTANCE BASED UPON AASHTO STANDARDS FOR THE POSTED SPEED LIMIT

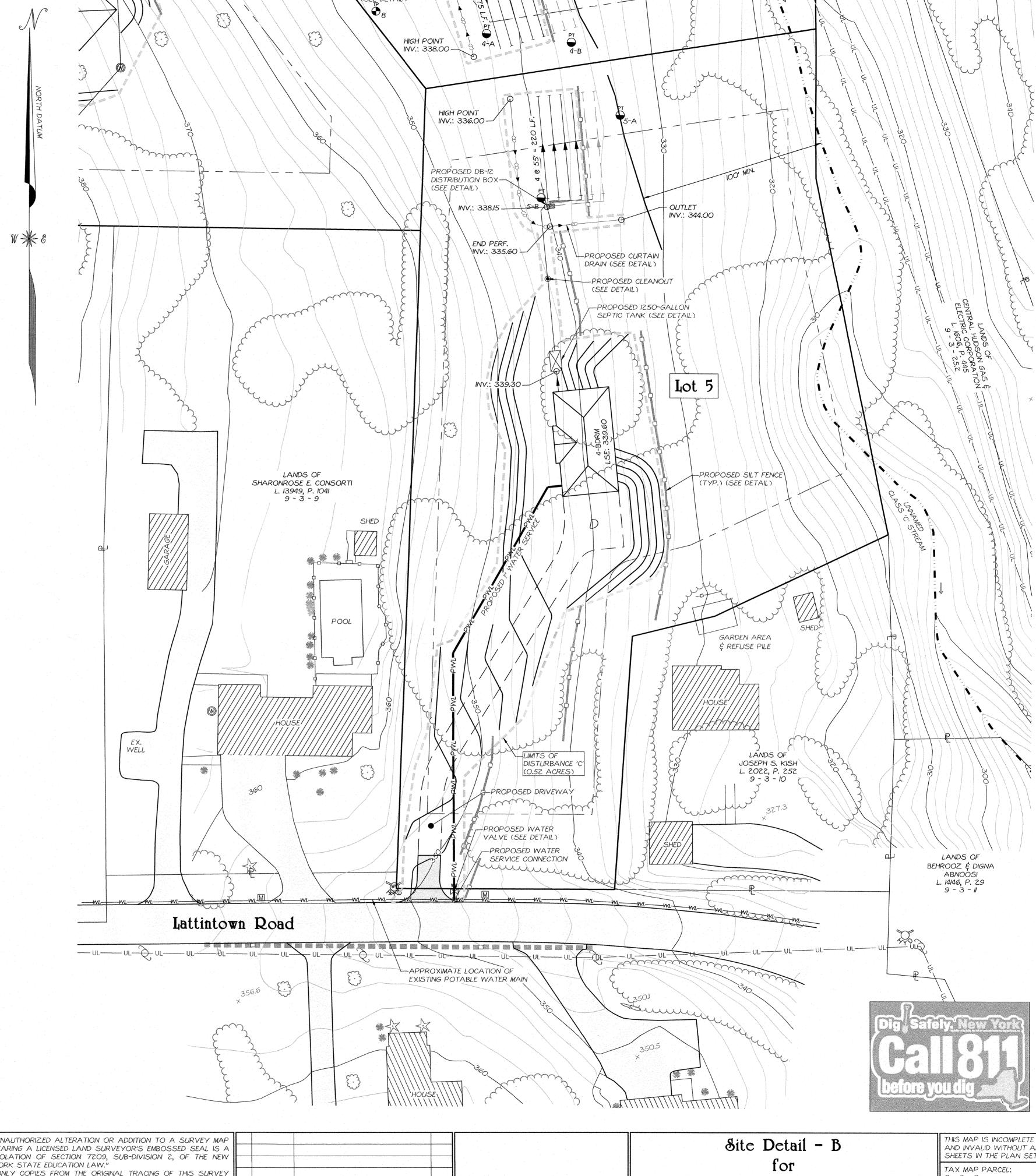


LATTINTOWN	N ROAD SPEED	LIMIT ALONG SITE	E FRONTAGE:	30 /	MPH
MEASURED B	Y R. SMITHEM	ON OCTOBER 23,	2020		
LOCATION	SIGHT LINE	DISTANCE	REQUIRED	(1)	NOTES
LOT 5	1-	±455′	335′		LIMITED BY VERTICAL CURVATURE
PROPOSED DRIVE	2	±305'	290′		LIMITED BY VERTICAL CURVATURE

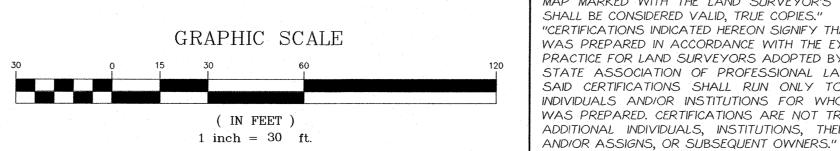
(I) REQUIRED SITE DISTANCE BASED UPON AASHTO STANDARDS FOR THE POSTED SPEED LIMIT



Lege	end
	PROPERTY LINE & CORNER
	SET 5/8" IRON ROD AT PROPERTY CORNER
	ADJOINER PROPERTY LINE
L. XXXX, P. XXX	DEED LIBER, PAGE
XX-X-XX	TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
	EXISTING UTILITY POLE & LINE
×ד	EXISTING CULVERT & SIZE
·	STONE WALL
	APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTUR
	WATERCOURSE
	SIGN LOCATION
***	FIRE HYDRANT
<b>w</b> ∕	WATER VALVE
M	MAILBOX
	WELL LOCATION
· · · · · · · · · · · · · · · · · · ·	EXISTNG TREE LINE
0 4 .	EXISTING TREE & SHRUBS
почення почення выпочня выпочн	ZONING MINIMUM SETBACK LINE
XXX	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
$\overset{ ext{\tiny TP}}{m{f \Theta}}_{m{ imes}}$	TEST PIT LOCATION
₽T ×	PERCOLATION TEST LOCATION
	PROPOSED BUILDING
	PROPOSED SEPTIC TANK (SEE DETAIL) PROPOSED PUMP STATION (SEE DETAIL)
•	PROPOSED CLEANOUT
	PROPOSED DISTRIBUTION BOX
	PROPOSED 4" PERFORATED SEWER LATERAL PROPOSED 4" PERFORATED SEWER RESERVE LATERAL PROPOSED SITE FENCE (SEE DETAIL)
2002 15302 15002 16055 16500 16005 ASSAS ASSAS A	LIMITS OF DISTURBANCE



LAWRENCE MARSHALL PE #087107



"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW." "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES." "CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY ENGINEER COMMENTS WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS HIGHWAY COMMENTS

NO. DATE

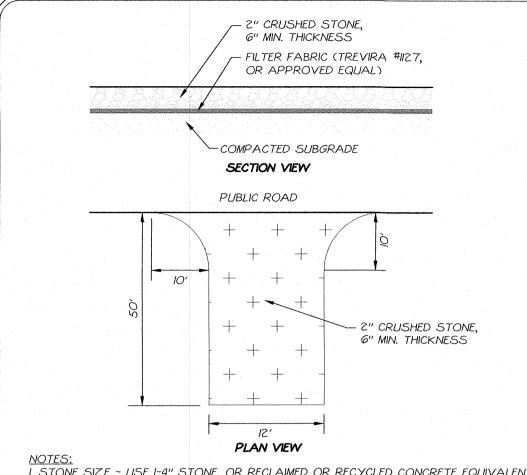
Malmark Construction Corp.



THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET. TAX MAP PARCEL: 9-3-2 TOWN OF NEWBURGH COUNTY OF ORANGE STATE OF NEW YORK DRAFTED BY: ZAP DATE: OCTOBER 22, 2 PROJECT: 3807-3 SHEET:

⁽²⁾ AS PER TOWN CODE, LOT WIDTH IS MEASURED AT THE FRONT SETBACK

REQUIREMENT OR AT THE BUILDING LINE.



I. STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).

3. THICKNESS - NOT LESS THAN SIX (6) INCHES.

4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT THE POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE

5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF

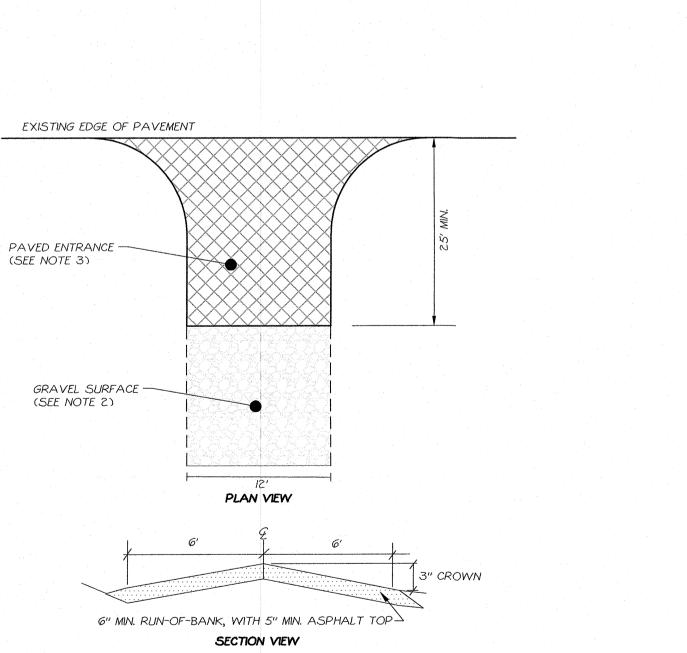
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH

#### Stabilized Construction Entrance Detail

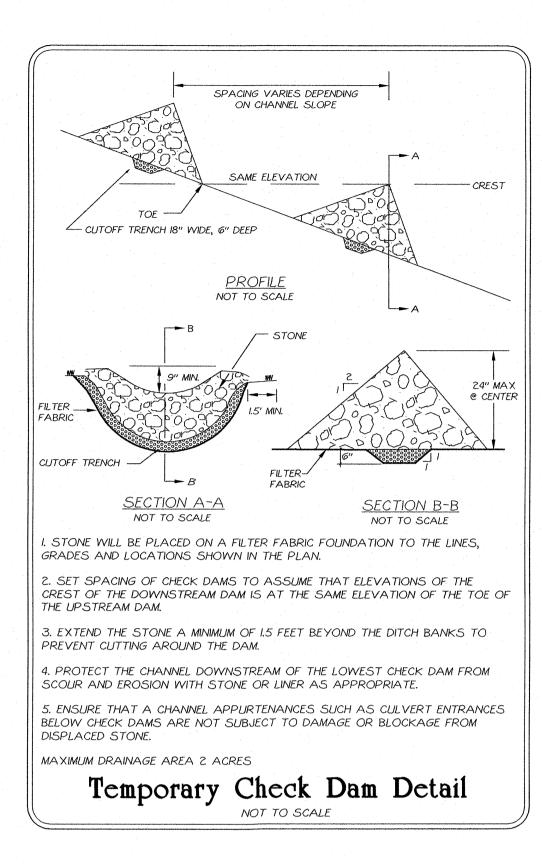
NOT TO SCALE

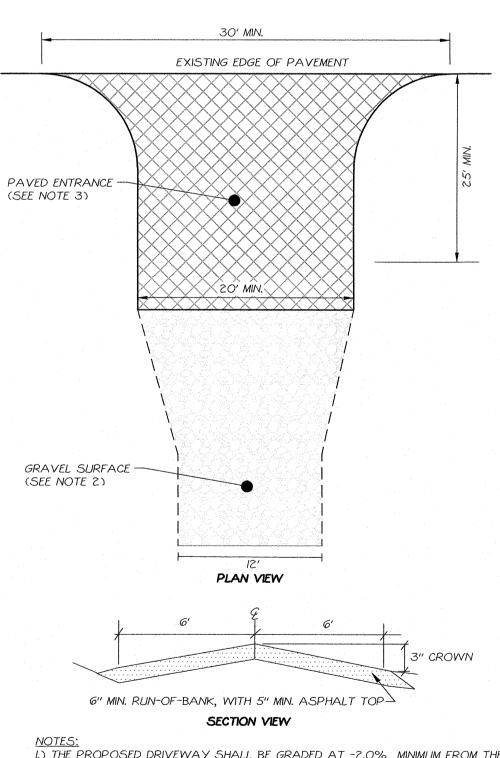


1.) THE PROPOSED DRIVEWAY SHALL BE GRADED AT -2.0% MINIMUM FROM THE EDGE OF PAVEMENT ALONG LATTINTOWN ROAD. 2.) GRAVEL DRIVEWAYS SHALL BE A MINIMUM OF 12-FEET WIDE AND CONSIST OF 8" RUN-OF-BANK GRAVEL BASE WITH 4" ITEM 4 TOP COURSE. 3.) PAVED DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" RUN-OF-BANK GRAVEL FOUNDATION, 3" BINDER COURSE, AND 2" BITUMINOUS ASPHALT TOP COURSE FOR THE FIRST 25-FEET FROM THE EDGE OF PAVEMENT. 4.) THE MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 10%.

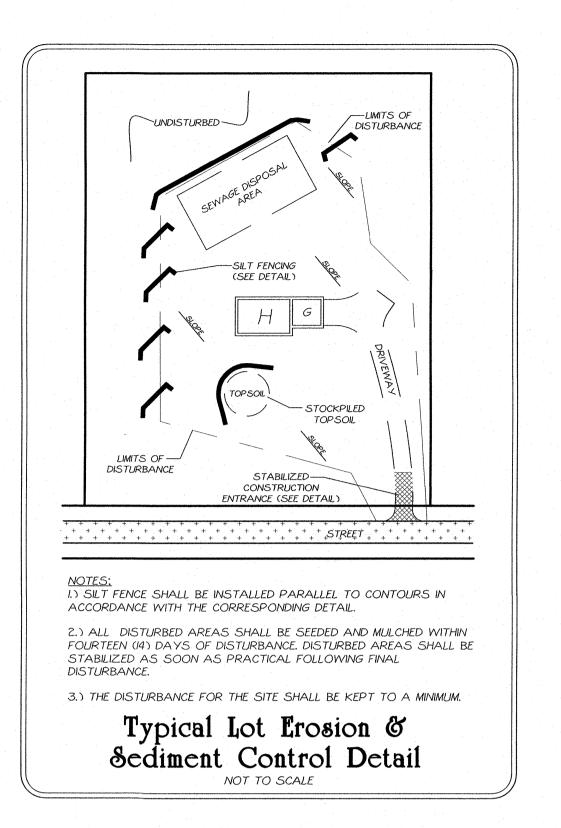
5.) A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT EACH PROPOSED DRIVEWAY ENTRANCE DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH THE ASSOCIATED DETAIL.

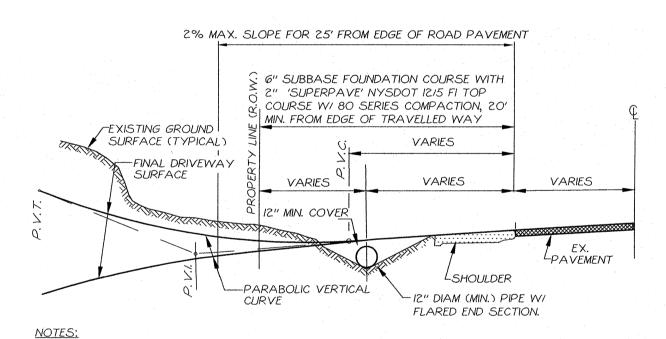
Private Driveway Detail





1.) THE PROPOSED DRIVEWAY SHALL BE GRADED AT -2.0% MINIMUM FROM THE EDGE OF PAVEMENT ALONG LATTINTOWN ROAD. 2.) GRAVEL DRIVEWAYS SHALL BE A MINIMUM OF 20-FEET WIDE AND CONSIST OF 8" RUN-OF-BANK GRAVEL BASE WITH 4" ITEM 4 TOP COURSE. THE DRIVEWAY SHALL FLARE TO A MINIMUM WIDTH OF 30-FEET AT THE EDGE OF EXISTING PAVEMENT ALONG LATTINTOWN ROAD. 3.) PAVED DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM OF 6" RUN-OF-BANK GRAVEL FOUNDATION, 3" BINDER COURSE, AND 2" BITUMINOUS ASPHALT TOP COURSE FOR THE FIRST 25-FEET FROM THE EDGE OF PAVEMENT. 4.) THE MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 10%. 5.) A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT EACH PROPOSED COMMON DRIVEWAY ENTRANCE DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH THE ASSOCIATED DETAIL. Common Driveway Detail





I.) DRIVEWAY SHALL BE GRADED TO DIVERT WATER INTO ROAD DRAINAGE, NOT ONTO MAIN ROAD. 2.) THE INSTALLATION OF ALL PROPOSED DRIVEWAY CULVERTS WILL BE PROPERLY COORDINATED TO ASSURE POSITIVE DRAINAGE IS ACHIEVED.

3.) BACKFILL MATERIAL WITHIN 8' OF THE EDGE OF PAVEMENT SHALL CONSIST OF ITEM NO. 4 (ITEM 304.IZ SUBBASE COURSE TYPE 2).

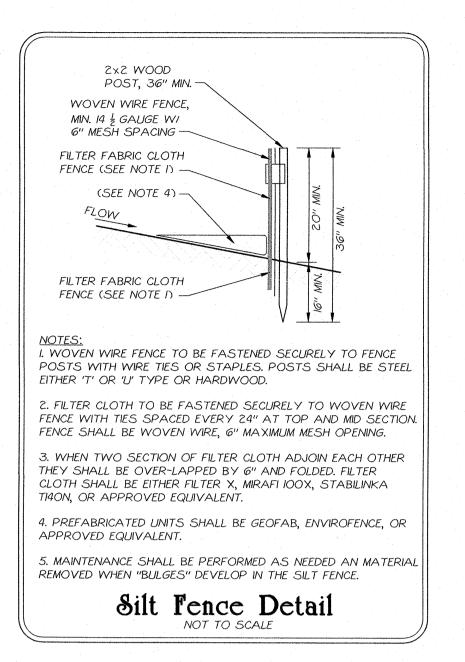
4.) EXCAVATED MATERIAL MAY BE USED AS BACKFILL MATERIAL BEYOND 8' FROM THE EDGE OF PAVEMENT.

Driveway Entrance Profile Detail

NO BOULDERS/ROCKS OVER 12" ARE ALLOWED TO BE USED AS BACKFILL.

NO. DATE

AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."



#### Erosion & Sediment Control Notes:

I.) DUST CONTROL SHALL BE PROVIDED IN TIMES OF DRY WEATHER. AREAS SHALL BE SPRAYED WITH WATER TO PREVENT DUST FROM TRANSFERRING TO ADJACENT PROPERTIES.

2.) THE PROPOSED AREA OF DISTURBANCE IS APPROXIMATELY 2.2 ACRES. 3.) IDLE DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE

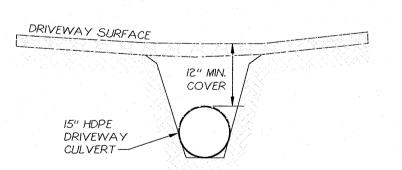
TEMPORARY STABILIZATION REQUIREMENTS IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JULY 2016 EDITION. TEMPORARY STABILIZATION SPECIFICATIONS INCLUDE: - ANNUAL OR PERENNIAL RYEGRASS SEEDING WITH STRAW MULCHING

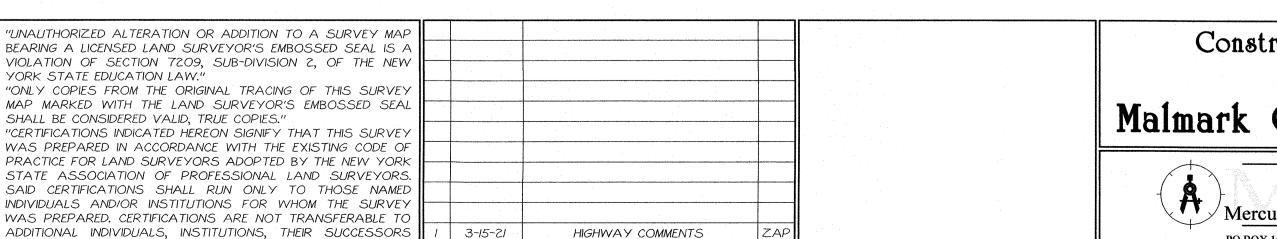
AT A RATE OF 30 LBS PER ACRE. - COARSE WOOD CHIPS AT A RATE OF 500 LBS PER ACRE. - WOOD FIBER HYDROMULCH, AS PER MANUFACTURERS SPECIFICATIONS.

4.) ALL DISTURBED AREAS NOT ENCUMBERED BY LANDSCAPING MULCH, PAVEMENT, CONCRETE, OR OTHER IMPERVIOUS COVER BE STABILIZED WITH BLUE GRASS BLEND, WITH THE FOLLOWING SPECIFICATIONS:

- 25% FESTUCA RUBRA COMMUTATA (CHEWINGS FESCUE) LOLIUM PERENNE (PERENNIAL RYEGRASS) 60% POA PRATENSIS (KENTUCKY BLUEGRASS)

5.) SEEDING SHALL BE PERFORMED AT A RATE OF FIVE (5) LBS. PER ACRE.





LAWRENCE MARSHALL PE #087107

Construction Detail Sheet Malmark Construction Corp.



SHEETS IN THE PLAN SET. TAX MAP PARCEL: 9-3-2 TOWN OF NEWBURGH COUNTY OF ORANGE STATE OF NEW YORK DRAFTED BY: ZAP DATE: OCTOBER 22, 2020

THIS MAP IS INCOMPLETE

AND INVALID WITHOUT ALL

PROJECT: 3807-3

#### Deep Soils Testing Results

TEST HOLE #	<u> </u>	2	3	4	5	6	7	8	9	
TESTING DATE:	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	2-18-20	
TESTER:	RTS	RTS	RTS	RTS	RTS	RTS	RTS	RTS	RTS	
DEEP TEST <u>SOIL LOG</u> *NO WATER OR ROCK UNLESS SO NOTED	O' SILTY TOPSOIL I' 15" 15" 16" 16" 15" 16" 16" 16" 16" 16" 16" 16" 16" 16" 16	O' SILTY TOPSOIL I' (FIELD) I' HEAVY SILT LOAM \$ STONES - 42" -  4' SILT LOAM \$ RIPPABLE 5' SHALE 6' 72" -  8' 8	O' SILTY TOPSOIL  (FIELD)  I' - IZ" -  HEAVY SILT  LOAM  3' - 36" -  4' - SILT LOAM & RIPPABLE 5' - SHALE  6' - 72" -  8' -	3' — 36" — 36" — 4' — SILT LOAM \$ 100	O'SILTY TOPSOIL	TOPSOIL  I' IZ" IZ" IZ" IZ" - IZ	SILT LOAM	O' TOPSOIL I' - IZ" - CLAY LOAM  CLAY LOAM  GRAVELLY  GRAVELLY  CLAY LOAM W. SHALE FRAGMENTS  G' - 72" - 72" - 72" - 72" - 72"	O' TOPSOIL - 6" 6" 18" 18" 3' SILT LOAM - \$ RIPPABLE - 5' 69" 6" 7' 8' -	
NOTES:										

# Percolation Testing Results

EST HOLE #	<i>I</i> -A	/-B	2-A	2-B	3-A	3-B	4-A	4-B	5-A	5-B
ESTING DATE:	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20	11-10-20
EPTH / TESTER:	24" - WJ	24" - WJ	24" - WJ	24" - WJ	24" - WJ	24" - WJ	24" - WJ	24" - WJ	24" - WJ	24" - WJ
RUN I ELAPSED TIME:	12:49	25:05	15:51	6:39	0:39	16:14	0:56	7:16	4:41	2:3/
RUN 2 ELAPSED TIME: RUN 3	14:31	28:40	18:08	8:36	0:59	18;10	1:20	8:46	5:05	3:30
✓ Z   FLAPSED TIME.	16:45	29:34	19:43	8:46	0:59	21:09	2:24	9:56	5:10	3:33
RUN 4 ELAPSED TIME:	17:05		20:24		1:08	21:58	3:24	10:15		
RUN 5				.2.	1:10		3:30			
RUN 6 ELAPSED TIME:										
RUN 7 ELAPSED TIME:									-	
* STABILIZED RATE:	17:05	29:34	20:24	9:00	1:10	21:58	3:30	10:15	5:10	3:33

### Sewage Disposal System Requirements

LOT	DESIGN FLOW RATE (GPD)	SEPTIC TANK SIZE (GALLONS)	DISTRIBUTION BOX MODEL NUMBER	TYPE OF SYSTEM	DESIGN STABILIZED PERCOLATION RATE (MIN.)	MIN. LENGTH OF ABSORPTION TRENCH (L.F.)	PROPOSED LENGTH OF ABSORPTION TRENCH (L.F.)	SEWAGE DISPOSAL SYSTEM DESIGN
1	440	1,250	DB-12	A.T.	30 - 45	440	440	8 ROWS @ 55 L.F.
2	440	1,250	DB-12	A.T.	21 - 30	367	336	7 ROWS @ 55 L.F.
3	440	1,250	DB-12	A.T.	21 - 30	367	330	7 ROWS @ 55 L.F.
4	440	1,250	DB-12	A.T.	11 - 15	275	275	5 ROWS @ 55 L.F.
5	440	1,250	DB-IZ	A.T.	6-7	220	220	4 ROWS @ 55 L.F.

NOTES: 1.) A.T. = ABSORPTION TRENCH TYPE SYSTEM

2.) THE DESIGN FLOW RATE OF 440 GALLONS PER DAY (GPD) IS BASED UPON 110 GPD PER BEDROOM * 4 BEDROOM.

3.) THE DISTRIBUTION BOX SHALL BE SIZED TO ACCOMMODATE BOTH THE PRIMARY SEWER LATERALS AND THE 50% EXPANSION AREA.

MINIMUM SEPARATION DISTANCES FROM EXISTING OR PROPOSED FEATURES

SYSTEM COMPONENTS	WELL OR SUCTION LINE (E,G)	STREAM, LAKE, OR WATERCOURSE (B)	DWELLING	PROPERTY LINE	DRAINAGI DITCH (H)
HOUSE SEWER (WATERTIGHT JOINTS)	50' (E)	25′	3′	10'	10'
SEPTIC TANK	50'	50′	10'	10'	10'
FFLUENT LINE TO DISTRIBUTION BOX	50′	50'	10'	10'	10'
ISTRIBUTION BOX	100'	100'	20'	10'	20′
ABSORPTION FIELD (C) (D)	100' (A)	100'	20'	10'	50′
SEEPAGE PIT	150' (A)	100'	20′	10'	50′
PRY WELL (ROOF & FOOTING)	50′	25′	20'	10′	10'
RAISED OR MOUND SYSTEM (C) (D)	100' (A)	100'	20′	10'	50′
NTERMITTENT SAND FILTER (D)	100' (A)(F)	100' (F)	20'	10'	20'
ION-WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50′	50	20′	10'	10'
ION-WATERBORNE SYSTEMS WITH DNSITE RESIDUAL DISPOSAL	100'	50	20'	10'	20′

DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL. (B) MEAN HIGH WATER MARK.

(C) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF THE FILL.

(D) SEPARATION DISTANCES HALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USABLE AREA (i.e. RESERVE AREA), WHEN AVAILABLE.

(E) THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE.

(F) WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.

(G) THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LEAST 50-FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.

(H) USE SITE EVALUATION TO AVOID ONSITE WASTEWATER TREATMENT SYSTEM SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWTS FUNCTIONALITY.

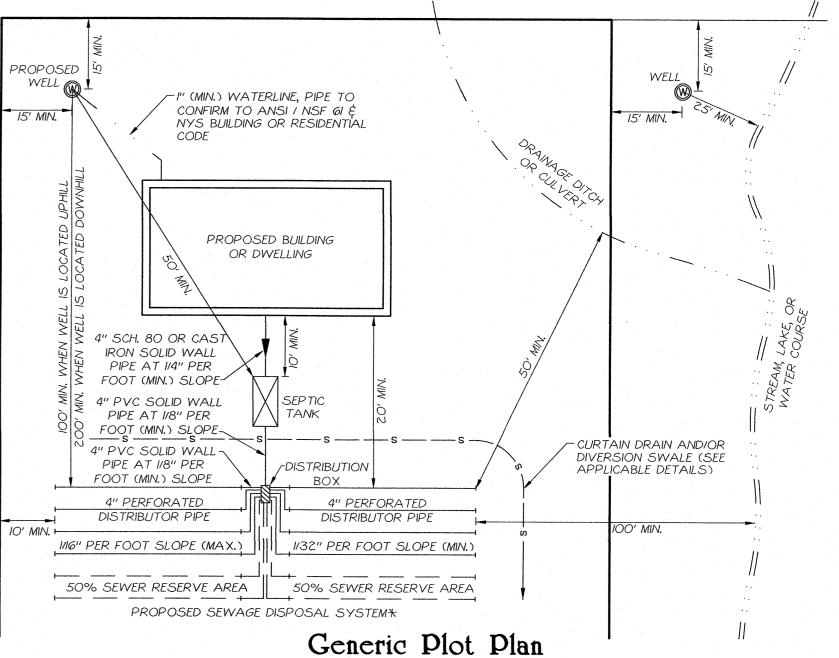
-	SYSTEM COMPONENT	CEMETERY PROPERTY LINE	SUBDIVISION BOUNDARY	
	ABSORPTION FIELD	100'	50'	

(1) ALL DRAINAGE PIPES WITHIN 25 FEET OF ANY WELL SHALL BE WATERTIGHT

SYSTEM COMPONENT	HIGH WATER LINE OF A WET POND	INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN	CULVERT OR STORM SEWER	CURTAIN DRAIN	TOP OF EMBANKMENT OR STEEP (I ON 3) SLOPE	SOLID CURTAIN DRAIN, ROOF OR FOOTING PIPES, SNOW STORAGE EASEMENT
ABSORPTION FIELD	100'	50'	35′	15'	25′	10'

# Minimum Separation Distances From Existing Or Proposed Features

- FOR ORANGE COUNTY -AS PER NEW YORK STATE DEPARTMENT OF HEALTH "RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS DESIGN HANDBOOK", ZOIZ EDITION & ORANGE COUNTY POLICY & STANDARDS LAST REVISED SEPTEMBER 2014



* THE 'GENERIC PLOT PLAN' IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW." "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."

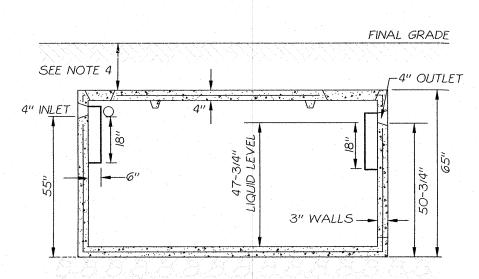
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO. DATE LAWRENCE MARSHALL PE #087107 REVISION

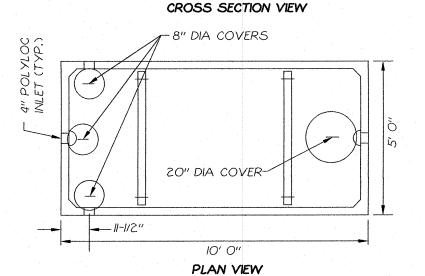
Water & Sewer Detail Sheet I Malmark Construction Corp.



THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET. TAX MAP PARCEL: 9-3-2 TOWN OF NEWBURGH COUNTY OF ORANGE STATE OF NEW YORK DRAFTED BY: ZAP DATE: OCTOBER 22, 2020 PROJECT: 3807-3



4" MIN. SAND OR PEA GRAVEL



1.) SEPTIC TANK SHALL BE MODEL ST-1250, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC 629 LYBOLT ROAD BULLVILLE, NY 10915

2.) ALL PIPE JOINTS (INLET & OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.

3.) INLET BAFFLE CAN BE RELOCATED TO THE SIDE.

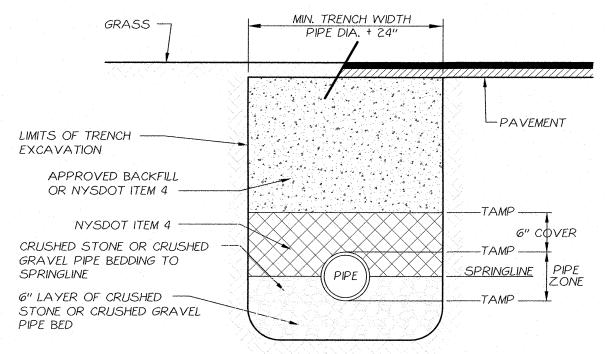
(845) 361-3471

4.) IF COVER EXCEEDS 12" A RISER MUST BE USED TO ALLOW ACCESS.

CONCRETE MINIMUM STRENGTH: 4,000 P.S.I. AT 28 DAYS STEEL REINFORCEMENT: 6" X 6" XIO GA. STEEL WIRE MESH #4 REBAR AROUND PERIMETER CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER CEMENT LOAD RATING: 300 PSF

# Typical Precast 1,250-Gallon Concrete Septic Tank

NOT TO SCALE

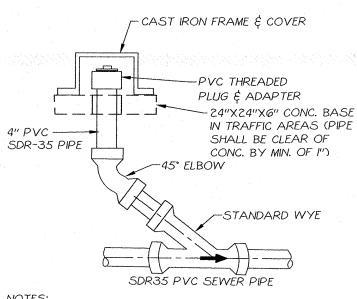


I) NYSDOT ITEM 4 BACKFILL SHALL BE INSTALLED IN 6" LIFTS.

2) IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE NYSDOT ITEM 4 BACKFILL AND SHALL BE SEEDED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.

3) IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 4" NYSDOT ITEM 4 LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND I-1/2" ASPHALT TOP COURSE.

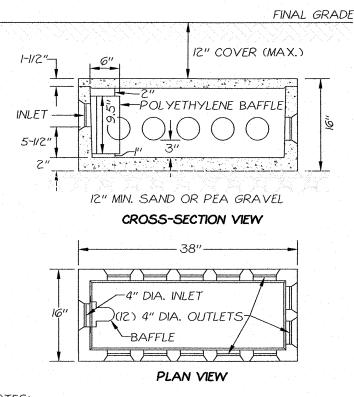
### Typical Trench Detail



I. CAST IRON FRAME & COVER AND CONCRETE BASE SHALL ONLY BE INSTALLED IF CLEANOUT IS IN VEHICULAR TRAFFIC

2. IN LAWN AREAS, CLEANOUT SHALL BE INSTALLED A

#### In-Line Sewer Cleanout



I.) DISTRIBUTION BOX SHALL BE MODEL DB-12, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD BULLVILLE, NY 10915

(845) 361-3471

2.) FLOW EQUALIZERS SHALL BE USED TO ENSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND ADJUSTMENT IS RECOMMENDED.

3.) ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.

4.) A SANITARY TEE, 90° ELBOW, OR OTHER APPROVED BAFFLE SHALL BE INSTALLED AT THE INLET.

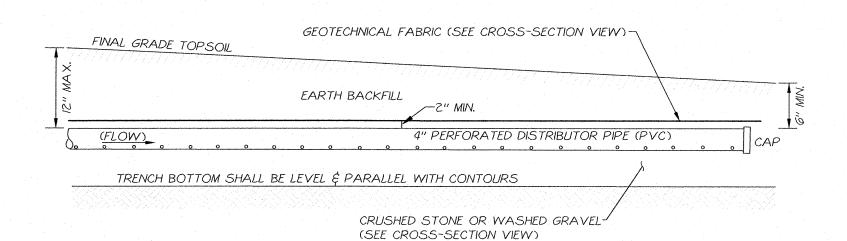
5.) OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION. 6.) DISTRIBUTION BOXES SHALL BE SIZED TO ACCOMODATE THE

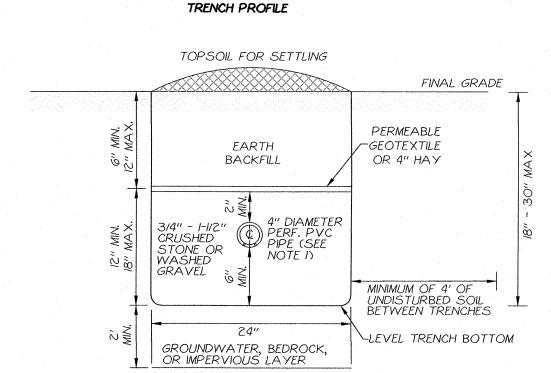
PRIMARY SYSTEM AND 50% RESERVE AREA.

7.) OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.

# Typical Precast Concrete Distribution Box

NOT TO SCALE





#### CROSS-SECTIONAL VIEW

1.) DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN. 2.) DO NOT INSTALL TRENCHES IN WET SOIL TRENCH SIDES AND BOTTOMS SHALL BE RAKED PRIOR TO INSTALLATION OF GRAVEL.

3.) THE END OF EACH LATERAL SHALL BE CAPPED.

4.) LATERALS SHALL BE SLOPED 1/16" - 1/32" PER FOOT FOR GRAVITY SYSTEMS.

5.) LATERALS SHALL BE INSTALLED SIX (6) FEET ON CENTER, MINIMUM. MAINTAIN A MINIMUM OF FOUR (4) FEET OF UNDISTURBED SOIL BETWEEN TRENCHES.

FOLLOWING CONSTRUCTION

### Absorption Trench Detail

# General Notes:

SYSTEMS ARE SHOWN ON THE PLANS.

I.) PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.

5.) ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH.

2.) ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.

3.) SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.

4.) NO DRIVEWAY. ROADWAY. PARKING AREAS. STRUCTURES OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.

6.) ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.

7.) MAXIMUM GROUND SLOPE OF TILE FIELD AREA SHALL NOT EXCEED 15%.

8.) NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL. 9.) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING,

RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER. 10.) NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.

II.) FLOW EQUALIZERS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS

IZ.) SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.

13.) THE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE, THE PIPE SHALL BE SCH 80 PVC OR CAST IRON. 14.) THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL, SEPTIC TANK, AND LEACH FIELD) SHALL NOT BE CHANGED. ANY

RELOCATION OF THE SEPTIC SYSTEMS OR WELLS SHOWN, TO AREAS OTHER THAN AS SHOWN ON THE APPROVED PLANS, MUST BE APPROVED BY THE DESIGN ENGINEER AND ORANGE COUNTY DEPARTMENT OF HEALTH (OCDOH). 15.) ALL WELLS AND SEPTIC SYSTEMS WITHIN 300 FEET THAT IMPACT SEPARATION DISTANCES FOR THE PROPOSED WELLS AND SEPTIC

16.) THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.

17.) HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE. DURING. OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN LOAD WAS BASED.

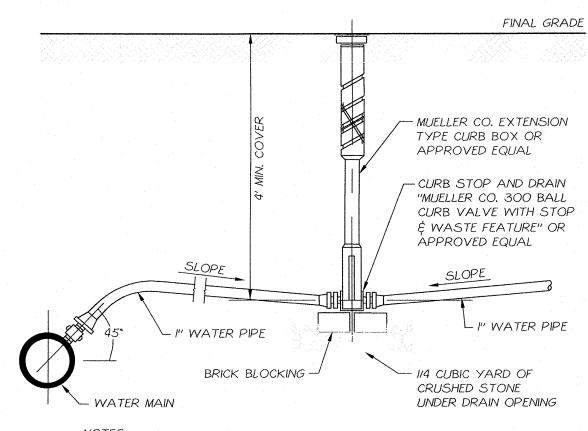
18.) THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REVIEWED AND APPROVED BY OCDOH. THE PROPOSED SEWAGE DISPOSAL SYSTEMS HAVE BEEN DESIGNED TO ACCOMMODATE A MAXIMUM OF 80 GALLONS PER DAY (GPD) FOR WATER TREATMENT SYSTEM BACKWASH, IF APPLICABLE.

19.) THE OWNER/APPLICANT OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. INCLUDING A COPY OF THE NYSDEC WELL COMPLETION REPORT.

20.) SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.

21.) DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.

22.) A NEW YORK STATE LICENSED ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION . THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICE THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN TESTED FOR WATER TIGHTNESS.



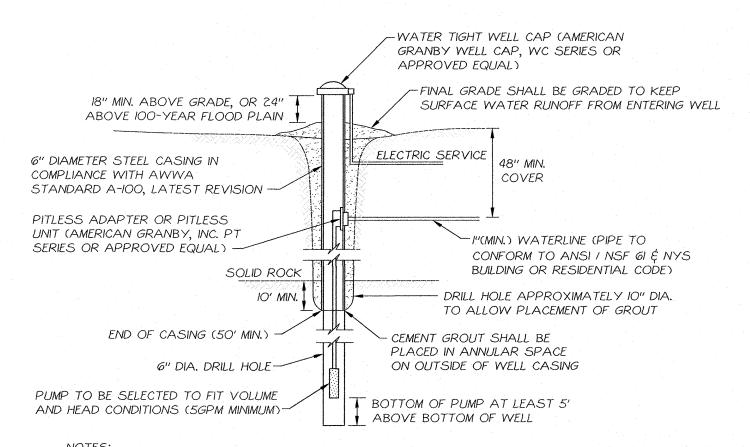
I.) WATER SERVICE CONNECTION SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS.

> WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS

AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

2.) THIS DETAIL APPLICABLE FOR LOT 5 ONLY.

Typical Water Service Detail



I.) WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 2 OF THE NEW YORK STATE DEPARTMENT OF HEALTH (NYSDOH) APPENDIX 5-B "STANDARDS FOR WATER WELLS."

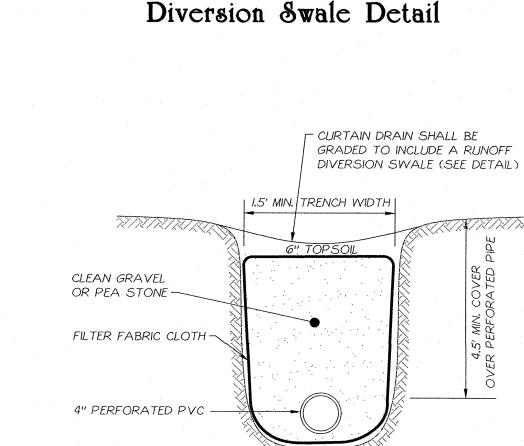
2.) THE WELL CAP MUST BE A MINIMUM OF TWO (2) FEET ABOVE THE 100 YEAR FLOOD ELEVATION.

3.) THE END OF WELL CASING SHALL EXTEND TO A MINIMUM DEPTH OF 50 FEET.

4.) THIS DETAIL APPLICABLE FOR LOTS 1, 2, 3, \$ 4.

NO. DATE

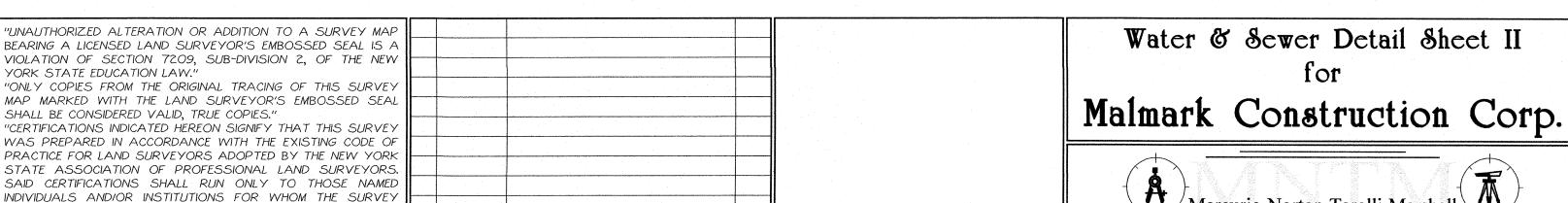
Typical Well Detail



NOTE: THE DIVERSION SWALE SHALL BE SEEDED & MULCHED IMMEDIATELY

1.) A 15' MINIMUM SEPARATION IS REQUIRED TO THE ABSORPTION TRENCHES. 2.) THE CURTAIN DRAIN SHALL HAVE A MINIMUM SLOPE OF 0.5%. 3.) THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SCREENED OUTLET.

Curtain Drain Detail



BY LAWRENCE MARSHALL PE #087107

Mercurio-Norton-Tarolli-Marshall PO BOX 166: 45 MAIN STREET: PINE BUSH, NY 12566 P: (845)744.3620 F:(845)744.3805 MNTM@MNTM.CO

TAX MAP PARCEL 9-3-2 OWN OF NEWBURGH COUNTY OF ORANGE STATE OF NEW YORK DRAFTED BY: ZAP DATE: OCTOBER 22, 20 PROJECT: 3807-3

THIS MAP IS INCOMPLETE

AND INVALID WITHOUT AL

SHEETS IN THE PLAN SET.