



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MKJ PARK, LLC OFFICE & WAREHOUSE
PROJECT NO.: 22-32
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 29.1
REVIEW DATE: 13 SEPTEMBER 2024
MEETING DATE: 19 SEPTEMBER 2024
PROJECT REPRESENTATIVE: LANC & TULLY, PC /JOHN QUEENAN, P.E.

1. The applicants have identified that the access drive has been widened to 30 feet. Project will require a variance from the NYS Fire Code regarding two points of access based on the size of the proposed structure.
2. Project now depicts improvements within the NYS highway. NYSDOT approval for the access drive and turning lanes is required.
3. The trees on the site have been identified. The trees should be identified in accordance with the Towns Tree Preservation Ordinance, as specimen, protected, significant, Calculations for each should be provided based on the amount of trees removed versus permitted.
4. A Stormwater Prevention Pollution Plan will be required.
5. The basis of design for the subsurface sanitary sewer disposal system 83 employees should be documented. It is noted that the design of the subsurface sanitary sewer disposal system is 996 gallons per day based on that employee count and water saving fixtures. Flows greater than 1,000 gallons require NYSDEC SDDS Permit and Orange County Health Department approval.
6. The project is disturbing US Army Corps. of Engineers jurisdictional wetlands. Army Corps. approval and NYSDEC Permit is required.
7. Orange County Planning Department referral will be required for future submissions.
8. DOT approval for accessing utilities must be received.
9. A cut and fill calculation should be provided to determine if excess material must be removed from the site.
10. Parking count identifies identifies 166 employees for the warehouse and 35 employees for the office. Calculations should be addressed when evaluating the subsurface sanitary sewer disposal system.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

11. It will require submission to Orange County Planning upon receipt of the SWPPP and any Traffic Studies provided to NYSDOT for the access improvements.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal

PJH/kmm/kbw

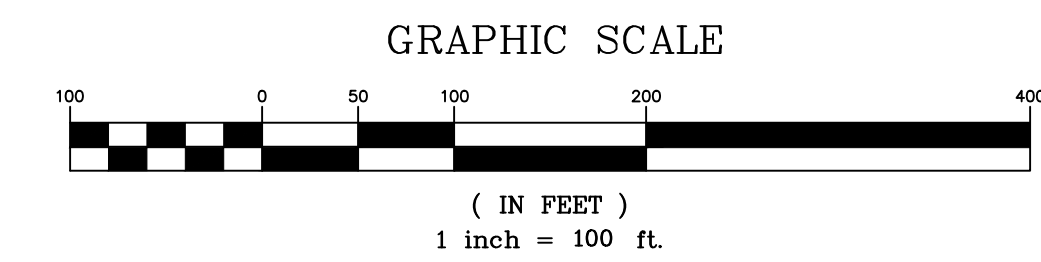
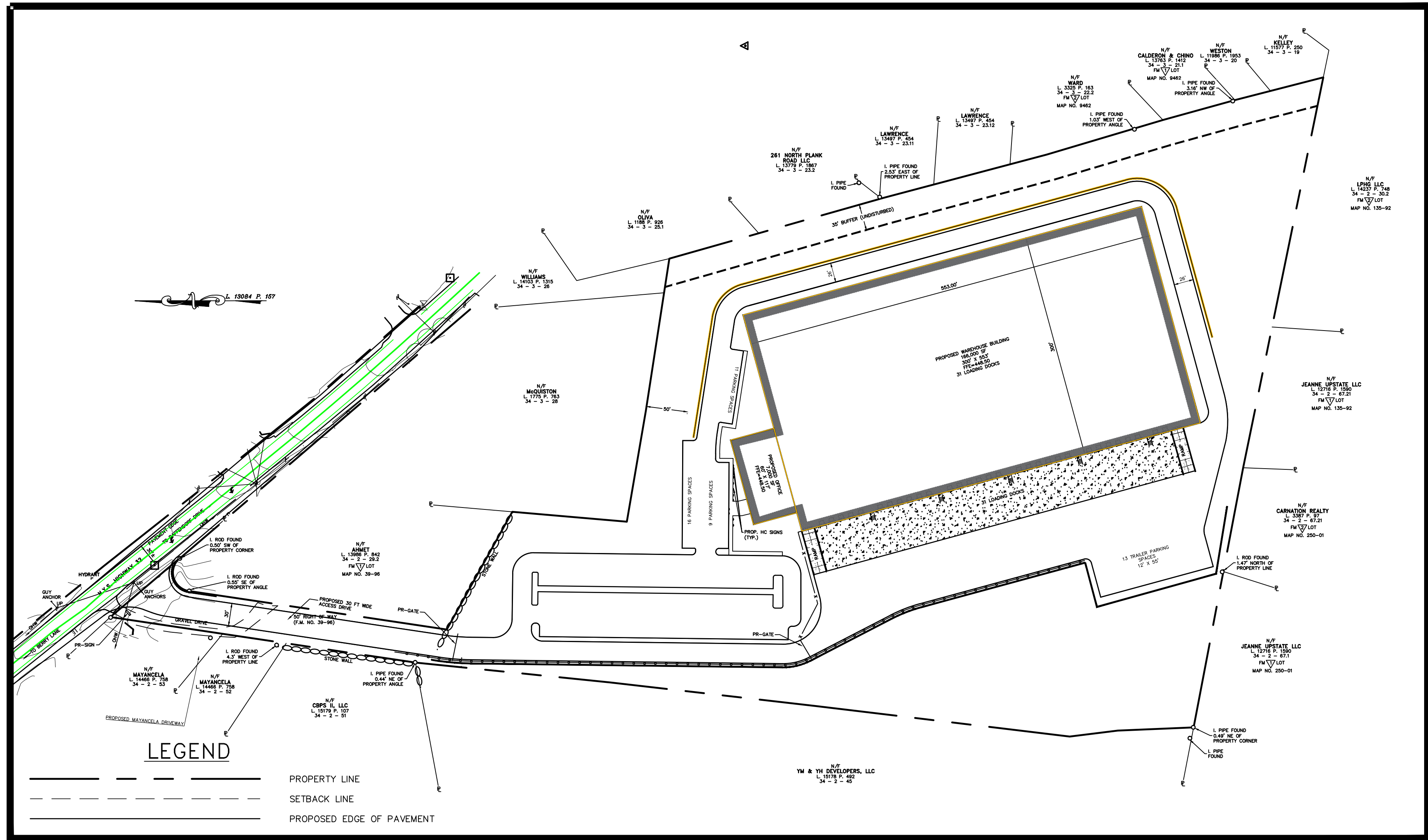


Michael W. Weeks, P.E.
Principal

SITE PLAN FOR MKJ PARK, LLC

TOWN OF NEWBURGH

ORANGE COUNTY, NEW YORK



OVERALL PLAN
1 INCH = 100 FEET

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - IB ZONE		
INTERCHANGE BUSINESS - SITE PLAN USE #9		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	220 FT.
LOT DEPTH	150 FT.	1,007 FT.
FRONT YARD	60 FT.*	109.1 FT.
ONE SIDE YARD/BOTH	30/80 FT.	99.1/329.5 FT.
REAR YARD	60 FT.	68.3 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	40 FT.	40 FT.
BUILDING COVERAGE	40%	26±%
DEVELOPMENT COVERAGE	80%	71±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS

REQUIRED	
OFFICE:	1 PARKING SPACE PER 200 SF UP TO 20,000 GFA THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA 7,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA
WAREHOUSE:	2 PARKING SPACES PER 3 EMPLOYEES 166,000 SF / 1000 SF PER EMPLOYEE = 166 EMPLOYEES 166 EMPLOYEES / 3 EMPLOYEE = 56
	56 * 2 SPACES = 112 PARKING SPACES REQUIRED FOR WAREHOUSE
	TOTAL = 147 PARKING SPACES REQUIRED
	TOTAL = 147 PARKING SPACES PROVIDED INCLUDING 6 HANDICAP SPACES

GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 29.1
- TOTAL AREA: 15.14± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IB INTERCHANGE BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- SITE TO BE SERVICED BY CENTRAL WATER PROVIDED BY THE TOWN OF NEWBURGH
- SITE TO BE SERVICED BY ONSITE INDIVIDUAL SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS ALL OFF-SITE PUBLIC IMPROVEMENTS INCLUDED WITH THIS PLAN ARE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND/OR BUILDING INSPECTOR. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:

MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.

MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & V REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.

MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.

MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN. OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.

CONSTRUCTION NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF RAMAPO BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED
CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED ON THE PLANS HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSES OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ACCURATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION. IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE DEPARTMENT PUBLIC WORKS.
- THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- SEWER AND WATER TRENCHES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEER'S SATISFACTION.
- DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR MORE THAN FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND STABILIZED.
- ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJACENT STREETS AND PROPERTIES.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

NYSDOT NOTES:

- ALL WORK AND IMPROVEMENTS WITHIN THE NYSDOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYSDOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
A. NYSDOT STANDARD SHEETS 603 FOR DRIVEWAYS
B. NYSDOT STANDARD SHEETS 609
C. NYSDOT STANDARD SHEETS 608-03
D. NYSDOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L 15137 P. 1891

FM LOT
MAP NO. 39-96

AREA:
15.141± AC.

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER



LOCATION PLAN
1 INCH = 1,000 FEET

SITE PLAN SHEET INDEX:

- COVER SHEET
- EXISTING CONDITIONS
- SITE PLAN
- TREE LOCATION AND REMOVAL PLAN
- TREE LOCATION CHART
- GRADING & UTILITY PLAN
- SEWAGE DISPOSAL SYSTEM DESIGN
- WETLAND MITIGATION PLAN
- VEHICLE TRACKING PLAN
- CONSTRUCTION DETAILS 1
- CONSTRUCTION DETAILS 2

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TOWN OF NEWBURGH
SITE PLAN APPROVAL:



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

COVER SHEET PREPARED FOR

MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JG Checked By: Scale: AS SHOWN Tax Map No.: 34 - 2 - 29.1

DATE: OCTOBER 18, 2023
Revision: FEBRUARY 26, 2024
SEPTEMBER 10, 2024
CADD File: 210047-ENG.DWG
Layout: COVER
Sheet No.: 1 OF 11
Drawing No.: C30
A- 21 - 0047 - 01



SURVEY NOTES:

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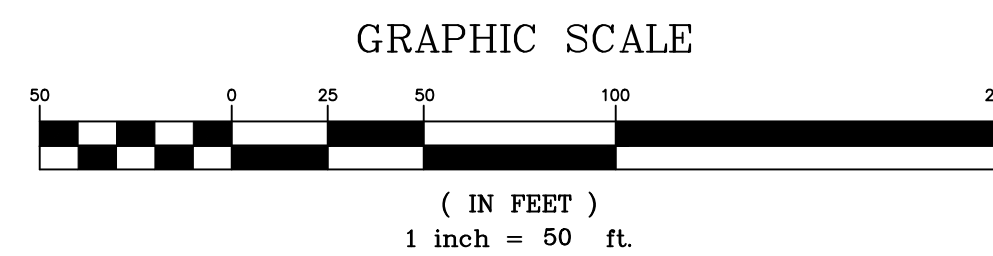
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- THE USACOE WETLAND AREA DEPICTED ON THIS PLAN WAS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON MARCH 22, 2022 AND FIELD LOCATED BY LANC AND TULLY, P.C. ON APRIL 7, 2022.

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550
34 - 2 - 29.1
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COPYRIGHT 2021, LANC & TULLY, P.C.

	LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
	EXISTING CONDITIONS PREPARED FOR	
MKJ PARK, LLC		
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		
Drawn By: JW	Checked By:	Scale: 1" = 50'
Tax Map No.: 34 - 2 - 29.1	Drawing No.: A- 21 - 0047 - 01	

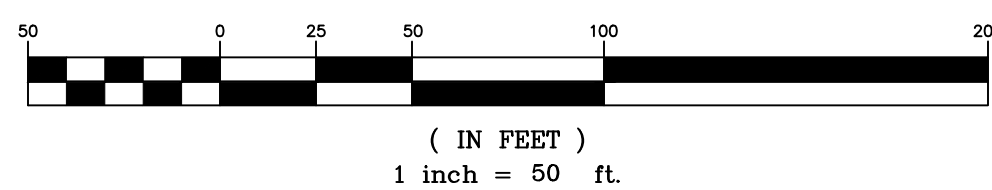
Date: OCTOBER 18, 2023	Revision: FEBRUARY 26, 2024 SEPTEMBER 10, 2024
CAD File: 210041-SV.DWG	Layout: SVY
Sheet No.: 2 OF 11	Drawing No.: A- 21 - 0047 - 01

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_____ PROPERTY LINE
 - - - - - SETBACK LINE
 _____ PROPOSED EDGE OF PAVEMENT
 - - - - - EXISTING MAJOR CONTOUR
 _____ EXISTING MINOR CONTOUR

TOWN OF NEWBURGH		IB ZONE
INTERCHANGE BUSINESS - SITE PLAN USE #9		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	15.14 ACRES
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*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

REQUIRED


OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
7,000 SF OFFICE / 300 SF OF ADDITIONAL FLOOR AREA
1,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA

WAREHOUSE: 2 PARKING SPACES PER 1,000 EMPLOYEES
166,000 SF / 1,000 SF PER EMPLOYEE = 166 EMPLOYEES
166 EMPLOYEES / 3 EMPLOYEE = 56
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TOTAL = 147 PARKING SPACES REQUIRED
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FM  LOT
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AREA:
15.141± AC



LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.
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P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

Date:
OCTOBER 18, 2023

Revisions:
FEBRUARY 26, 2024
SEPTEMBER 10, 2023

CAD File:
210041-ENG.DWG

Layout: SITE PLAN

Sheet No.:	3 OF 11
Drawing No.:	C3

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THE NEW YORK STATE EDUCATION LAW.



SURVEY NOTES:

1. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
2. SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
3. REFERENCES:

MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.

MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & V REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.

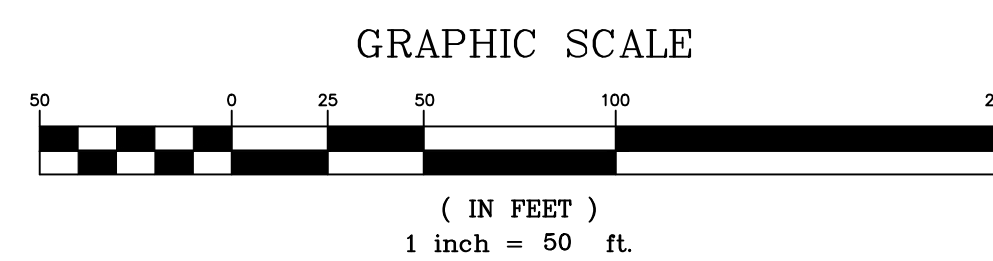
MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.

MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN, OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.
4. THE USACE WETLAND AREA DEPICTED ON THIS PLAN WAS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON MARCH 22, 2022 AND FIELD LOCATED BY LANC AND TULLY, P.C. ON APRIL 7, 2022.

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550
34 - 2 - 29.1
L 15137 P. 1891
FM LOT
MAP NO. 39-96

AREA:
15.141± AC.



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L&T LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
TREE LOCATION AND REMOVAL PLAN PREPARED FOR			
MKJ PARK, LLC			
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK			
Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1
Date: OCTOBER 18, 2023		Revision: FEBRUARY 26, 2024 SEPTEMBER 10, 2024	
CAD File: 210041-SV.DWG		Layer: TREE LOCATION	
Sheet No.: 4 OF 11		Drawing No.: A- 21 - 0047 - 01	

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1	OAK 12" TWIN	51	MAPLE 14"	101	OAK 18"	151	OAK 16"	201	MAPLE 12"	251	MAPLE 16"	301	OAK 12"	351	OAK 10" TWIN	401	OAK 12"	451	OAK 12"	501	OAK 16"	551	OAK 14"	601	OAK 12"	651	DEAD 14" TWIN	701	OAK 12"	751	OAK 14"	801	BIRCH 14"	851	HICKORY 10"
2	MAPLE 10" TRIPLE	52	MAPLE 14"	102	OAK 10"	152	OAK 14"	202	OAK 16"	252	MAPLE 16"	302	OAK 12"	352	OAK 12"	402	OAK 16"	452	OAK 14" TWIN	502	OAK 12"	552	OAK 14"	602	OAK 12"	652	OAK 14"	702	OAK 14"	752	MAPLE 16" TRIPLE	802	MAPLE 16"	852	OAK 22"
3	CHERRY 12" TWIN	53	MAPLE 12"	103	HICKORY 12"	153	OAK 14"	203	MAPLE 12"	253	MAPLE 10"	303	OAK 10"	353	OAK 12"	403	HICKORY 10"	453	OAK 14"	503	DEAD 12"	553	OAK 20"	603	OAK 14"	653	OAK 14"	703	OAK 20"	753	MAPLE 12" TWIN	803	MAPLE 12"	853	MAPLE 12"
4	MAPLE 16"	54	OAK 12"	104	OAK 14"	154	OAK 14"	204	OAK 16"	254	MAPLE 10"	304	OAK 12"	354	OAK 12"	404	OAK 14"	454	OAK 10"	504	OAK 12" TRIPLE	554	OAK 24"	604	OAK 10"	654	HICKORY 10"	704	OAK 18"	754	CHERRY 10"	804	BEECH 10"	854	MAPLE 12"
5	OAK 12"	55	DEAD 10"	105	OAK 16"	155	OAK 10"	205	OAK 10"	255	MAPLE 10"	305	OAK 12"	355	OAK 12"	405	OAK 12"	455	OAK 14"	505	OAK 14"	555	OAK 12"	605	OAK 12"	655	OAK 16"	705	OAK 12"	755	OAK 12"	805	OAK 24"	855	MAPLE 12" TWIN
6	OAK 12" TWIN	56	OAK 14"	106	OAK 18"	156	OAK 12"	206	OAK 14"	256	MAPLE 14"	306	OAK 12"	356	OAK 10" TRIPLE	406	OAK 12"	456	OAK 10"	506	OAK 10"	556	OAK 14"	606	OAK 10"	656	OAK 14"	706	OAK 14"	756	OAK 20"	806	OAK 12"	856	OAK 14"
7	OAK 12"	57	MAPLE 10"	107	HICKORY 14"	157	OAK 12"	207	CATALPA 14"	257	OAK 18"	307	OAK 12"	357	OAK 10"	407	OAK 14"	457	OAK 12"	507	OAK 12"	557	OAK 14"	607	HICKORY 10"	657	OAK 28"	707	OAK 12"	757	OAK 24"	807	OAK 18"	857	OAK 16"
8	OAK 12"	58	MAPLE 10"	108	OAK 12"	158	MAPLE 14"	208	MAPLE 8"	258	MAPLE 14"	308	MAPLE 12" 7 LEADERS	358	OAK 12"	408	OAK 16"	458	OAK 10"	508	MAPLE 12" TWIN	558	MAPLE 10"	608	OAK 10"	658	OAK 16"	708	OAK 16"	758	MAPLE 14"	808	MAPLE 10"	858	OAK 16"
9	OAK 10" 5 LEADERS	59	MAPLE 10"	109	MAPLE 12"	159	OAK 16"	209	OAK 12"	259	MAPLE 8"	309	OAK 10"	359	OAK 12"	409	OAK 14"	459	DEAD 12"	509	OAK 14"	559	MAPLE 10"	609	OAK 10"	659	MAPLE 14"	709	OAK 14"	759	OAK 18"	809	MAPLE 14"	859	OAK 18"
10	OAK 12"	60	MAPLE 10"	110	MAPLE 12"	160	OAK 20"	210	MAPLE 12"	260	14" MAPLE	310	OAK 12"	360	OAK 10"	410	OAK 10"	460	OAK 12"	510	OAK 14"	560	OAK 18"	610	OAK 10"	660	OAK 16"	710	DEAD 12"	760	OAK 16"	810	OAK 18"	860	OAK 16"
11	OAK 10"	61	MAPLE 10"	111	OAK 18"	161	MAPLE 14"	211	OAK 12"	261	MAPLE 10"	311	OAK 12"	361	OAK 16"	411	OAK 14" TWIN	461	OAK 12"	511	OAK 22"	561	OAK 18"	611	CHERRY 12" QUAD	661	MAPLE 12"	711	HICKORY 16"	761	OAK 14"	811	MAPLE 12"	861	OAK 12"
12	OAK 12" 5 LEADERS	62	MAPLE 12"	112	OAK 14"	162	MAPLE 14"	212	MAPLE 10"	262	MAPLE 12"	312	OAK 14"	362	OAK 14"	412	OAK 10"	462	OAK 14"	512	MAPLE 12"	562	OAK 10"	612	OAK 10"	662	MAPLE 14"	712	OAK 14"	762	BIRCH 16"	812	DEAD 14"	862	OAK 12"
13	OAK 12" TWIN	63	MAPLE 10"	113	OAK 12"	163	MAPLE 12"	213	OAK 12"	263	MAPLE 14"	313	OAK 14"	363	OAK 14"	413	OAK 10"	463	OAK 14"	513	OAK 14"	563	OAK 20" TWIN	613	OAK 12"	663	SYCAMORE E 22"	713	OAK 12"	763	BIRCH 10"	813	OAK 14"	863	OAK 14"
14	SPRUCE 40"	64	DEAD 12"	114	OAK 14"	164	ELM 10"	214	OAK 12"	264	MAPLE 14"	314	OAK 14"	364	MAPLE 12"	414	OAK 16"	464	SYCAMORE 14"	514	OAK 14"	564	OAK 12"	614	OAK 12"	664	MAPLE 14"	714	OAK 16"	764	BIRCH 10"	814	MAPLE 12"	864	MAPLE 12"
15	SPRUCE 30"	65	OAK 12"	115	OAK 20"	165	DEAD 12"	215	OAK 10"	265	MAPLE 16"	315	OAK 10"	365	OAK 14"	415	OAK 18"	465	OAK 10"	515	OAK 10"	565	MAPLE 14"	615	OAK 12"	665	HICKORY 14"	715	MAPLE 10"	765	OAK 16"	815	MAPLE 14" TWIN	865	BIRCH 12"
16	SPRUCE 28"	66	OAK 16"	116	OAK 18"	166	MAPLE 14"	216	OAK 14"	266	MAPLE 10"	316	OAK 10"	366	OAK 12"	416	CHERRY 12"	466	MAPLE 12" TWIN	516	OAK 10"	566	OAK 14"	616	OAK 8" 5 LEADERS	666	OAK 16"	716	DEAD 10"	766	OAK 18"	816	MAPLE 12"	866	OAK 16"
17	SPRUCE 30"	67	OAK 14"	117	HICKORY 14"	167	OAK 14"	217	OAK 10"	267	MAPLE 30"	317	OAK 12"	367	MAPLE 12"	417	OAK 12"	467	OAK 10"	517	OAK 12"	567	HICKORY 16"	617	OAK 8" TWIN	667	MAPLE 22"	717	OAK 10"	767	OAK 14"	817	OAK 14"	867	OAK 20"
18	ASH 14"	68	OAK 10"	118	ELM 10"	168	OAK 12"	218	OAK 12"	268	MAPLE 20"	318	MAPLE 10"	368	MAPLE 12"	418	OAK 18"	468	OAK 20" TWIN	518	OAK 12"	568	MAPLE 10"	618	OAK 8" TRIPLE	668	DEAD 12"	718	BIRCH 12"	768	OAK 12"	818	DEAD 14"	868	OAK 12"
19	ELM TRIPLE 12"	69	MAPLE 12" TWIN	119	OAK 12"	169	OAK 10"	219	OAK 12"	269	MAPLE TRIPLE 14"	319	DEAD 10"	369	MAPLE 12"	419	OAK 12"	469	OAK 12"	519	OAK 14"	569	MAPLE 10"	619	MAPLE 12"	669	HICKORY 10"	719	MAPLE 12"	769	MAPLE 10"	819	OAK 14"	869	OAK 20"
20	OAK QUAD 12"	70	MAPLE 10"	120	CHERRY 12"	170	OAK 14"	220	MAPLE 12"	270	HICKORY 12"	320	MAPLE 12"	370	MAPLE 14"	420	OAK 18" TWIN	470	OAK 8"	520	OAK 14"	570	HICKORY 10"	620	MAPLE 12"	670	OAK 10"	720	MAPLE 12"	770	OAK 19"	820	OAK 14"	870	OAK 14"
21	ASH 12"	71	OAK 14"	121	OAK 14"	171	MAPLE 10"	221	DEAD 16" QUAD	271	MAPLE 10"	321	OAK 10"	371	MAPLE 12"	421	OAK 16"	471	OAK 10"	521	OAK 14"	571	HICKORY 12"	621	MAPLE 12"	671	OAK 14"	721	OAK 14"	771	OAK 28"	821	OAK 16"	871	OAK 12"
22	SYCAMORE 20"	72	OAK 10"	122	OAK 16"	172	MAPLE 18"	222	MAPLE 14"	272	HICKORY 10"	322	CEDAR 14"	372	OAK 16"	422	OAK 14"	472	MAPLE 12"	522	OAK 16"	572	OAK 14"	622	DEAD 12"	672	OAK 14"	722	OAK 28"	772	MAPLE 10"	822	MAPLE 10"	872	OAK 18"
23	OAK 12"	73	OAK 12"	123	OAK 18"	173	MAPLE 10"	223	MAPLE 12"	273	OAK 12"	323	MAPLE 12" TWIN	373	MAPLE 10"	423	OAK 12"	473	OAK 14"	523	OAK 14"	573	MAPLE 10"	623	MAPLE 12" TWIN	673	OAK 14"	723	MAPLE 20"	773	OAK 22"	823	OAK 20"	873	OAK 12"
24	ELM 12"	74	OAK 10"	124	OAK 22"	174	MAPLE 10"	224	MAPLE 12"	274	HICKORY 12"	324	MAPLE 12" QUAD	374	MAPLE 10"	424	MAPLE 12" TRIPLE	474	MAPLE 12"	524	CHERRY 14"	574	OAK 16"	624	OAK 10"	674	OAK 10"	724	MAPLE 10"	774	OAK 12"	824	MAPLE 12"	874	BIRCH 12"
25	ASH 12"	75	OAK 12"	125	OAK 28"	175	OAK 14"	225	OAK 14"	275	OAK 14"	325	MAPLE 14" QUAD	375	MAPLE 10"	425	OAK 12"	475	MAPLE 12"	525	OAK 14"	575	OAK 12"	625	MAPLE 10"	675	OAK 14"	725	DEAD 12"	775	MAPLE 12"	825	MAPLE 14"	875	BIRCH 16"
26	DEAD 10"	76	OAK 10"	126	OAK 12"	176	OAK 16"	226	MAPLE 14"	276	MAPLE 16"	326	MAPLE 14" TRIPLE	376	MAPLE 12"	426	MAPLE 12"	476	OAK 12" TWIN	526	OAK 12"	576	OAK 20"	626	OAK 12"	676	OAK 16"	726	MAPLE 14"	776	OAK 20"	826	OAK 20"	876	MAPLE 12"
27	ELM 14"	77	OAK 14"	127	OAK 22"	177	OAK 14"	227	MAPLE 12"	277	OAK 14"	327	MAPLE 14" TWIN	377	MAPLE 14"	427	OAK 12"	477	OAK 16" TWIN	527	OAK 16"	577	OAK 14" TWIN	627	OAK 22"	677	DEAD 14"	727	MAPLE 12"	777	BIRCH 14"	827	DEAD 10"	877	DEAD 12"
28	HICKORY 12"	78	OAK 10"	128	OAK 20"	178	OAK 12"	228	DEAD 10"	278	MAPLE 16"	328	OAK 10"	378	SYCAMORE 30"	428	OAK 10"	478	CEDAR 10"	528	OAK 14" TWIN	578	OAK 20"	628	OAK 14"	678	OAK 14"	728	MAPLE 10"	778	OAK 12"	828	OAK 12"	878	OAK 10"
29	HICKORY 10"	79	OAK 22"	129	OAK 14"	179	OAK 14" TWIN	229	MAPLE 12"	279	MAPLE 14" FALLING	329	MAPLE 12"	379	MAPLE 12" BROKEN	429	OAK 10"	479	OAK 10"	529	OAK 12"	579	OAK 10"	629	MAPLE TRIPLE 18"	679	OAK 16"	729	MAPLE 14"	779	BIRCH 12"	829	OAK 14"	879	MAPLE 14"
30	MAPLE 12"	80	HICKORY 14"	130	OAK 24"	180	OAK 12"	230	MAPLE 14"	280	HICKORY 14"	330	OAK 14"	380	MAPLE 12"	430	OAK 12"	480	OAK 16"	530	OAK 10"	580	OAK 12"	630	OAK TWIN 20"	680	CHERRY 12"	730	BIRCH 14"	780	BIRCH 10"	830	OAK 16"	880	OAK 22"
31	OAK 14"	81	CHERRY 10"	131	DEAD QUADRUPL 10"	181	MAPLE 12"	231	SASSAFR AS 12"	281	MAPLE 22" TRIPLE	331	OAK 16"	381	MAPLE 12"	431	OAK 12"	481	OAK 18"	531	OAK 14" TWIN	581	OAK 14"	631	HICKORY 14"	681	OAK 16"	731	MAPLE 16"	781	BIRCH 10"	831	ELM 12"	881	OAK 12"
32	MAPLE 14"	82	DEAD 12"	132	MAPLE 10"	182	OAK 12"	232	MAPLE 14" TWIN	282	MAPLE 12" TWIN	332	OAK 14"	382	MAPLE 12"	432	OAK 12"	482	OAK 16"	532	OAK 14"	582	OAK 12"	632	MAPLE 10"	682	OAK 14"	732	DEAD 16"	782	OAK 20" QUAD	832	OAK 16"	882	BEECH 10"
33	MAPLE 14"	83	OAK 12"	133	MAPLE 18"	183	OAK 10" TWIN	233	MAPLE 12" QUAD	283	MAPLE 14"	333	OAK 12"	383	HICKORY 10"	433	OAK 10"	483	OAK 14"	533	OAK 10"	583	OAK 14"	633	HICKORY 12"	683	OAK 10" TWIN	733	MAPLE 14"	783	OAK 10"	833	BIRCH 16"	883	OAK 10"
34	MAPLE 20"	84	OAK 14"	134	OAK 20"	184	OAK 10"	234	MAPLE 22"	284	MAPLE 12"	334	OAK 12"	384	ELM 14"	434	MAPLE 12" TRIPLE	484	MAPLE 12"	534	MAPLE 10" QUAD	584	OAK 20"	634	MAPLE 12"	684	OAK 14"	734	OAK 10"	784	OAK 12"	834	OAK 14"	884	MAPLE 14"
35	ELM 16"	85	MAPLE 12"	135	OAK 18"	185	OAK 14"	235	HICKORY 10"	285	HICKORY 16"	335	MAPLE 12"	385	OAK 10"	435	OAK 10"	485	MAPLE 16"	535	OAK 16"	585	OAK 14"	635	MAPLE 20"	685	OAK 18"	735	OAK 14"	785	OAK 14"	835	MAPLE 14"	885	OAK 14"
36	MAPLE 14"	86	DEAD 12"	136	OAK 12"	186	OAK 12"	236	OAK 16"	286	OAK 20"	336	MAPLE 12" TWIN	386	DEAD 16"	436	OAK 12"	486	MAPLE 12"	536	OAK 10"	586	CEDAR 10"	636	HICKORY 18"	686	OAK 12" TRIPLE	736	OAK 10"	786	OAK 20" QUAD	836	MAPLE 14"	886	OAK 14"
37	OAK 12"	87	OAK 28"	137	OAK 14"	187	OAK 14"	237	ELM 18"	287	MAPLE 14"	337	OAK 24"	387	ELM 12"	437	OAK 10"	487	OAK 16"	537	OAK 14"	587	CHERRY 12"	637	DEAD 20"	687	OAK 14"	737	OAK 14"	787	OAK 14"	837	OAK 10"	887	MAPLE 10"
38	MAPLE 12"	88	OAK 28"	138	MAPLE 14"	188	OAK 12"	238	MAPLE 10"	288	OAK 14"	338	OAK 18"	388	ELM 10"	438	OAK 14"	488	OAK 16"	538	OAK 12"	588	OAK 12"	638	MAPLE 18"	688	OAK 12"	738	OAK 18"	788	OAK 12"	838	MAPLE 14"	888	OAK 16"
39	ELM 14"	89	OAK 10"	139	OAK 12"	189	MAPLE 14" TWIN	239	MAPLE 16"	289	OAK 10"	339	DEAD 12"	389	OAK 20"	439	OAK 12"	489	MAPLE 10"	539</															

ALL HORIZONTAL AND VERTICAL CONTROL, DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.

2. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF MONROE BUILDING DEPARTMENT.

3. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.

4. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.

5. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008; AS SUPPLEMENTED.
CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

6. GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.

7. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.

8. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.

9. STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

10. WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE.

11. TRAFFIC SIGNALING AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).

12. THE BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE TO WITHIN A ONE FOOT TOLERANCE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS. THE TIME OF CONSTRUCTION SHALL BE WITHIN A BUILDING PERMIT AND A BRIDGE PERMIT. THE CONTRACTOR SHALL CONFORM TO THE APPROVED CHIT ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.

13. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM PERSONNEL INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

14. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN THE DEPTH, LOCATION, MATERIAL, AND FIT INFORMATION. SHOWN HEREON TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.

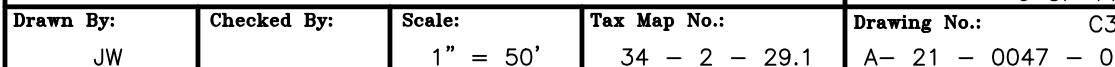
15. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.

16. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA. THE CONTRACTOR IS REQUIRED TO SUBMIT ALL SUBMITTALS IN CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN ON THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE SUBMITTALS BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR.

17. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS-METHODS, ACHIEVEMENT, TECHNICAL, AND/OR OTHER DEFERRING, SUPERSEDING, OR OTHERWISE MODIFYING THE WORKMANSHIP, MATERIALS, AND/OR CONSTRUCTION DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB AND SAFETY ENGINEERING AND SURVEYING, P.C. SHALL BE INDICATED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

18. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE IN VIOLATION OF THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.

19. THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



N/F
261 NORTH PLANK ROAD LLC
L. 13779 P. 1867
34 - 3 - 23.2

PR-RETAINING WALL TW-456.25 BW-447.0

35' BUFFER (UNDISTURBED)

x L.P. 446.5

PR-RETAINING WALL TW-456.25 BW-447.0

PR-RETAINING WALL TW-456.25 BW-448.0

PR-RETAINING WALL TW-456.25 BW-447.0

PR-RETAINING WALL TW-453.0 BW-447.0

PROPOSED SDS AREA
6 LATS @ 56'
=336 L.F. ELJEN

PERC 032022-1 DEEP 032122-1

100% EXPANDED AREA PERC 032022-2

PR-RETAINING WALL TW-453.0 BW-447.0

STONE WALL

PROPOSED WAREHOUSE BUILDING
166,000 SF
300' X 553'
FFE=448.50
31 LOADING DOCKS

PROPOSED OFFICE
7,000 SF
60' X 117'
FFE=448.50

PROPOSED 1,500 GAL SEPTIC TANK

PROPOSED PUMP STATION

PROPOSED 2" PVC FORCEMAIN

RAMP

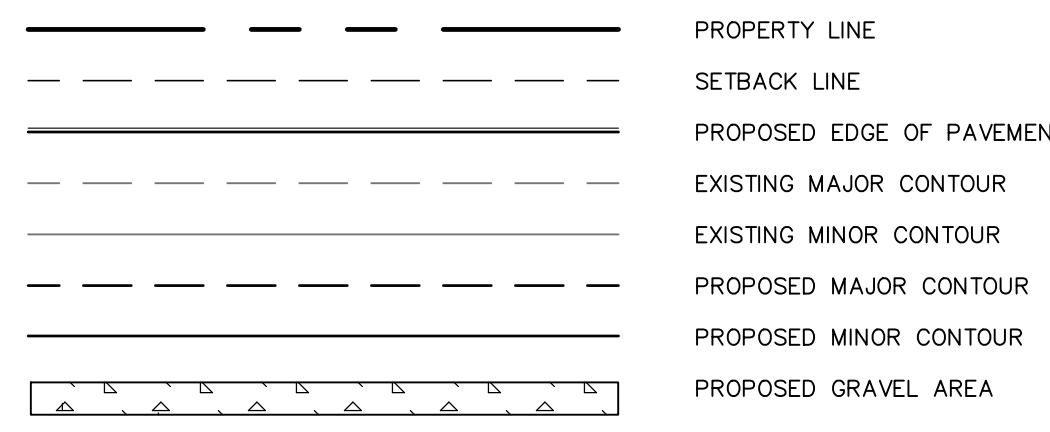
TW-439.00 BW-433.00

TW-439.00 BW-428.00

TW-439.00 BW-421.00

"USACOE" JURISDICTIONAL WETLAND AREA DELINEATED BY ECOLOGICAL SOLUTIONS, LLC

N/F
CARNATION R
L. 3387 P.
34 - 2 - 6
FM 2/0
MAP NO. 25



1. CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH. THE PERMITTING PROCESS MUST BE COMPLETED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE PERMITTING PROCESS MUST CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
2. ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH. THE TOWN OF NEWBURGH WILL CONDUCT VISUAL INSPECTIONS FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH INSPECTION DEPARTMENT.
3. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER AND SHALL BE MANUFACTURED OF POLYETHYLENE GLASS REINFORCED PLASTIC JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR SHALL BE APPROVED BY THE TOWN OF NEWBURGH INSPECTION DEPARTMENT WITH THE PIPE.
4. ALL SEWERMAN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH INSPECTION DEPARTMENT.
5. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE, AND ALL FITTINGS, SHALL BE SUBMITTED TO THE TOWN OF NEWBURGH INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL. THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR ANY WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

DOSING CALCULATIONS:

TOTAL PIPE VOLUME (FORCE MAIN): 950 LINEAL FEET X 0.121 GALLONS/FOOT = 61 GALLONS

DOSE VOLUME: 61 GALLONS X 1.00 = 61 GALLONS

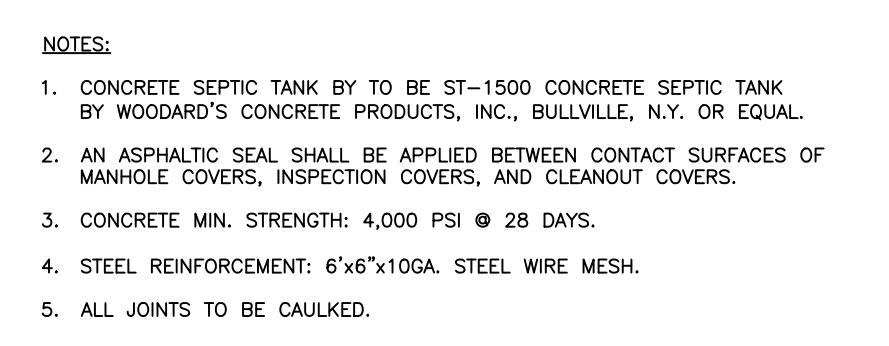
TOTAL PIPE VOLUME (DISTRIBUTION): 44 LINEAR FEET X 0.653 GALLONS/FOOT = 29 GALLONS

DOSE VOLUME: 29 GALLONS X 1.00 = 29 GALLONS

TOTAL PIPE VOLUME (ABSORPTION FIELD): 128 LINEAR FEET X 0.653 GALLONS/FOOT = 84 GALLONS

DOSE VOLUME: 84 GALLONS X 0.75 = 63 GALLONS

TOTAL DOSING VOLUME: 61 GALLONS + 29 GALLONS + 63 GALLONS = 153 GALLONS



PUMP DETAIL ITEM	DEPTH OF PUMP FLOAT (IN INCHES)
ONE DAY STORAGE	B=30" MIN.
HIGH WATER ALARM	C=3"
PUMP ON	D=5"
PUMP OFF	E=8"
DOSE VOLUME	15.3 GAL

Date:	OCTOBER 18, 2023
Revisions:	FEBRUARY 26, 2024 SEPTEMBER 10, 2024
CAD File:	210041-ENG.DWG
Layout:	SEPTIC
Sheet No.:	7 OF 11
Drawing No.:	C3D A- 21 - 0047 - 01

LANDSCAPING NOTES:

1. QUALITY ASSURANCE
- A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
- B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC. (AAN), UNLESS OTHERWISE SPECIFIED.
- C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS, PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED, AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS MUST BE OPEN TRUNKED, PLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HEELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
- D. SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL, WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
2. SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
- A. UNLESS OTHERWISE DIRECTED IN WRITING, SEED FROM MARCH 15 TO MAY 15, AND FROM AUGUST 15 TO OCTOBER 15.
- B. UNLESS OTHERWISE DIRECTED IN WRITING THE PLANTING OF TREES AND SHRUBS SHALL BE FROM MARCH 15 TO JUNE 1, AND FROM SEPTEMBER 1 TO NOVEMBER 15.
- C. PROCEED WITH AND COMPLETE SEEDING WORK AS RAPIDLY AS PORTIONS OF THE SITE BECOME AVAILABLE, WORKING WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.
- D. PROVIDE TEMPORARY ANNUAL RYEGRASS COVER FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
3. PRODUCTS:
- A. TOPSOIL : THE TOP 6" - 12" OF ROOTSTOCK MATERIAL WILL BE TAKEN FROM WETLAND DISTURBANCE AREAS AND PLACED AS BEDDING MATERIAL IN THE PROPOSED WETLAND MITIGATION AREA. IF ADDITIONAL TOPSOIL IS NEEDED USE IMPORTED TOPSOIL AS NOTED BELOW.
- B. IMPORTED TOPSOIL: PLACE TOPSOIL 6" TO 8" THICK CONFORMING TO THE FOLLOWING:
1. ORIGINAL LOAM TOPSOIL, WELL DRAINED HOMOGENOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE FOREIGN MATERIAL.
2. CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLE PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105° C.
3. CONTAINING A pH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
4. CONTAINING THE FOLLOWING WASHED GRADATIONS:
- | SIEVE DESIGNATION | % PASSING |
|-------------------|-----------------------------|
| 100 | 100 |
| 1/4" | 97 - 100 |
| No. 200 | 20 - 65 (OF THE 1/4" SIEVE) |
- C. SEED MIXTURE: SUPPLEMENTAL WETLAND SEED MIX IS TO BE APPLIED TO ALL MITIGATION AREA AT 4 POUNDS OF SEED PER ACRE AND CONSIST OF THE FOLLOWING :

NORTHEAST WETLAND DIVERSITY SEED MIX

% BY WT.	SPECIES	VARIETY
26.66%	EUPATORIUM PERFOLIATUM	BONESET
20.80%	VERBENA HASTATA	BLUE VERVAIN
19.75%	PANICUM DICHOTOMIFLORUM	SHOOTY PANIC-GRASS
8.89%	SOLIDAGO RUGOSA	WRINKLED GOLDENROD
8.74%	EUPATORIUM MACULATUM	JOE PYE WEED
6.65%	EUTHAMIA GRAMINIFOLIA	GRASS LEAF GOLDENROD
4.59%	POLYGONUM PENSYLVANICUM	PENNSYLVANIA SMARTWEED
2.80%	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER
0.79%	BIDENS CERNUA	NODDING BEGGAR'S TICK
0.21%	ASOLEPIAS INCARNATA	SWAMP MILKWEED
0.12%	IRIS VERSICOLOR	BLUE FLAG

D. LIME: NATURAL LIMESTONE CONTAINING AT LEAST 85% OF TOTAL CARBONATES, GRIND TO SUCH FINENESS THAT AT LEAST 50% PASSES A 10-MESH SIEVE AND AT LEAST 20% PASSES A 100-MESH SIEVE.

E. FERTILIZER:

1. FOR SPRING SEEDING, COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT, CONTAINING 10% NITROGEN, 6% AVAILABLE PHOSPHORUS, AND 4% WATER SOLUBLE POTASH (10-6-4).
2. FOR FALL SEEDING, COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT, CONTAINING 5% NITROGEN, 10% AVAILABLE PHOSPHORUS, AND 5% WATER SOLUBLE POTASH (5-10-5).
3. FOR FINAL FERTILIZING, IF APPLIED IN SPRING SEASON, SHALL BE A SLOW RELEASE COMMERCIAL FERTILIZER, GRANULAR, WITH HIGH NITROGEN, 38% URAMITE OR APPROVED EQUAL. IF APPLIED IN FALL SEASON, SHALL BE AS SPECIFIED IN (3.D.2) ABOVE.

F. TREES AND SHRUBS:

1. PLANTING SOIL MIXTURE: SHALL BE PREMIXED IN BULK, AND CONTAIN THE FOLLOWING BY VOLUME:
- 20 PARTS TOPSOIL
 - 10 PARTS PEAT MOSS
 - 1 PART BONE MEAL
2. PEAT MOSS: BROWN TO BLACK IN COLOR, WEED AND SEED FREE, DRIED SPHAGNUM PEAT MOSS, CONTAINING NOT MORE THAN 3% MINERAL ON A DRY BASIS AND CONFORMING TO NYSDOT 713-20.
3. BONE MEAL: FINELY GROUND, RAW, MINIMUM 45% NITROGEN AND 20% PHOSPHORIC ACID. IT SHALL BE DELIVERED IN SEALED BAGS SHOWING THE MANUFACTURER'S GUARANTEED ANALYSIS.
4. STAKES: 8 FT LONG, 2 IN WIDE WOOD STAKES.
5. HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.
6. MULCH: GROUND OR SHREDDED BARK, MEDIUM SIZE FROM HARD-WOOD TREES, NO PIECES OVER 2 INCHES GREATEST DIMENSION. FREE FROM SAWDUST, STONES, DEBRIS, AND DETERIORUS MATERIALS. STANDARD OF QUALITY SHALL BE MANUFACTURED BY HYDE PARK PRODUCTS CO., OF NEW ROCHELLE, NEW YORK, OR APPROVED EQUAL.
7. PROVIDE COMPLETE COMMERCIAL FERTILIZER, OF NEUTRAL CHARACTER, WITH SOME ELEMENTS DERIVED FROM ORGANIC SOURCES, CONTAINING AT LEAST 10% AVAILABLE PHOSPHORIC ACID, 3% TO 5% TOTAL NITROGEN, AND 3% TO 5% SOLUBLE POTASH.

CONSTRUCTION NOTES:

1. ALL DISTURBED AREAS ARE TO BE REPAIRED INCLUDING BRINGING GRADES BACK TO ORIGINAL CONDITION BY IMPORTING TOPSOIL AND SUPPLYING NECESSARY SOIL AMENDMENTS PRIOR TO SEEDING AND WATERING.

HYDROLOGY OF THE MITIGATION AREA

DEEP TESTS IN THE MITIGATION AREA WERE EXAMINED TO PREDICT THE WATER LEVELS AVAILABLE FOR THE MITIGATION AREA. THE RESULTS OF THESE BORINGS GENERALLY CONFIRMED THE SOIL STRATIFICATION SUGGESTED IN THE ORANGE COUNTY SOIL SURVEY. THE FIELD INVESTIGATION REVEALED THAT GRAVELLY SILT LOAM APPROXIMATELY 9 INCHES DEEP EXISTS WITHIN THE MITIGATION AREA. BENEATH THIS LAYER EXISTS ABOUT 60 INCHES OF CHANNERY SILT LOAM.

THE SOIL SURVEY INDICATES THAT THE MITIGATION AREA IS CHARACTERIZED BY SOIL OF THE ERIE SERIES WITH AN INCLUSION OF ALDEN SOILS.

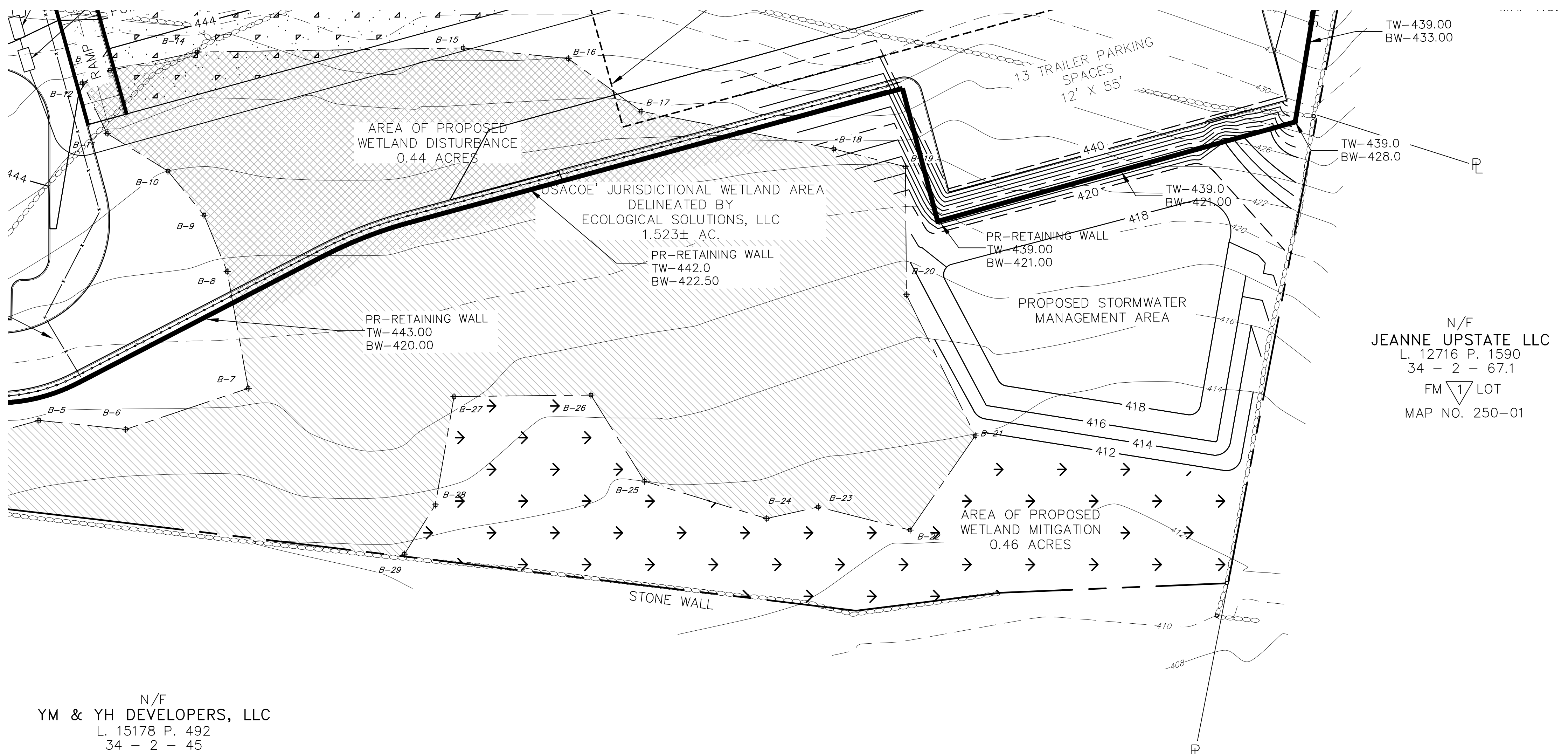
THE ERIE SERIES CONSISTS OF A SOMEWHAT POORLY DRAINED LOAM WITH A FRAGIPAN AT 21 INCHES BELOW THE SOIL SURFACE. ERIE SOILS ARE SEASONALLY SATURATED EACH YEAR. PERMEABILITY IS MODERATELY SLOW OR SLOW. BECAUSE OF THE MODERATELY SLOW OR SLOWLY PERMEABLE FRAGIPAN, THESE SOILS ARE WET EARLY IN SPRING AND AFTER HEAVY RAINS. THEY OFTEN REMAIN WET UNTIL LATE IN SPRING AND ARE OCCASIONALLY WET IN FALL. SOME AREAS ALSO RECEIVE SEEPAGE FROM NEARBY SLOPES. IT IS ANTICIPATED THAT SURFACE WATER WILL COLLECT IN THE MITIGATION AREA IN SUFFICIENT AMOUNTS TO SUPPORT WETLAND VEGETATION.

THE EXISTING WETLAND AND INTER-CONNECTING STREAM WILL SERVE AS A "REGENERATION NUCLEUS" FROM WHICH VEGETATIVE COVER CAN EXPAND RADIALY BY VEGETATIVE REPRODUCTION INTO THE PROPOSED MITIGATION AREA. SINCE DIFFERENT PLANT SPECIES WITHIN THE SAME WETLAND MAY OFTEN EXHIBIT A WIDE RANGE OF MOISTURE REQUIREMENTS AND FLOODING TOLERANCES, THE PROPOSED ELEVATIONAL RANGES WILL PROVIDE A MICRO-TOPOGRAPHIC MOISTURE GRADIENT CONDUCIVE TO A HIGH SPECIES DIVERSITY.

PLANTING SCHEDULE

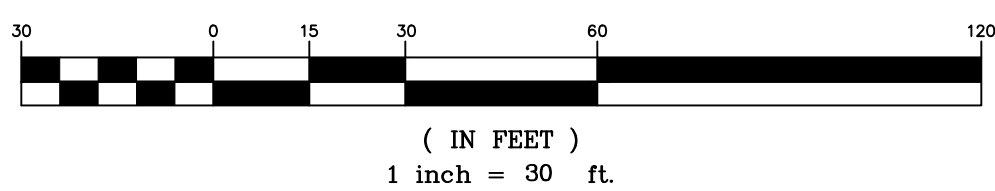
SYM.	BOTANICAL NAME	COMMON NAME	COND.	SIZE	SPACING	QTY
RM	ACER RUBRUM	RED MAPLE	#5 CONT	6'-8' HT	10'-0" O.C.	162
PO	QUERCUS PALUSTRIS	PIN OAK	#5 CONT	3'-4' HT	10'-0" O.C.	165
SWO	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	6'-8' HT	10'-0" O.C.	150
PW	SAUX DISCOLOR	PUSSY WILLOW	#5 CONT	3' - 4' HT	15'-0" O.C.	201
WB	ILEX VERTICILLATA	WINTERBERRY	#5 CONT	3' - 4' HT	15'-0" O.C.	258
HBB	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	#5 CONT	3' - 4' HT	15'-0" O.C.	198

PLANTING LEGEND



N/F
YM & YH DEVELOPERS, LLC
L. 15178 P. 492
34 - 2 - 45

GRAPHIC SCALE



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED GRAVEL AREA

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 18, 2023
REVISION: FEBRUARY 26, 2024
SEPTEMBER 10, 2024

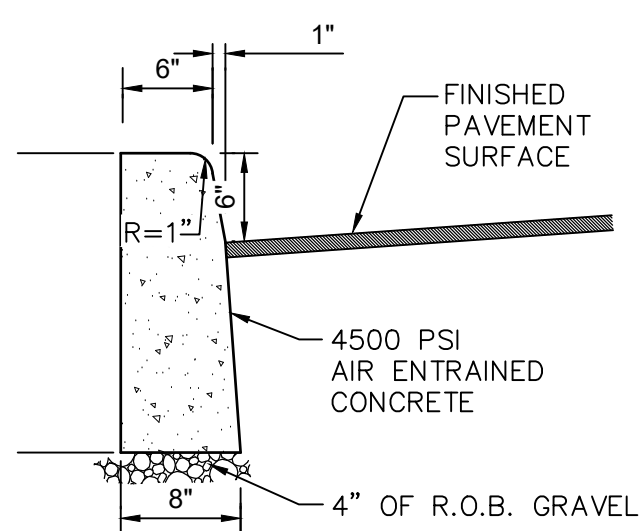
WETLAND MITIGATION PLAN AND DETAILS
PREPARED FOR

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

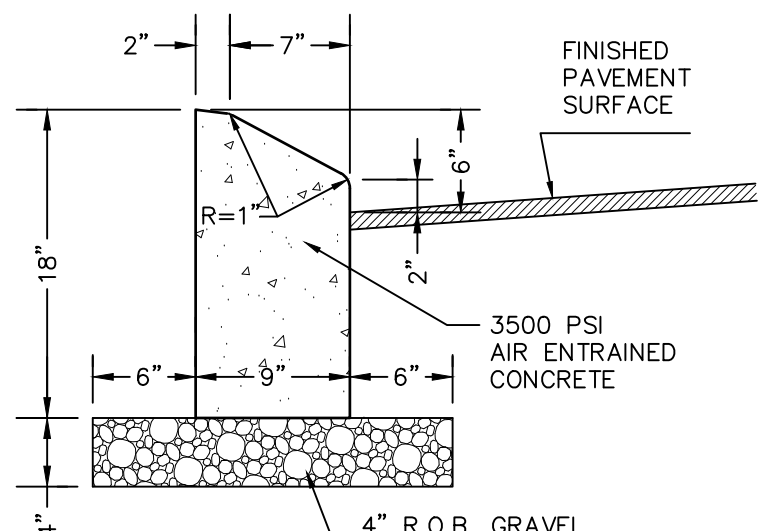
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Checked By:
Scale: 1" = 30'
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Drawing No.: A- 21 - 0047 - 01

CAD FILE: 210041-ENG.DWG
LAYOUT: WETLAND MIT
SHEET NO.: 8 OF 11



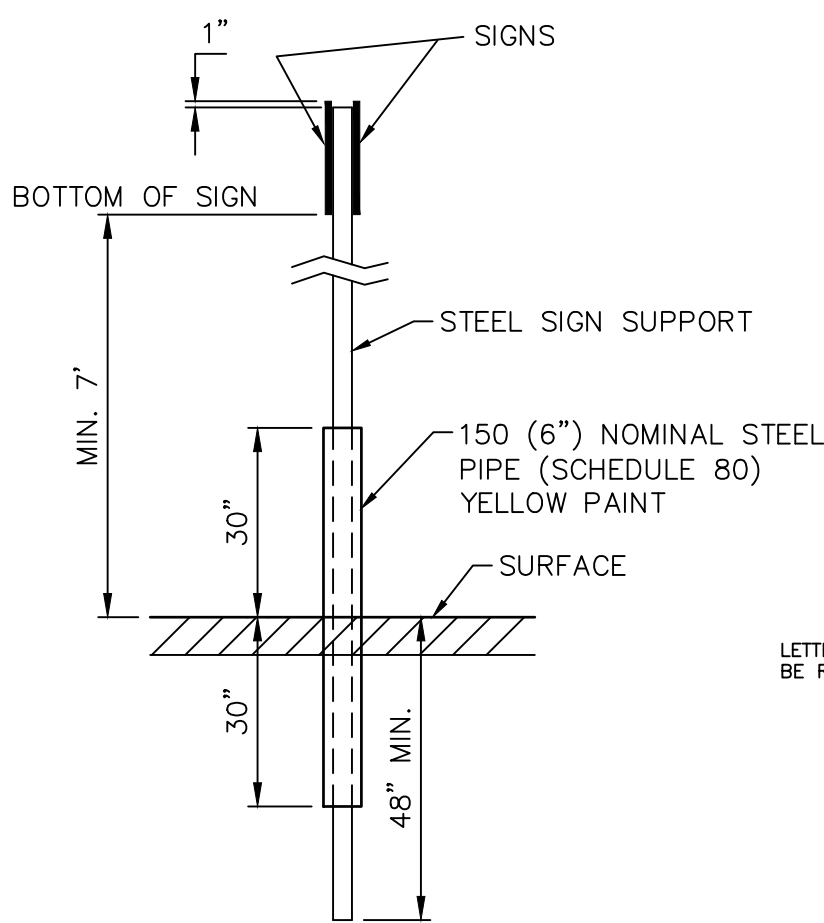
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

CONCRETE CURB
NOT TO SCALE

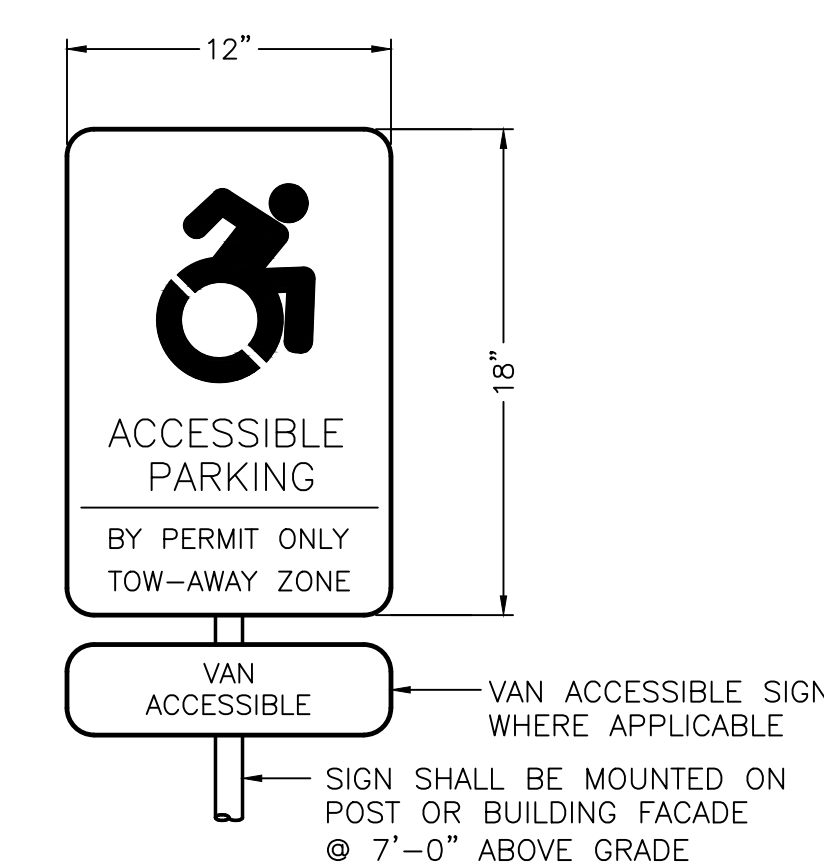


CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

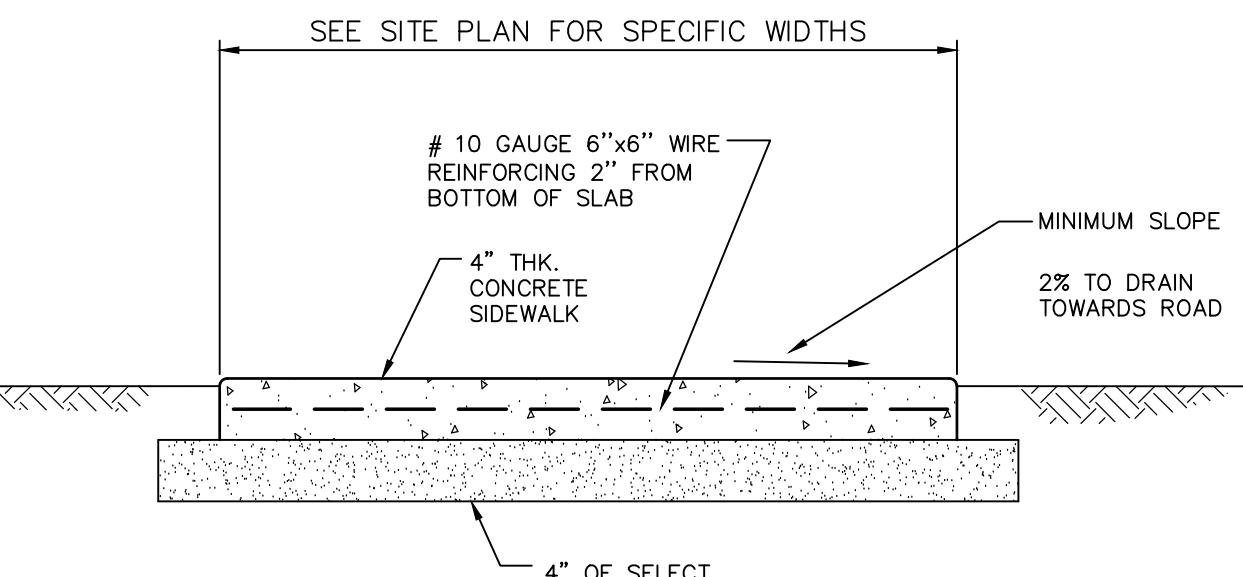
CONCRETE CURB DETAIL (MOUNTABLE)
NOT TO SCALE



POST BASE DETAIL
NOT TO SCALE

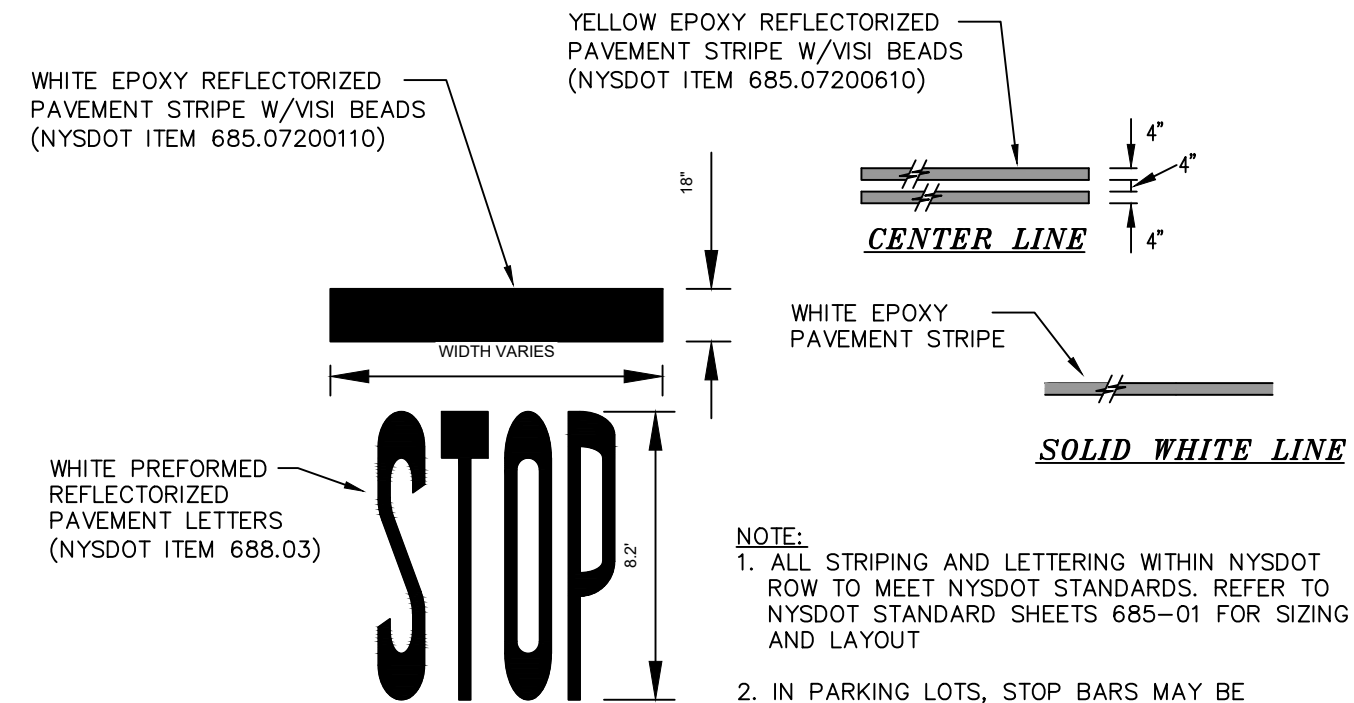


HANDICAP SIGN
NOT TO SCALE

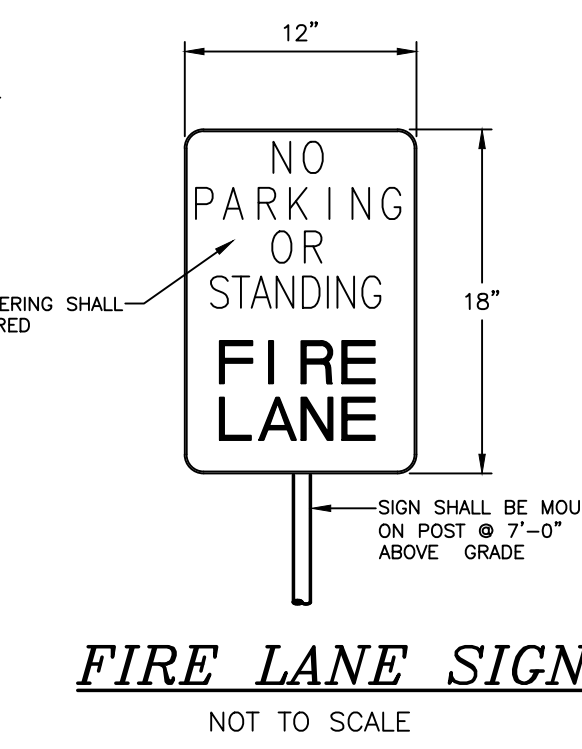


- NOTES:
1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 2. CONTRACTION JOINTS 1" DEEP HAVING 1/2" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 3. EDGES SHALL HAVE 1/2" RADIUS.
 4. USE 4500 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.

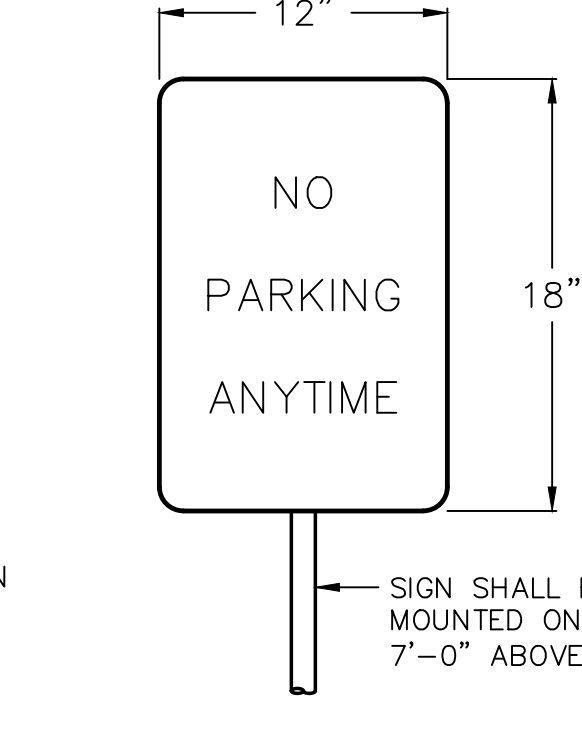
STANDARD SIDEWALK DETAIL
NOT TO SCALE



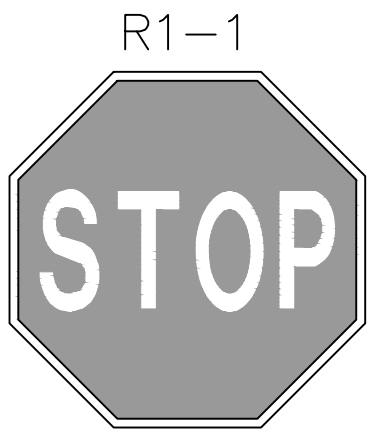
STRIPING DETAILS
NOT TO SCALE



FIRE LANE SIGN
NOT TO SCALE



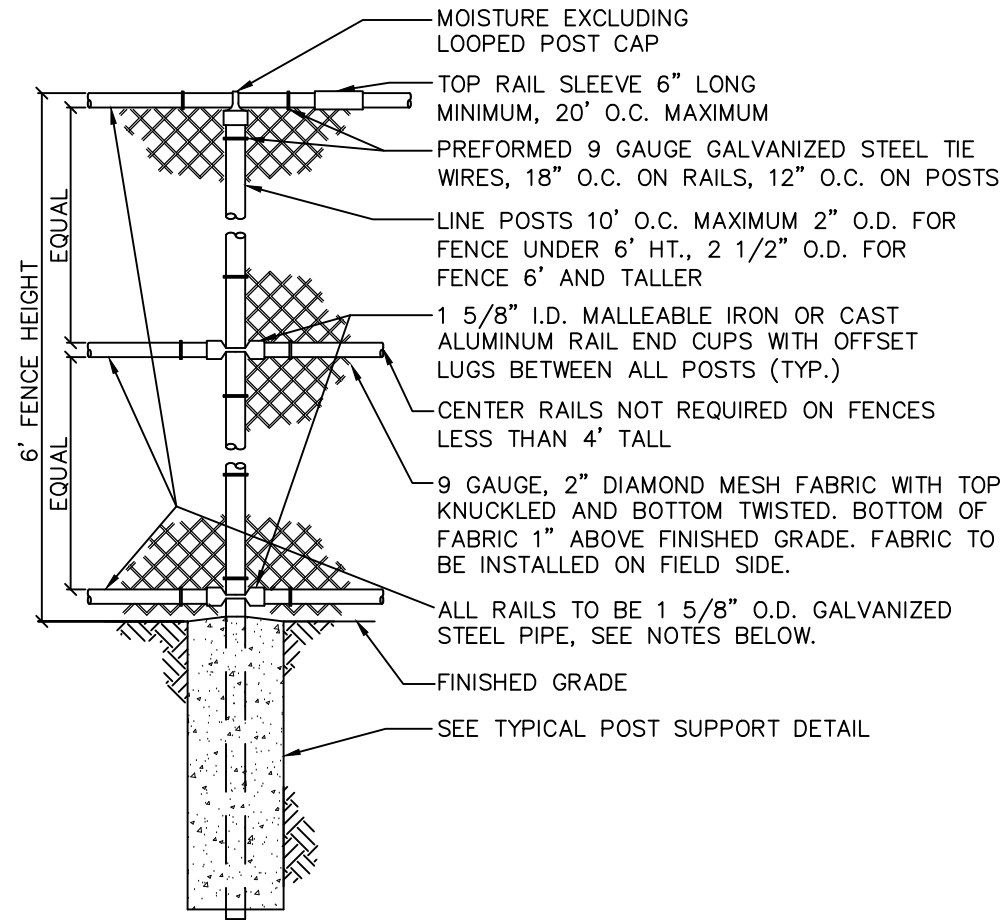
NO PARKING SIGN
NOT TO SCALE



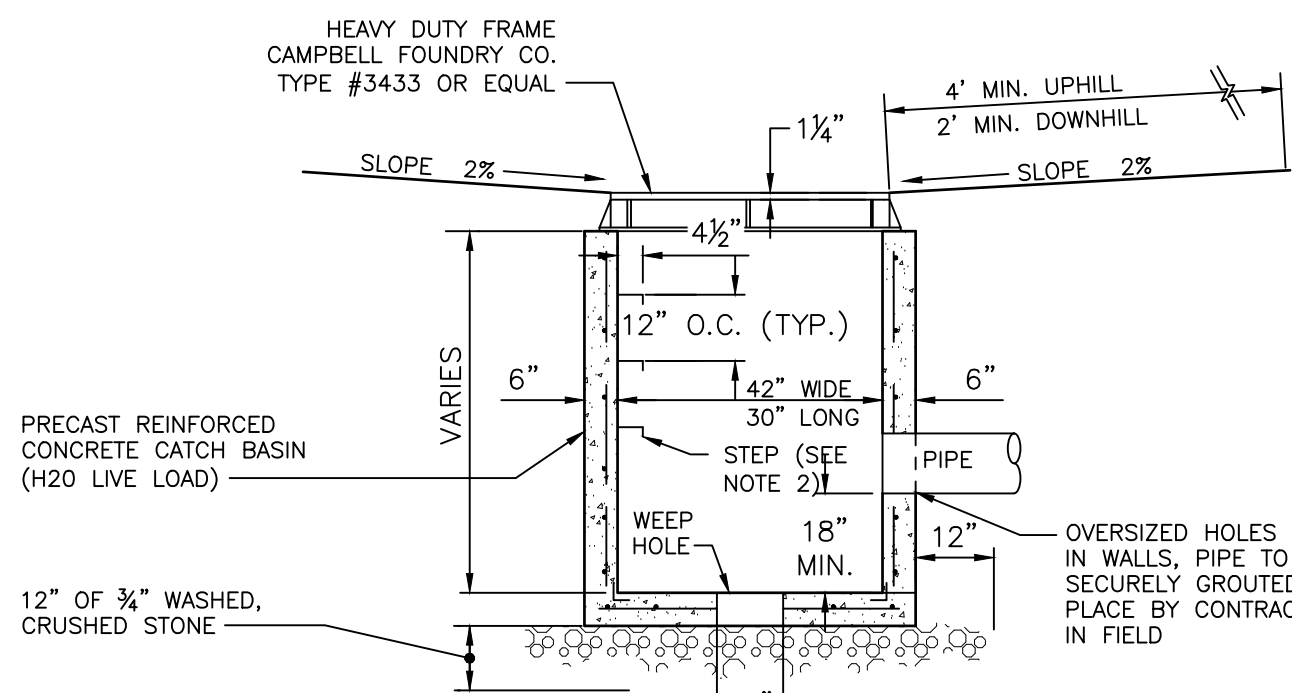
REGULATORY SIGNS



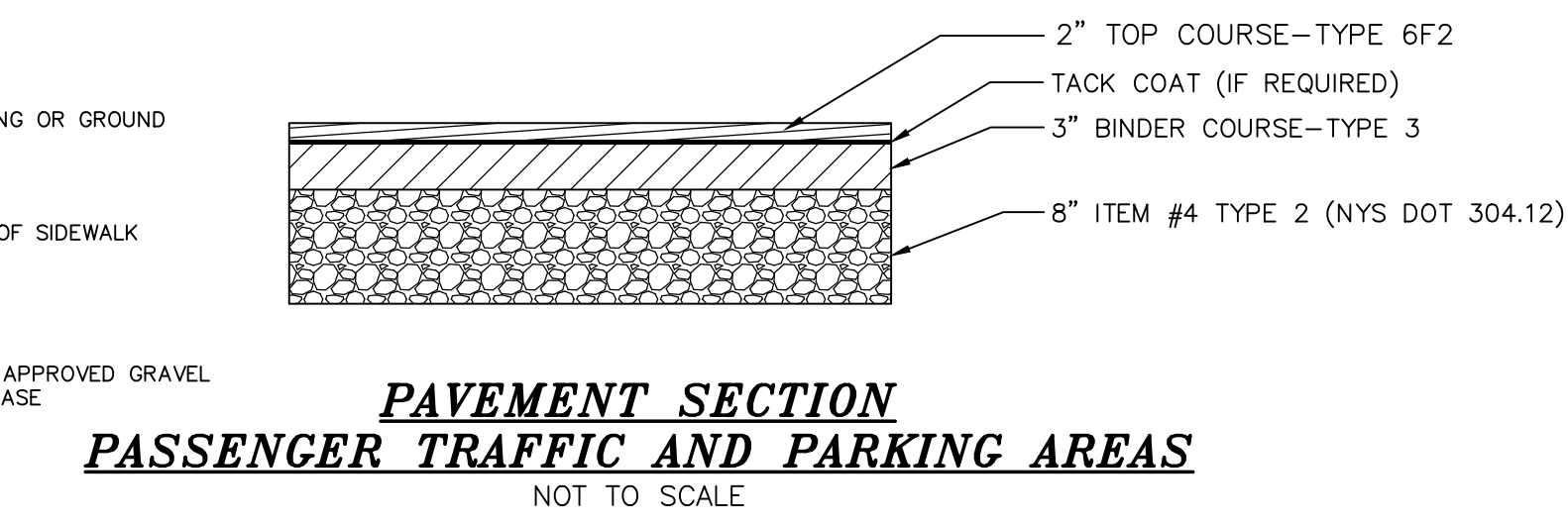
NYS COMPLIANT ACCESSIBILITY SYMBOL



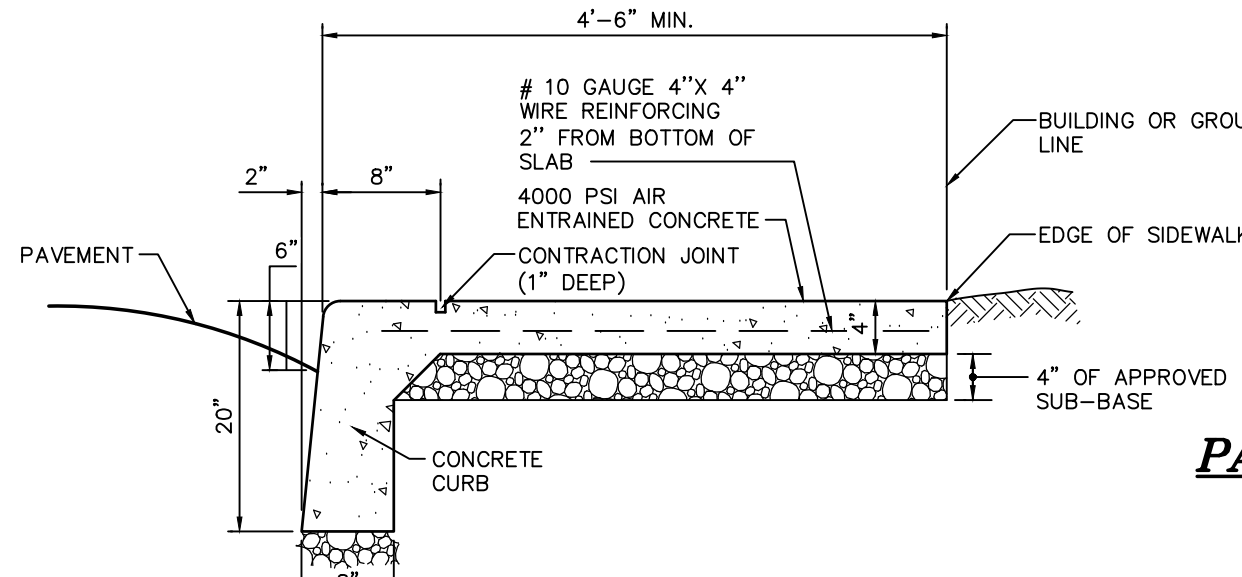
CHAIN LINK FENCE DETAIL
NOT TO SCALE



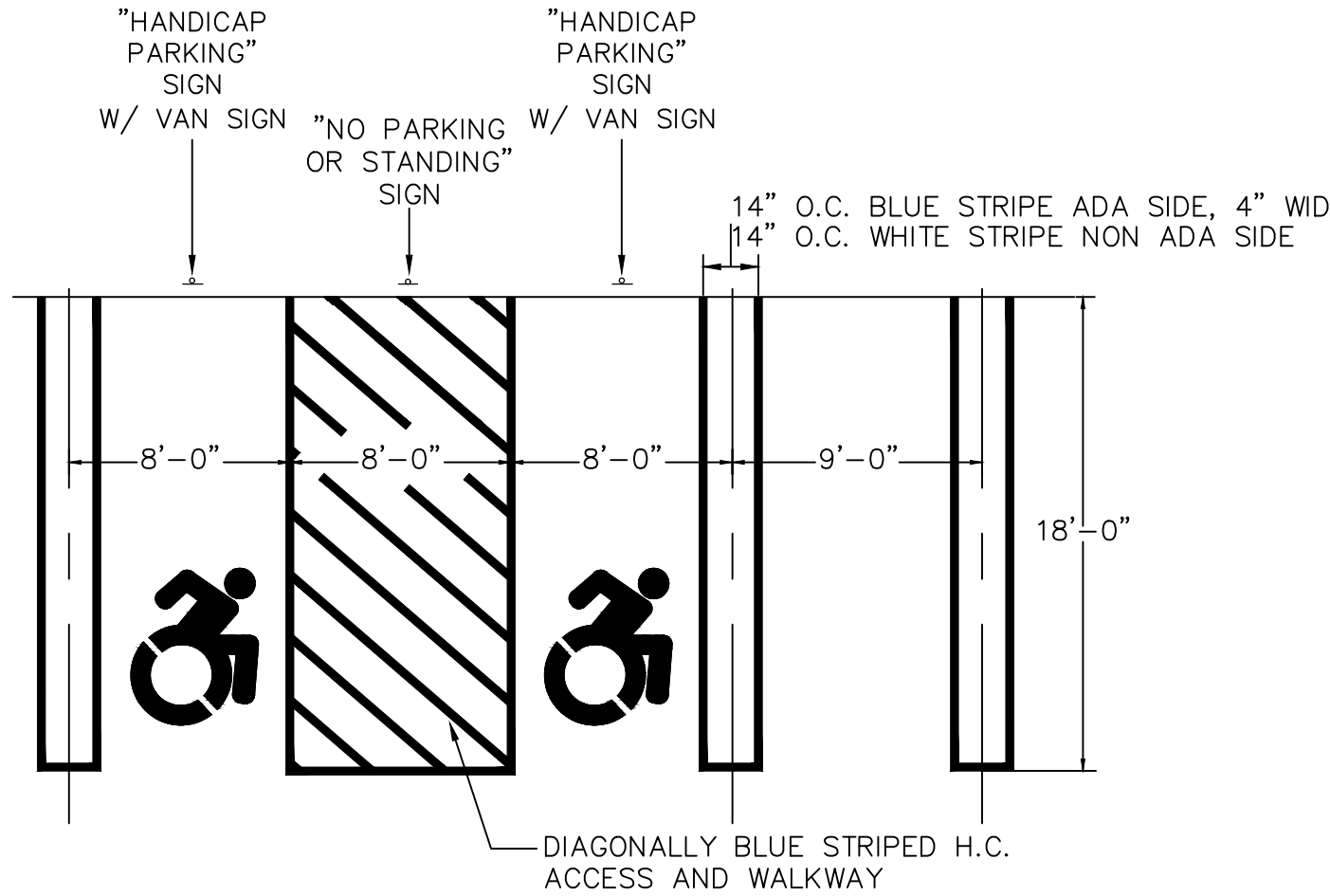
FLAT TOP CATCH BASIN



PAVEMENT SECTION
PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE

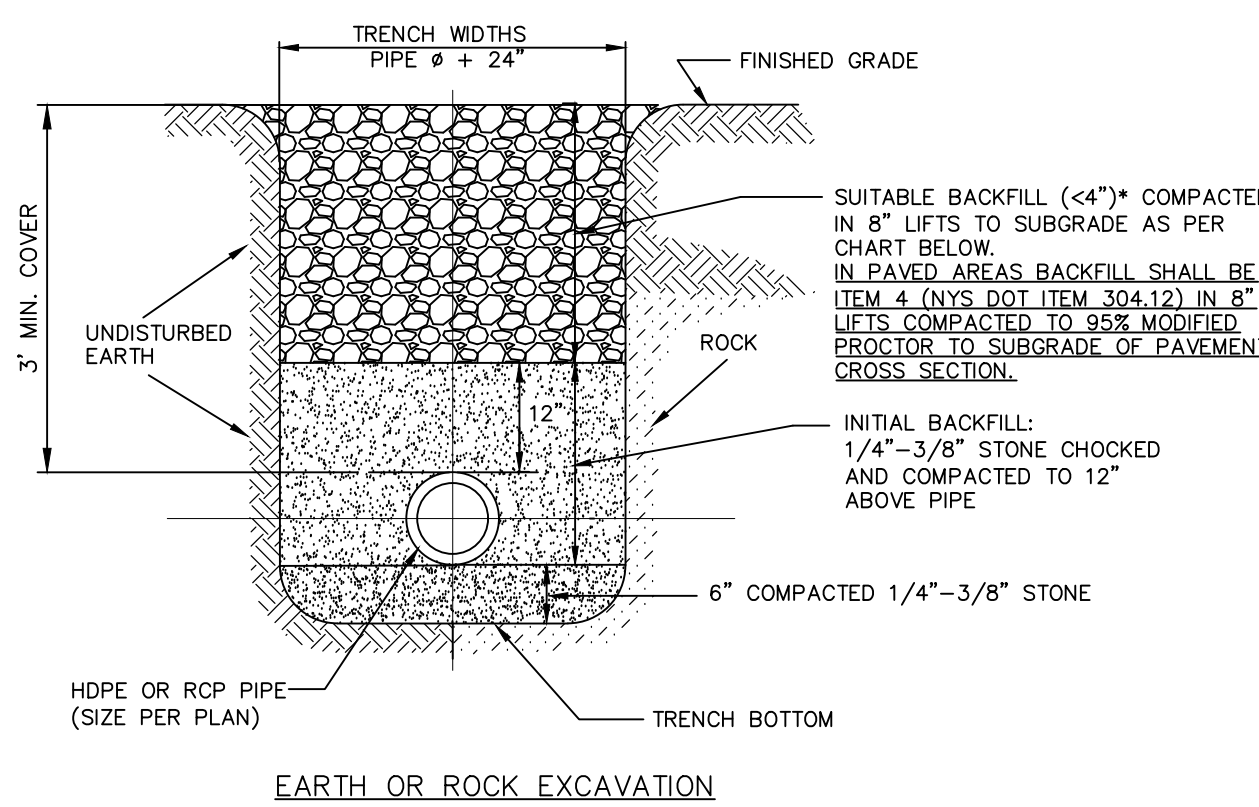


MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE



ADA AND TYPICAL PARKING SPACE STRIPING DETAIL
NOT TO SCALE

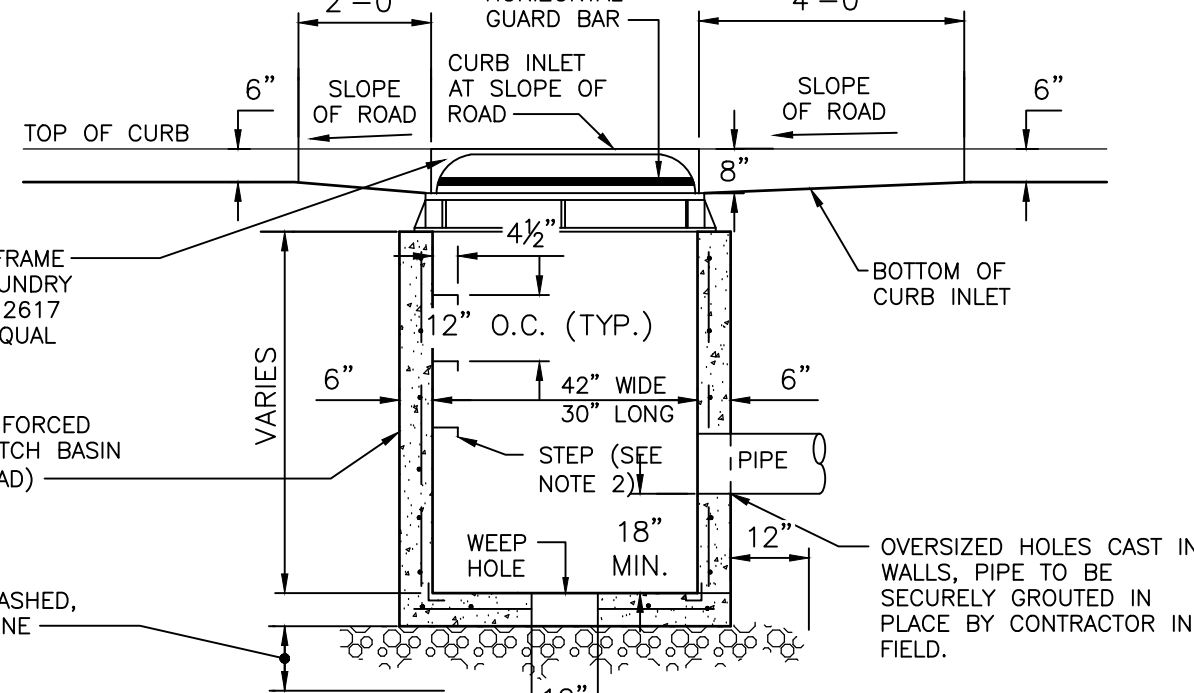
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



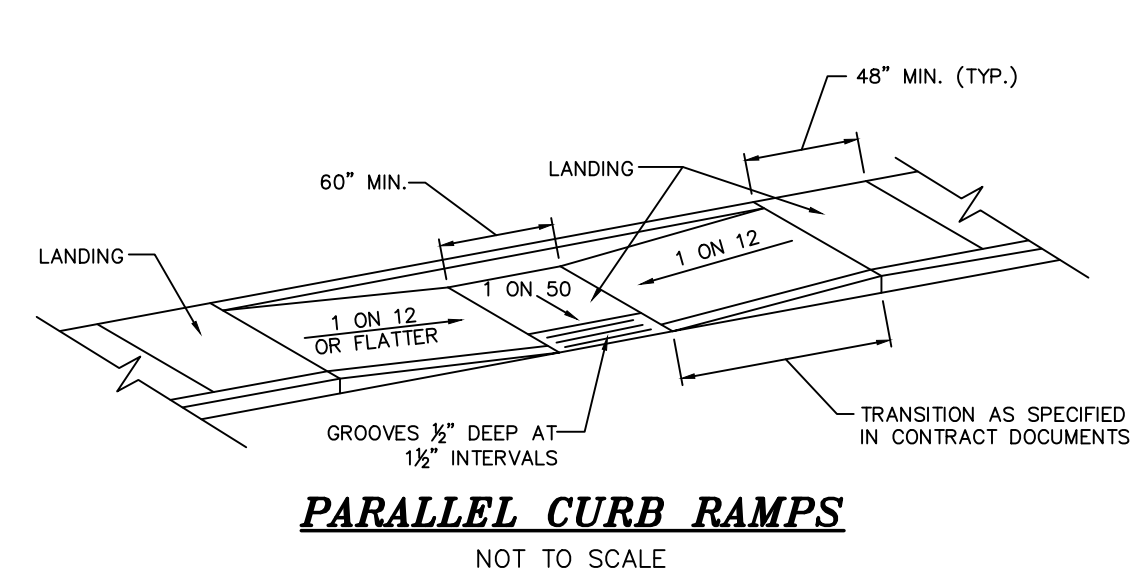
ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
DESCRIPTION	ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	—	5	56
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED.
* BACKFILL SHALL CONTAIN NO STONES OVER 4" IN ANY DIMENSION.

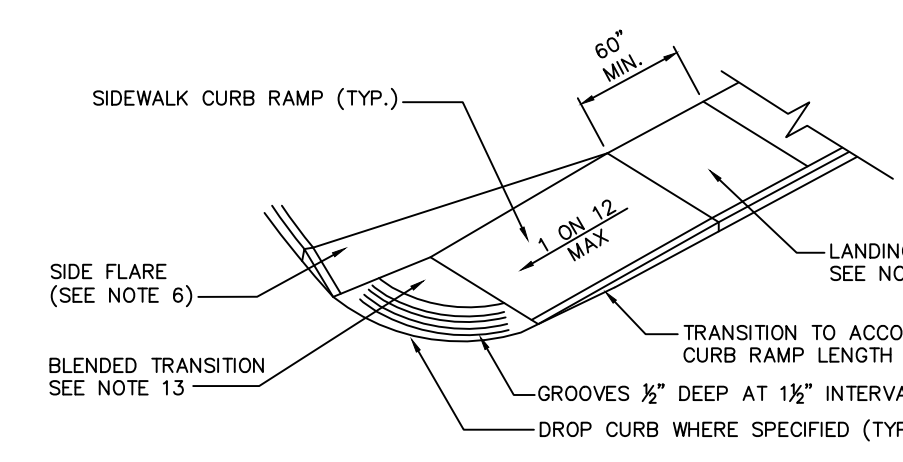
STORM SEWER TRENCH CROSS SECTION
NOT TO SCALE



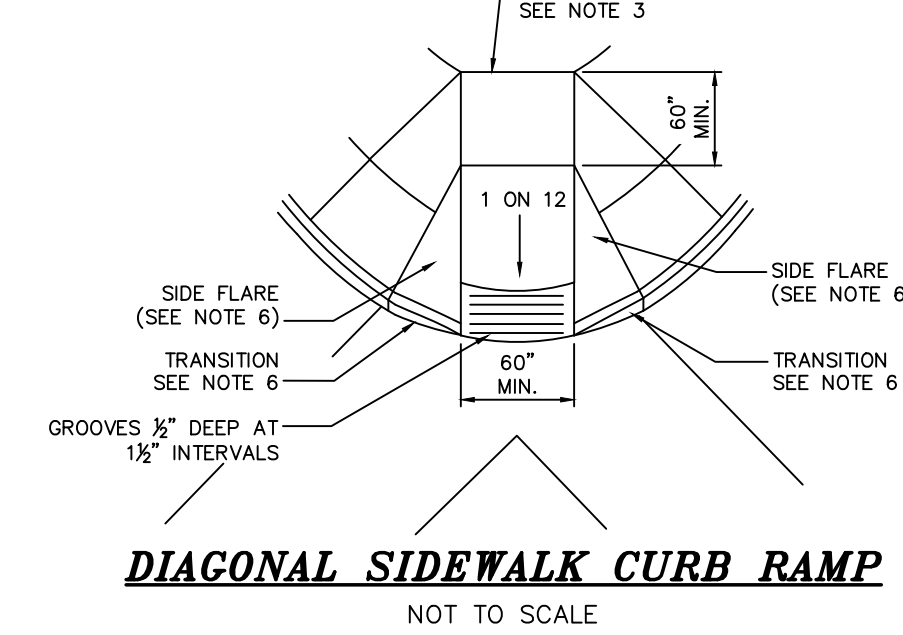
CURB TOP CATCH BASIN



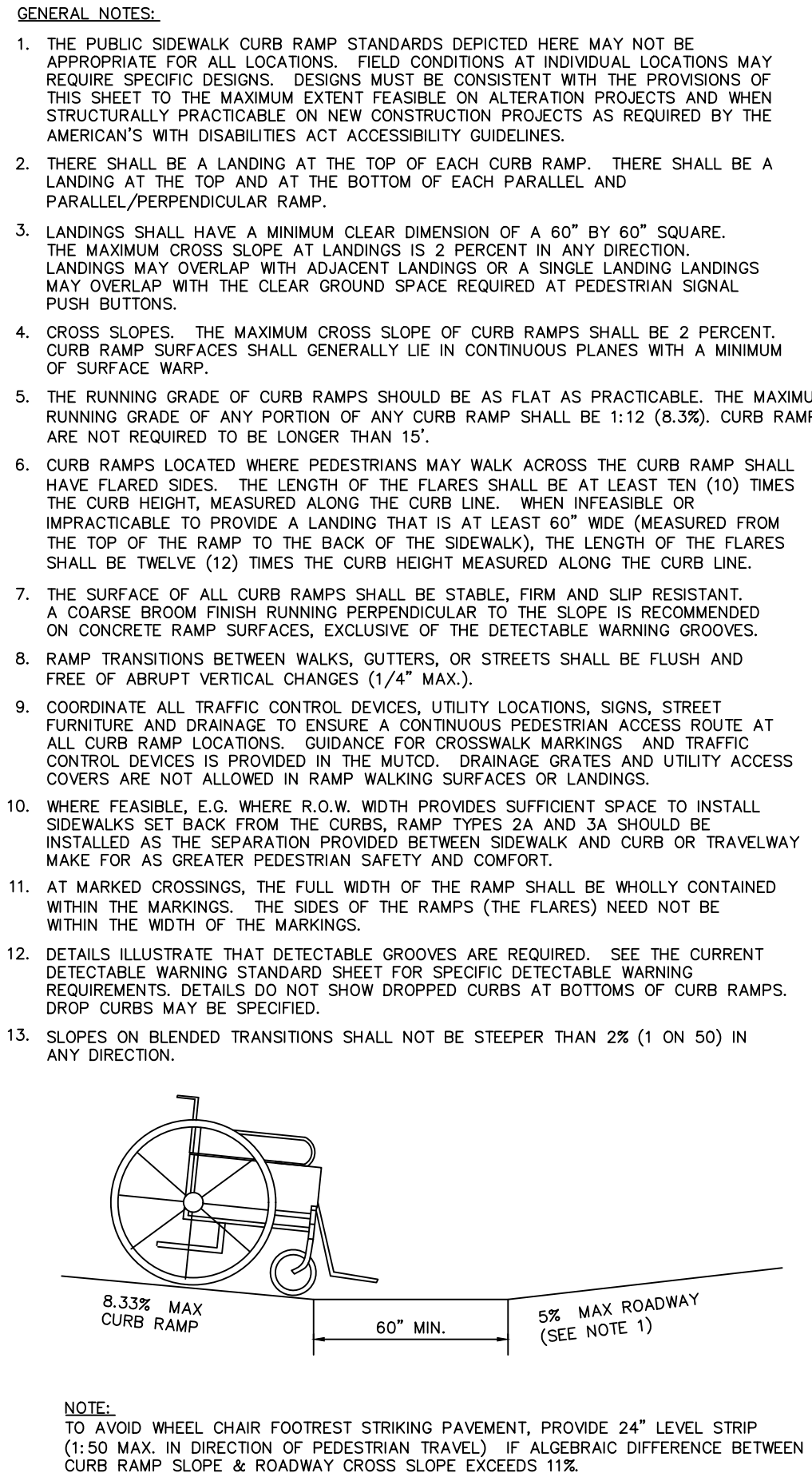
PARALLEL CURB RAMP
NOT TO SCALE



SIDEWALK CURB RAMP
NOT TO SCALE

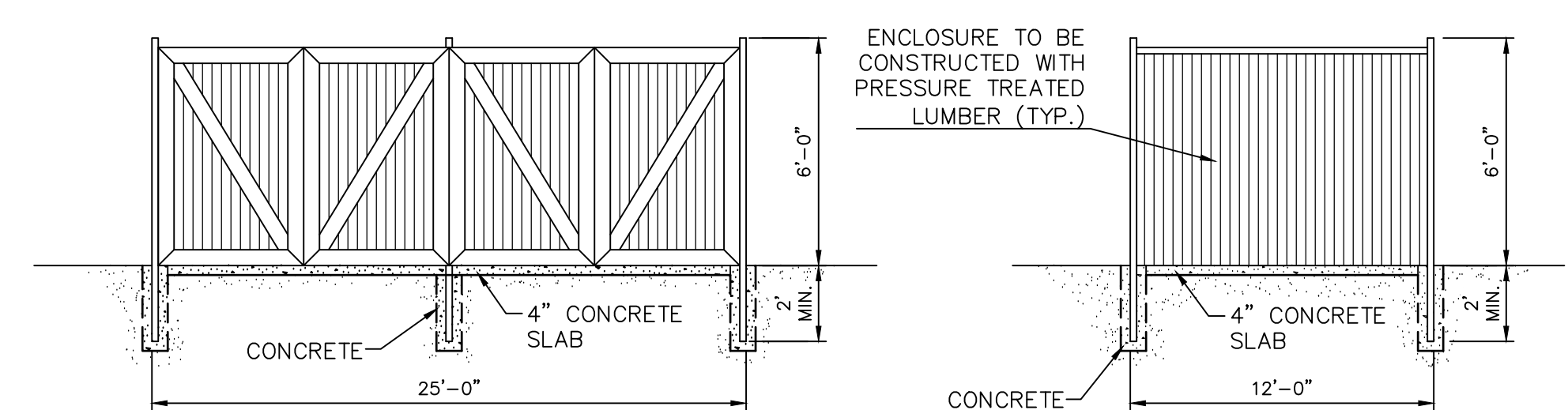


DIAGONAL SIDEWALK CURB RAMP
NOT TO SCALE



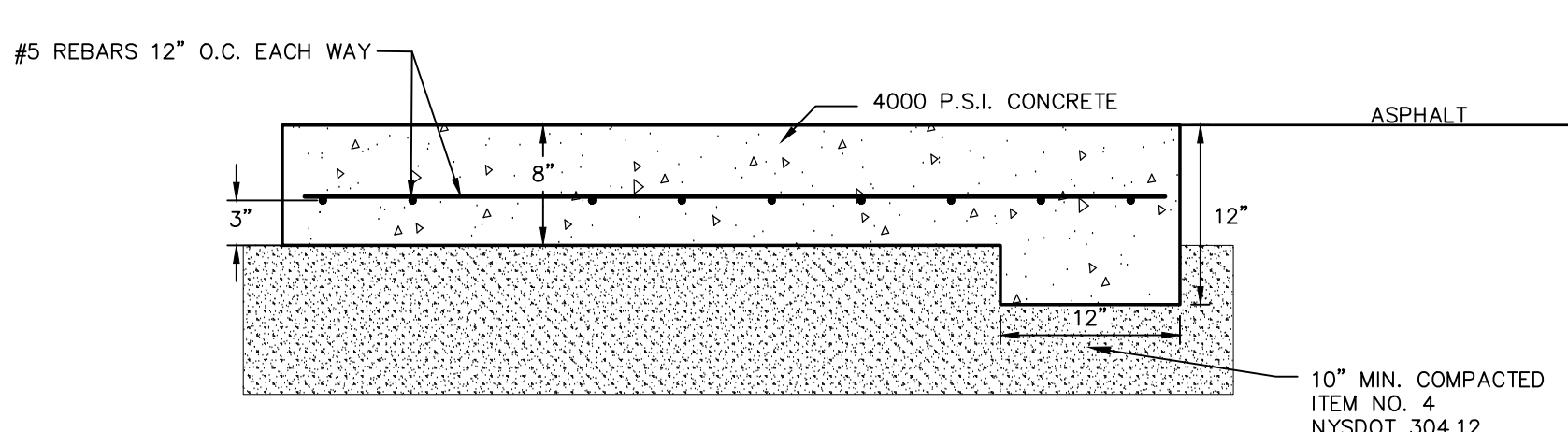
COUNTER SLOPE CONDITIONS
NOT TO SCALE

CURB RAMP DETAILS



PICK UP ENTRANCE
ENCLOSED SIDES

REFUSE STORAGE ENCLOSURE DETAIL
NOT TO SCALE



- NOTES:
1. CONCRETE APRON SHALL BE INCREASED TO 12" THICKNESS / 12" WIDE WHERE APRON ADJOINS ASPHALT.
 2. ITEM NO. 4 SUBBASE TO BE COMPACTED TO 95% PROCTOR.
 3. CONCRETE SHALL BE 4000 PSI 5% AIR ENTRAINED.
 4. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR APPROVED MATERIAL AND CONTRACTION JOINTS 1" DEEP SHALL BE PLACED. SEE CONCRETE APRON JOINT DETAIL FOR PLACEMENT.
 5. CONCRETE SHALL BE CURED AND SEALED. REFER TO PENKSE SPECIFICATIONS FOR REQUIREMENT.
 6. BROOM FINISH TOP SURFACE.

DUMPSTER ENCLOSURE CONCRETE PAD DETAIL
NOT TO SCALE

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- NOTES:
1. CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
 2. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT
 3. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.

CATCH BASINS
NOT TO SCALE

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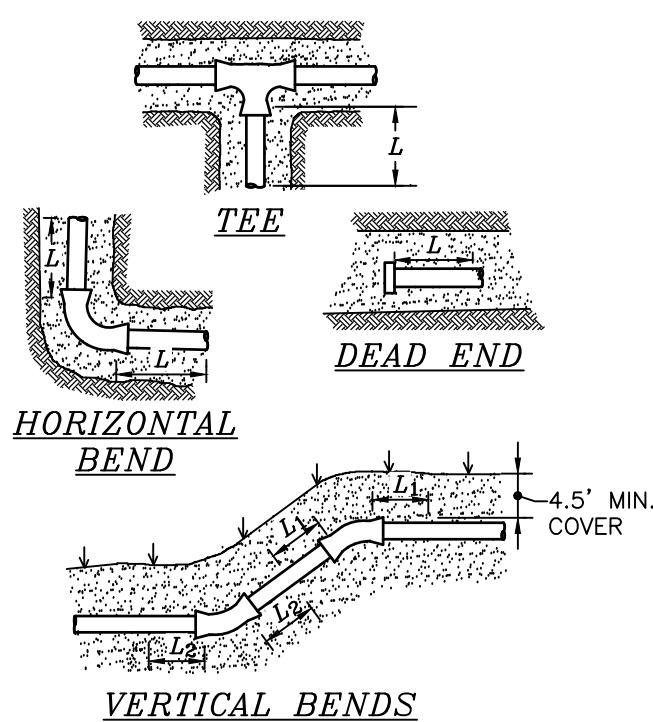
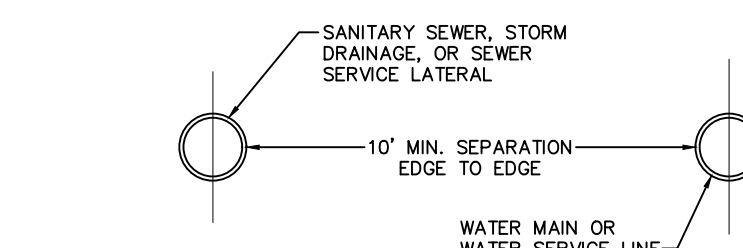
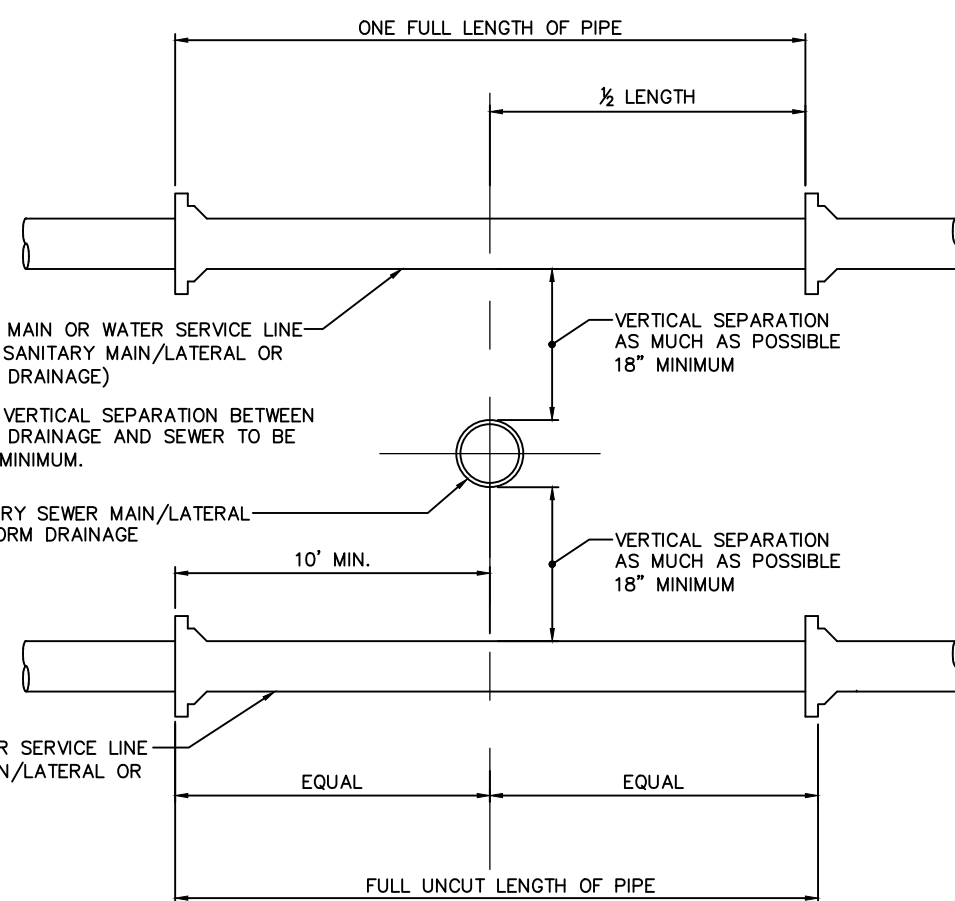
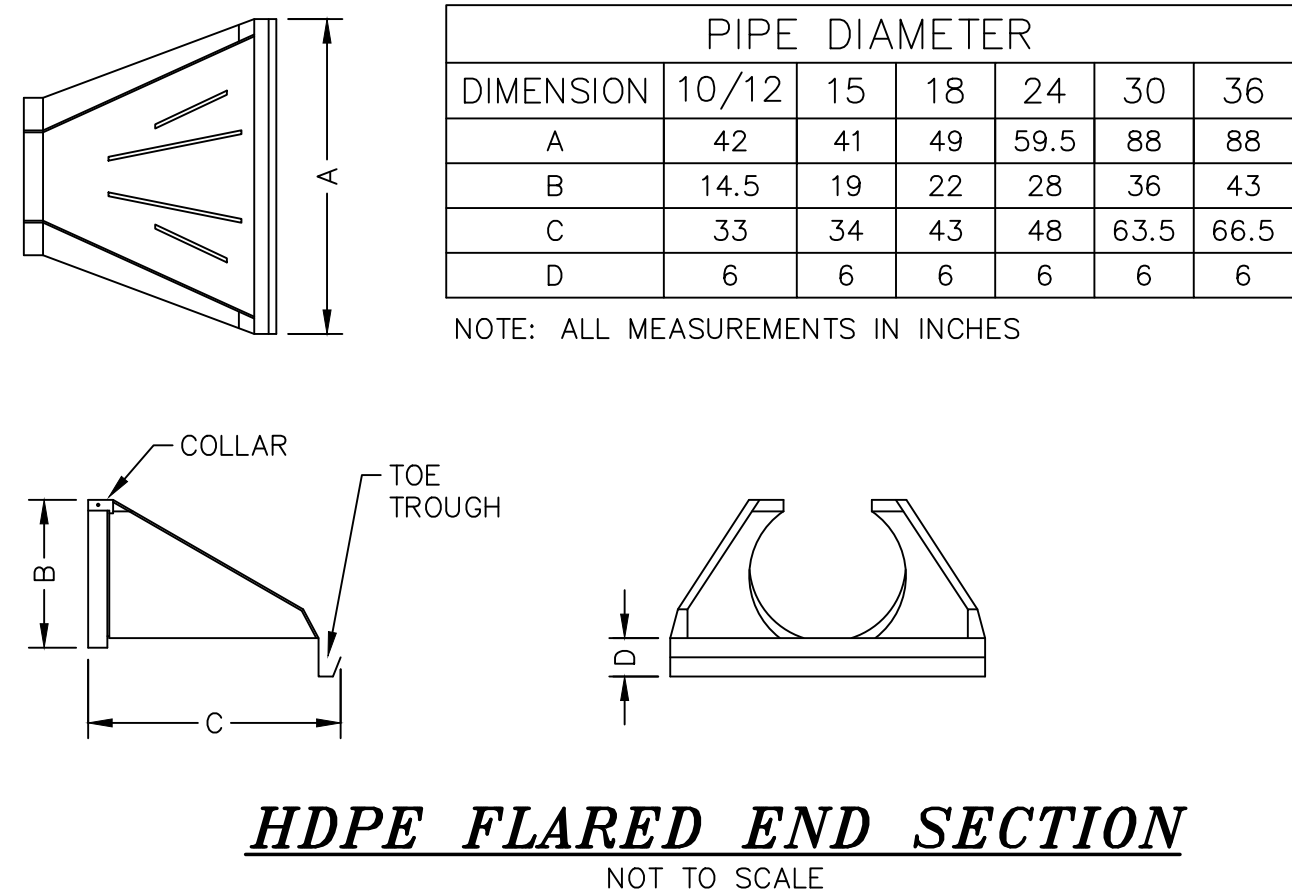
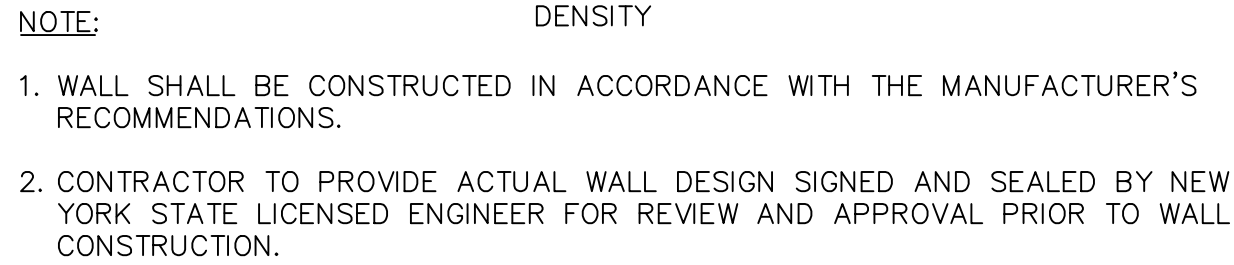
Date: OCTOBER 18, 2023
Revision: FEBRUARY 26, 2024
Sheet No.: 10 OF 11
Drawing No.: C30
A- 21 - 0047 - 01

CONSTRUCTION DETAILS 1
PREPARED FOR

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW
Checked By:
Scale: N.T.S.
Tax Map No.: 34 - 2 - 29.1



ALL REQUIRED JOINT RESTRAINT SHALL BE MEGALUG RETAINING GLANDS AS MANUFACTURED BY EBAA IRON, OR APPROVED EQUAL.

RESTRAINED JOINT DETAILS
NOT TO SCALE

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