



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** MKJC REALTY, LLC  
**PROJECT NO.:** 2023-11  
**PROJECT LOCATION:** SECTION 35, BLOCK 3, LOT 3.22/ NYS ROUTE 32  
**REVIEW DATE:** 15 DECEMBER 2023  
**MEETING DATE:** 21 DECEMBER 2023  
**PROJECT REPRESENTATIVE:** LANC & TULLY ENGINEERS

1. Subsurface sanitary sewer disposal system appears to be closer than 10 feet to the property line. Ten-foot separation between property lines are required for subsurface sanitary sewer disposal systems.
2. Stormwater Facilities Maintenance Agreement will be required.
3. The SWPPP identified a discharge from the under-parking storage sand filter of 6.71 cubic feet per second for the 100 Year Storm Event. Flow has been directed to an adjoining property stormwater system which contains 6 inch HDPE pipe and a swale which similarly contains 6 inch HDPE pipe. This volume will not be able to be conveyed to a natural water course.
4. Appropriate easements for the Bio-retention Facility located off-site must be provided.
5. Any approvals should include the re-location of the fence which currently extends off the self-storage facility onto this lot in the vicinity of the proposed subsurface sanitary sewer disposal system.
6. The proprietary word *presby* continues to appear in the system design for the subsurface sanitary sewer disposal system in the application rate.
7. NYSDOT approval for connection to the Town water system is required.
8. The existing monument flag pole continues to be depicted on DOT property.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines', written in a cursive style.

Patrick J. Hines  
Principal  
PJH/kbw

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



December 11, 2023

Town of Newburgh Planning Board  
Mr. John Ewasutyn - Chairman  
Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

Re: Site Plan for MKJC Realty LLC  
SBL: 35-3-3.22  
Planning Board # 2023-11

Dear Chairman Ewasutyn and Planning Board Members:

Enclosed are ten (10) copies of the following materials for continued review and approval:

- Site Plan entitled "Site Plan for MKJC Realty, Inc." last revised on December 11, 2023
- Retaining Wall Plan Design entitled "Segmental Retaining Wall Plan for MKJC Realty, LLC" as prepared by Kevin Patton, P.E. dated December 4, 2023.

The following are responses to comments received from the Planning Board Consultants at the last Planning Board meeting:

**MHE Engineering, DPC dated October 27, 2023:**

1. The Tree Removal Plan should be modified to identify each of the three classes of trees in the Town Tree Preservation Code. It appears that only a limited number of the trees on the site would be considered under the Tree Code based on diameter.

**RESPONSE: The tree removal chart on sheet 3 of the plan has been updated.**

2. Percolation testing for the subsurface sanitary sewer disposal system design is required.

**RESPONSE: Percolation testing results have been added to Sheet 5 of the site plan.**

3. The septic design references a PRESBY System, while the details identify an Elgin Proprietary System. This should be clarified.

**RESPONSE: The reference to PRESBY has been removed and replaced with Elgin on Sheet 5 of the plan set.**

4. The sanitary sewer reserve area must be 100% for commercial systems. It appears that the reserve area is 50%.

**RESPONSE: The sanitary sewage disposal area has been revised to include a 100% reserve area.**

5. The system design calculations are based on the 10,080 square foot building previously proposed. Building is now 10,000 square feet.

**RESPONSE: The system design calculations have been revised for a 10,000-sf building.**

6. This office awaits the submission of a Stormwater Pollution Prevention Plan (SWPPP). The plan is identified to be provided under separate cover.

**RESPONSE: The SWPPP was previously submitted.**

7. The applicants are proposing a dry-laid stone wall along the entire property frontage to mitigate the parking in front of the structure which is inconsistent with the Town's Design Guidelines. The height of the stone wall is identified as varies in the detail. The height of the wall should be identified in the detail.

**RESPONSE: The detail on Sheet 8 has been revised to indicate the height of the wall is 30".**

8. When the SWPPP is provided impacts to adjoining properties with regard to the point discharge should be addressed.

**RESPONSE: The outlet from the underground detention system is provided with a gabion basket outfall dissipation. Flow from the outlet is then conveyed naturally to two existing catch basins adjacent to the rear of the property.**

9. The outlet protection for retaining wall pipe penetration detail did not print on Plan Sheet 12 of 12.

**RESPONSE: The detail has now been depicted on the plan Sheet 12.**

10. NYSDOT approval for utility connections is required.

**RESPONSE: Comment noted. Details for the DOT work has now been incorporated into the plan set.**

11. ARB approval for the structure is required.

**RESPONSE: The Planning Board granted ARB approval at the previous Planning Board meeting on November 2, 2023.**

12. The access easement for use of the common commercial driveway must be reviewed by the Planning Board Attorney.

**RESPONSE:** The easement is depicted on the plan; the applicant's attorney will prepare and address any legal agreements with the Planning Board Attorney.

13. Project requires submission to the Orange County Planning Department in order for the complete submission to be made the SWPPP must also be submitted to the County.

**RESPONSE:** The County referral is completed with one comment provided regarding lighting. A note has been added to plan Sheet 9 indicating a 3,000k lighting requirement.

The plan has also been revised to accommodate the location of the proposed sign to conform to the setback standards and the sign has been incorporated into the landscaping design.

**KALA Comments dated October 27, 2023:**

1. The following is a reissued comment: propose an aesthetically pleasing landscape planting around the proposed sign which will not block the sign.

**Response:** Plantings and a note have been added to the plan indicating the sign landscaping.

2. If the existing sign and wall are being relocated, perhaps they should be relocated within the confines of the property lines and the adjacent proposed wall should be adjusted to accommodate that.

**Response:** The proposed sign and wall are proposed to be relocated within the property boundary.

3. Eastern Redbud is an understory tree and not a shade tree. Please propose two native shade trees such as a Red Maple in the 40' wide northern parking island. Show all trees at least 4' from pavement.

**Response:** Red Maples are now provided within the landscaping island.

4. Plants may not be proposed outside of the property line. There are two Eastern Redbud which are shown either directly on or outside of the property line. Move them so they are within the limits of the property line.

**Response:** All plantings with the exception of the bioretention area are within the property boundaries.

5. Show more native shade trees such as Oaks and Red Maples in the wildflower area at the rear of the site. There is room for at least five additional trees planted 20-25 feet on center and staggered.

**Response: An additional 5 red maples have been added to the rear of the site.**

6. Show screen planting along the surrounding refuse area such as Green Giant Arborvitaes (shown 6' on center if choosing these).

**Response: Six arborvitaes have been added for screening adjacent to the refuse area.**

7. The proposed soil depths as listed in the General Planting Notes are insufficient for healthy, thriving plants. Lawn/grassed areas should have a minimum of six (6) inches of topsoil and all planting areas shall have a minimum of 24 inches of topsoil.

**Response: The notes have been revised on Sheet 8.**

8. The bioretention area is shown partially outside of the property line. Generally, this is not allowed. Please confirm that this is acceptable.

**Response: The bioretention area is within a proposed easement for access and utilities to benefit the property.**

9. No bioretention area planting has been shown in this submission. The consultant has informed us that the bioretention area will be planted in a future submission. We reissue our prior comment regarding the bioretention plantings: Include the planting schedule and seed mixes which will be planted in the proposed bioretention area. Show on the plans how plants will be arranged. As there are no under drains, please show at least three trees such as River Birches in the bottom of the basin.

**Response: A planting plan has been provided. Three River Birches have been added to the plan.**

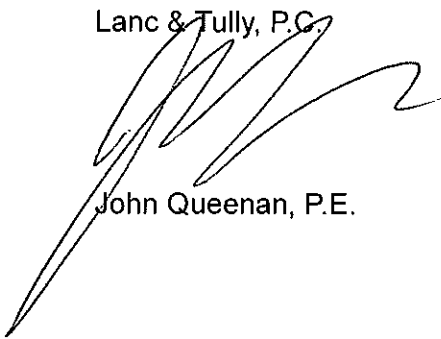
10. The following is a re-issued comment as bioretention planting has not been designed at this time: Winterberry Holly would be an excellent choice to show in the proposed bioretention area on site. A low-growing cultivar such as Red Sprite, must be specified to avoid blocking lines of sight. Additionally, in order for berry production, one male Winterberry Holly must be planted for each 5 female. Jim Dandy is a suitable male Winterberry Holly for the Red Sprite cultivar.

**Response: A planting plan has been provided incorporating the winterberry plantings.**

The applicant would request to be placed on the December 21, 2023, Planning Board meeting for consideration of a negative declaration and final site plan approval. The applicant asks that the Planning Board consider waiving the public hearing for this application as it is within the commercial corridor of Route 32 with no residential neighbors. We look forward to appearing before the Planning Board for discussion. If you should require any additional information or have any questions, please do not hesitate to contact our office.

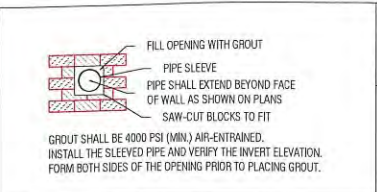
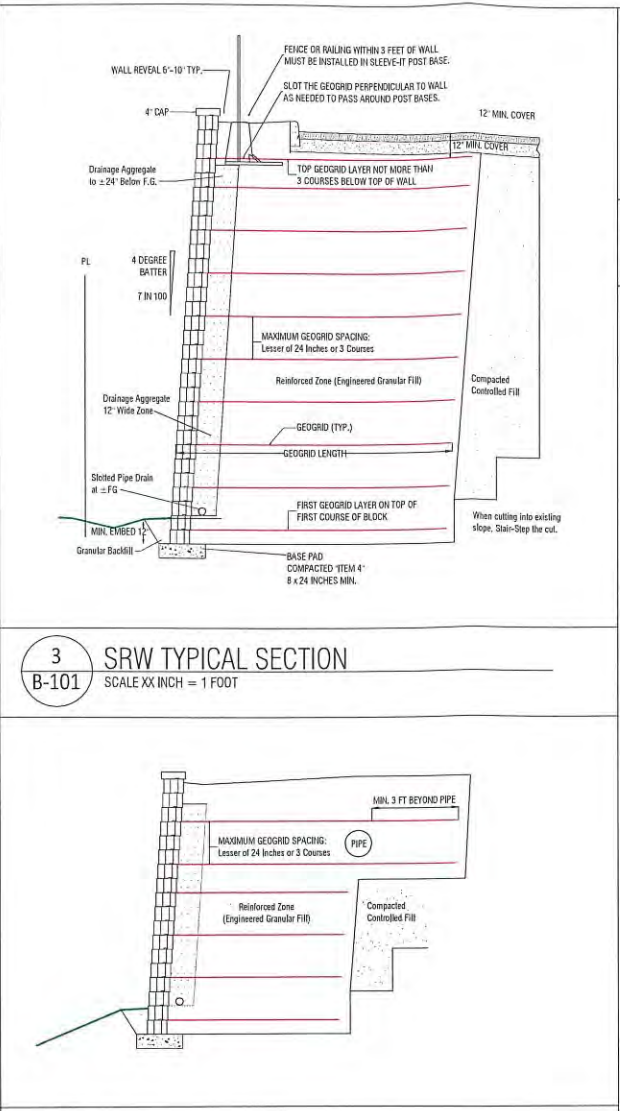
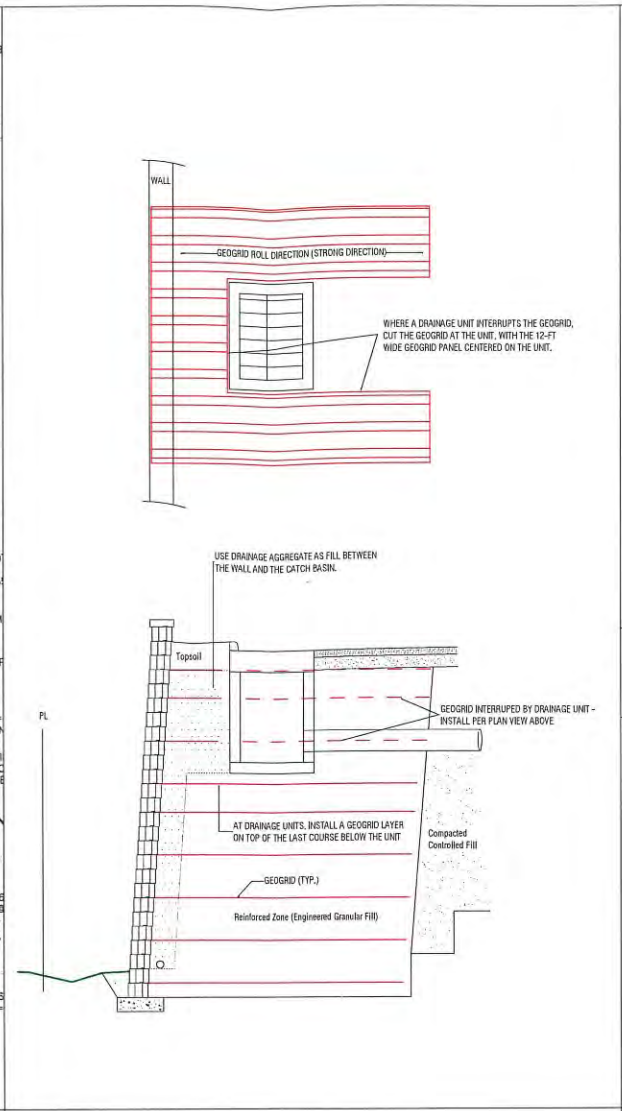
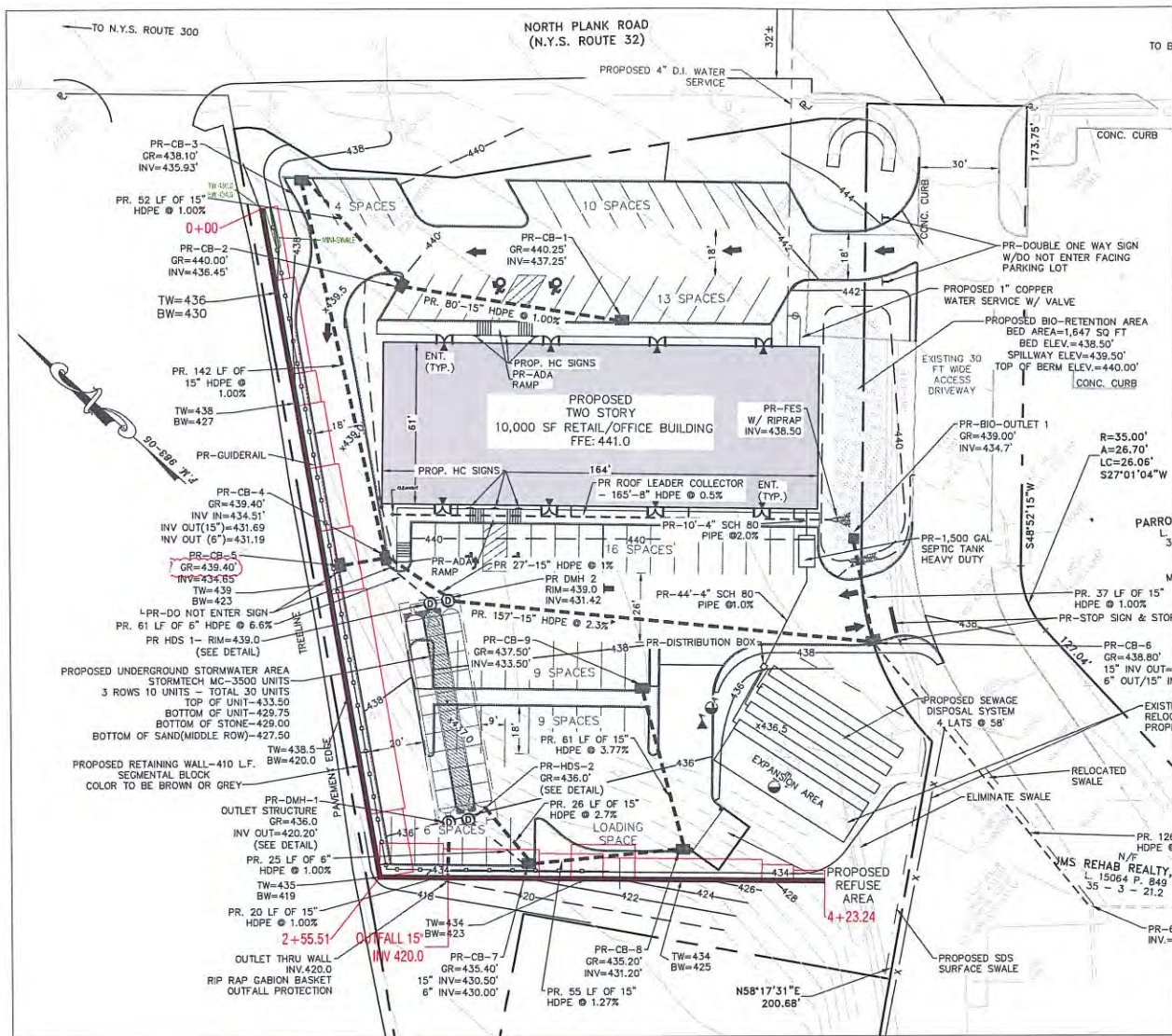
Very truly yours,

Lanc & Tully, P.C.



John Queenan, P.E.

cc: Pat Hines, MHE  
Via Email: Domonic Cordisco, Esq.  
Karen Arent, LA  
Ken Wersted, P.E.



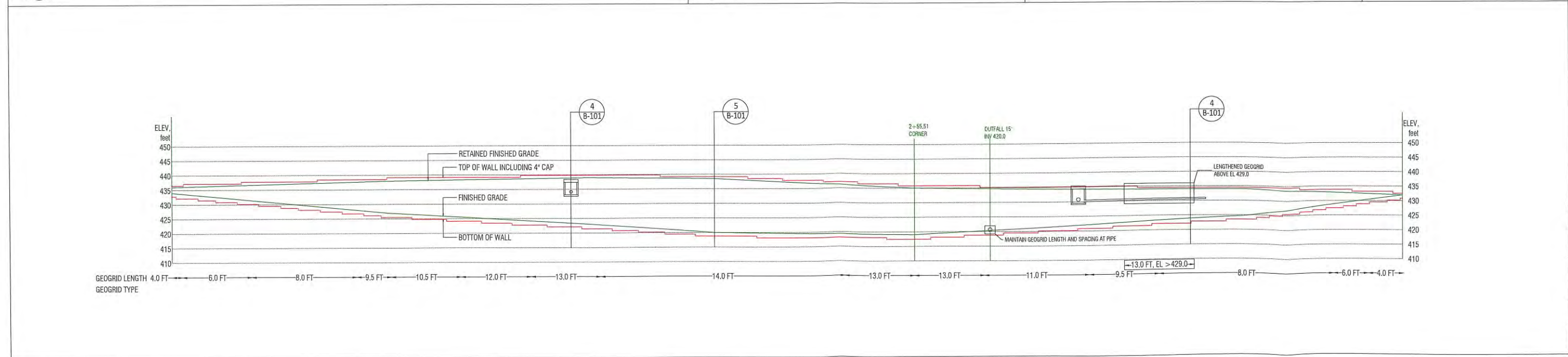
DESIGN USES VERSA-LOK BLOCKS, 8" HIGH X 18" LONG, 12" DEEP. GEOGRID WILL BE MIRAGRID 3XT FOR MOST OF THE WALL, 5XT IN THE LOWER PART OF THE HIGH SECTIONS.

DRAFT

**1** SEGMENTAL RETAINING WALL PLAN  
SCALE XX INCH = 1 FOOT

**5** SRW TYPICAL SECTION AT DRAINAGE UNIT  
SCALE XX INCH = 1 FOOT

**4** SRW TYPICAL SECTION ALONG PIPE  
SCALE XX INCH = 1 FOOT



**2** SEGMENTAL RETAINING WALL ELEVATION  
SCALE XX INCH = 1 FOOT

**KEVIN L. PATTON, P.E.**  
36 PATTON ROAD  
NEWBURGH, NY 12550  
845 275-7732 PATTONGEOTECH.COM

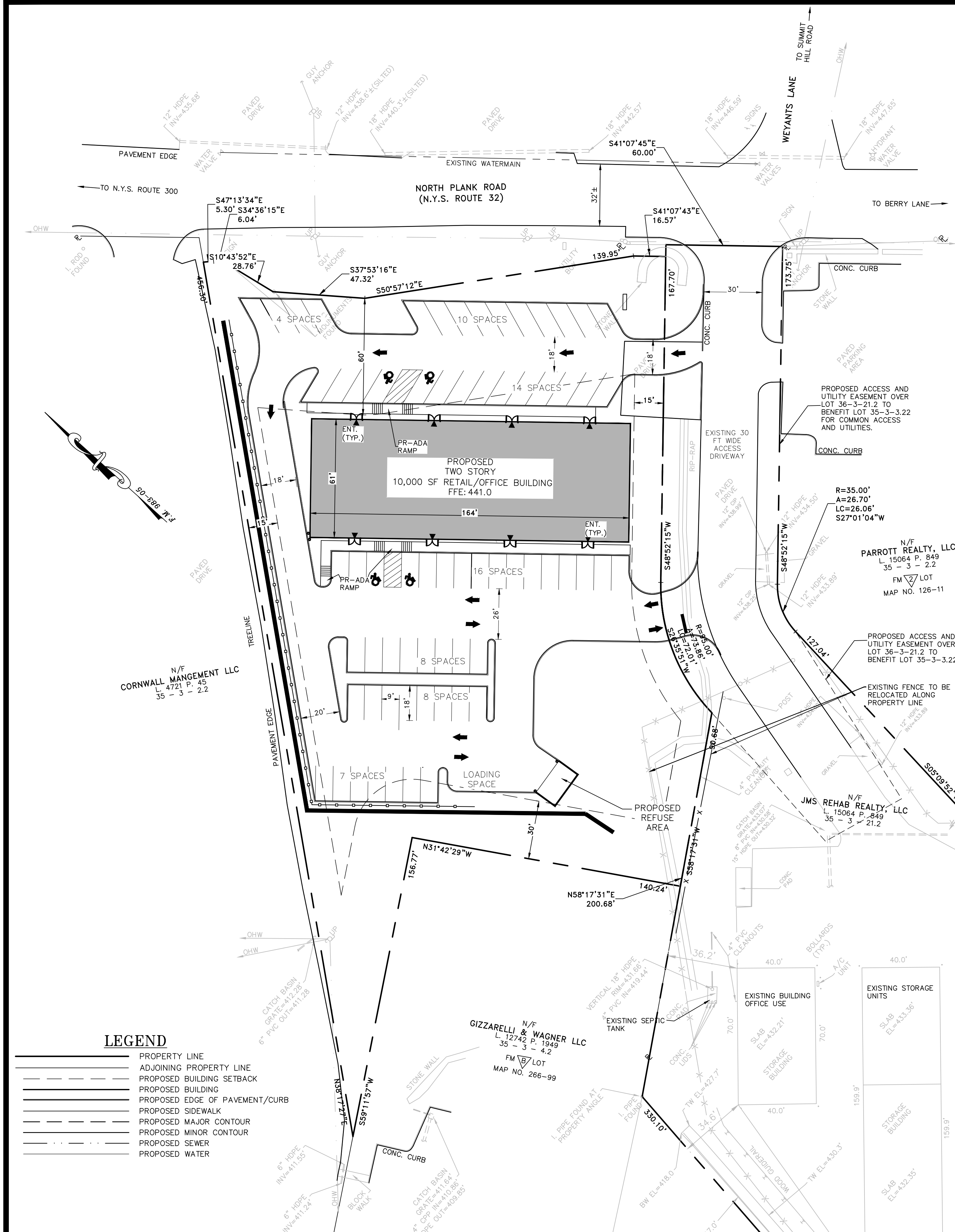
PROJECT NUMBER  
23411

DATE	BY
DRAFT 12/4/2023	KLP
REV.	DATE

SCALE AS NOTED

**B-101**

MKJC REALTY, LLC  
TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.



**GENERAL NOTES:**

- TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
- TOTAL AREA: 1.56± ACRES
- DEED REFERENCE: LIBER 15137 PAGE 1318 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: B - BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITHIN NYS ROUTE 32.
- SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.
- DUE TO THE CLOSE PROXIMITY OF THE PROPOSED BUILDING TO THE ZONING SETBACKS, STAKEOUT BY A LICENSED SURVEYOR PRIOR TO ISSUANCE OF A BUILDING PERMIT IS REQUIRED.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL PROVIDE THE BUILDING DEPARTMENT, AN EVALUATION COMPLETED BY A LICENSED PROFESSIONAL OF THE SUITABILITY OF THE EXISTING SOIL CONDITIONS FOR THE PROPOSED BUILDING FOUNDATION.

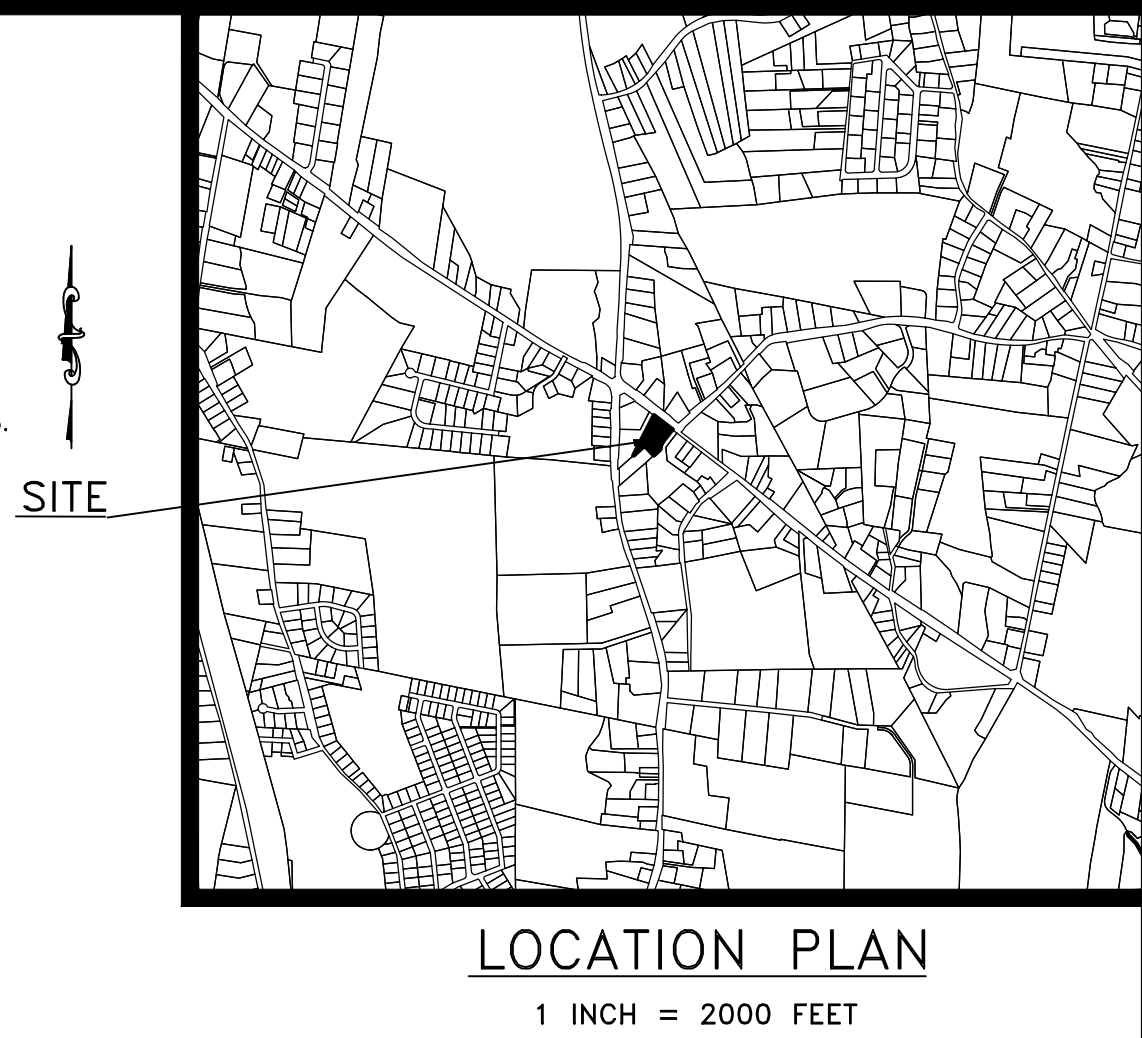
**TABLE OF ZONING REQUIREMENTS**  
TOWN OF NEWBURGH - B ZONE  
BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE

MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	68,355 SF
LOT WIDTH	100 FT.	225 FT.
LOT DEPTH	125 FT.	300 FT.
FRONT YARD	60 FT.*	62.3 FT.
ONE SIDE YARD/BOTH	15/30 FT.	17.0/49.7 FT.
REAR YARD	30 FT.	152 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	15±%
DEVELOPMENT COVERAGE	80%	74±%

\*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

**SURVEY NOTES:**

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
  - MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, DATED OCTOBER 26, 2005, LAST REVISED DECEMBER 08, 2005 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NO. 983-05.
  - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JUNE 3, 2011, LAST REVISED MAY 6, 2011 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NO. 136-11.
  - MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF LOUIS GIZZARELLI & GERALD WAGNER & SCH ENTERPRISES, INC., N.Y.S. RTE. 300 & N.Y.S. RTE 32, TOWN OF NEWBURGH, NEW YORK," DATED AUGUST 21, 1999 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 29, 1999.
  - MAP ENTITLED "PROPOSED SUBDIVISION LANDS OF ANGELINE NUZZO, BERRY LANE, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 28, 1973 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 20, 1974 AS MAP NO. 3284.
- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.



**TOWN OF NEWBURGH WATER SYSTEM NOTES**

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C500 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C500 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/2" MAIN VALVE OPENING, TWO 2 1/2" DIAMETER HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 3" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-1800N OR B-2500N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-25204N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

**TOWN OF NEWBURGH SEWER SYSTEM NOTES**

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

**SITE PLAN SHEET INDEX:**

- SITE PLAN
- EXISTING CONDITIONS
- TREE LOCATION AND REMOVAL PLAN
- GRADING AND UTILITY PLAN
- SEWAGE DISPOSAL SYSTEM DESIGN AND DETAILS
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL DETAILS
- LANDSCAPING PLAN AND DETAILS
- LIGHTING PLAN AND DETAILS
- CONSTRUCTION DETAILS 1
- CONSTRUCTION DETAILS 2
- CONSTRUCTION DETAILS 3

**OWNER'S CONSENT NOTE:**

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

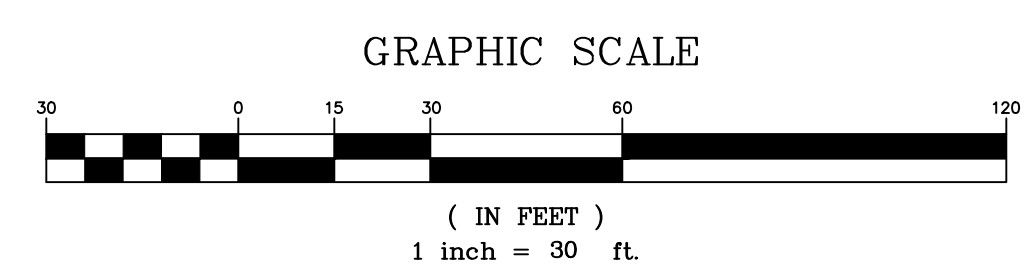
OWNER: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 COPYRIGHT 2023, LANC & TULLY, P.C.

**LEGEND**

---	PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	PROPOSED BUILDING SETBACK
---	PROPOSED BUILDING
---	PROPOSED EDGE OF PAVEMENT/CURB
---	PROPOSED SIDEWALK
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED SEWER
---	PROPOSED WATER

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



**RECORD OWNER/APPLICANT:**

AREA: 1.569± AC.  
 MKJC REALTY, LLC  
 208 SOUTH PLANK ROAD  
 NEWBURGH, NY 12250  
 35 - 3 - 3.22  
 L. 15137 P. 1318  
 FILED MAP NO. 938-05

TOWN OF NEWBURGH  
 SITE PLAN APPROVAL:



P.O. Box 687, Rt. 207  
 Goshen, N.Y. 10924  
 (845) 294-3700

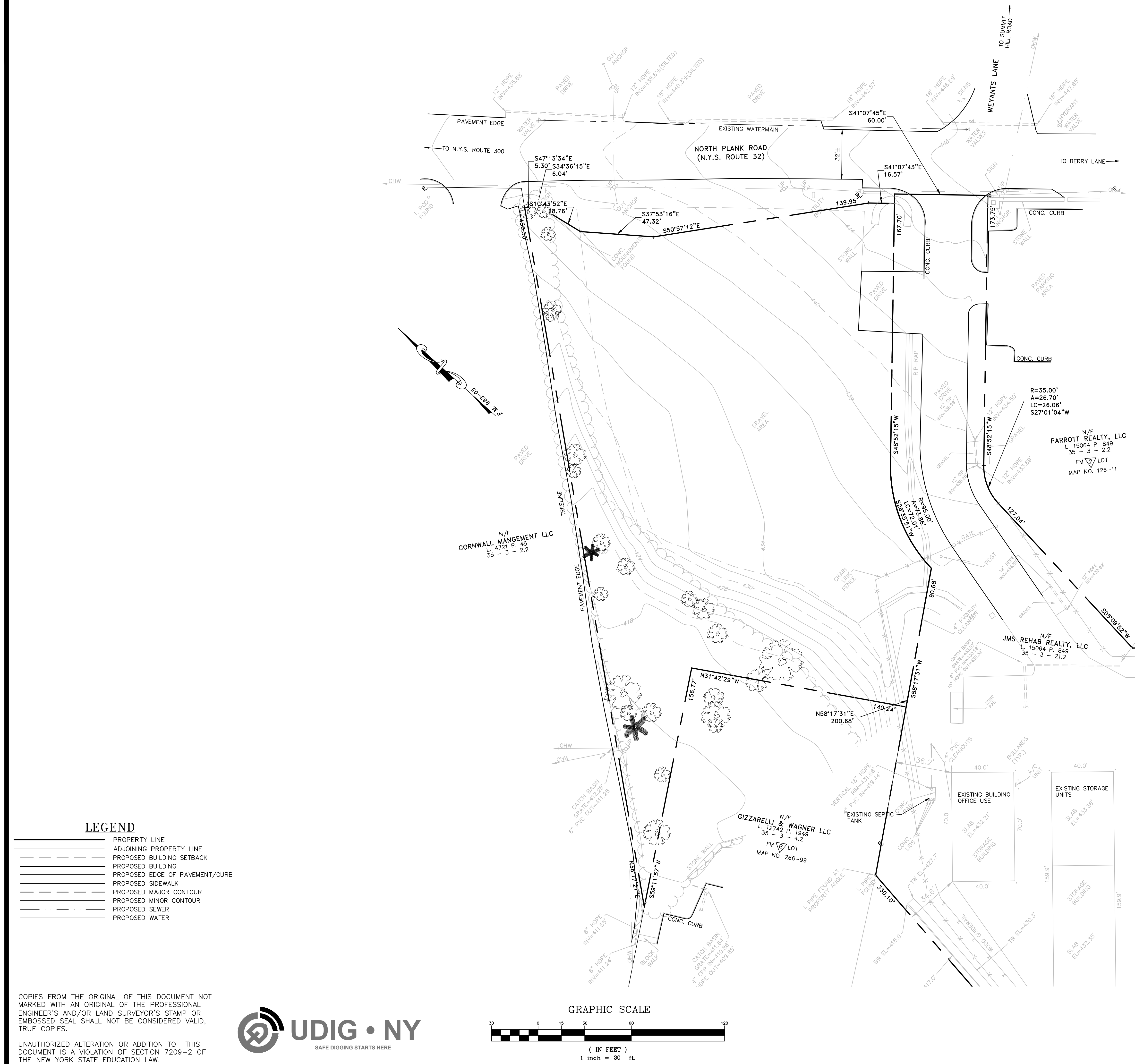
SITE PLAN PREPARED FOR

**MKJC REALTY, LLC**  
 TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK

Drawn By: JQ	Checked By:	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22
Sheet No.: 1 OF 12	Drawing No.: C3D	B- 23 - 0107 - 01	

Date: JUNE 27, 2023  
 Revision:  
 JULY 5, 2023  
 AUGUST 23, 2023  
 OCTOBER 18, 2023  
 NOVEMBER 15, 2023  
 DECEMBER 11, 2023





**GENERAL NOTES:**

- TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
- TOTAL AREA: 1.57± ACRES
- DEED REFERENCE: LIBER 15137 PAGE 1318 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: B - BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITHIN NYS ROUTE 32.
- SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

**SURVEY NOTES:**

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
  - MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, DATED OCTOBER 26, 2005, LAST REVISED DECEMBER 08, 2005 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NO. 983-05.
  - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JUNE 3, 2011, LAST REVISED MAY 6, 2011 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NO. 136-11.
  - MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF LOUIS GIZZARELLI & GERALD WAGNER & SCH ENTERPRISES, INC., N.Y.S. RTE. 300 & N.Y.S. RTE 32, TOWN OF NEWBURGH, NEW YORK," DATED AUGUST 21, 1999 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 29, 1999.
  - MAP ENTITLED "PROPOSED SUBDIVISION LANDS OF ANGELINE NUZZO, BERRY LANE, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 28, 1973 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 20, 1974 AS MAP NO. 3284.
- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

**RECORD OWNER/APPLICANT:**

MKJC REALTY, LLC  
 208 SOUTH PLANK ROAD  
 NEWBURGH, NY 12250

**AREA:**  
 1.569± AC.

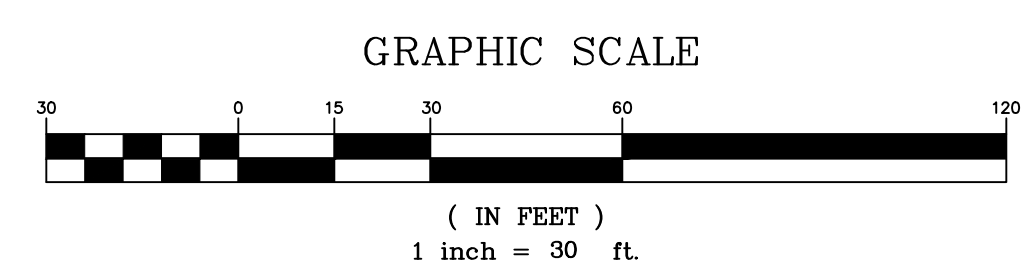
35 - 3 - 3.22  
 L. 15137 P. 1318  
 FILED MAP NO. 938-05

**LEGEND**

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- - - - PROPOSED BUILDING SETBACK
- ▭ PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

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**LANC & TULLY**  
 Engineering and Surveying, P.C.

P.O. Box 687, Rt. 207  
 Goshen, N.Y. 10924  
 (845) 294-3700

EXISTING CONDITIONS FOR

**MKJC REALTY, LLC**

TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023

Revisions:  
 JULY 5, 2023  
 AUGUST 23, 2023  
 OCTOBER 18, 2023  
 NOVEMBER 15, 2023  
 DECEMBER 11, 2023

Drawn By: JQ  
 Checked By:  
 Scale: 1" = 30'  
 Tax Map No.: 35 - 3 - 3.22

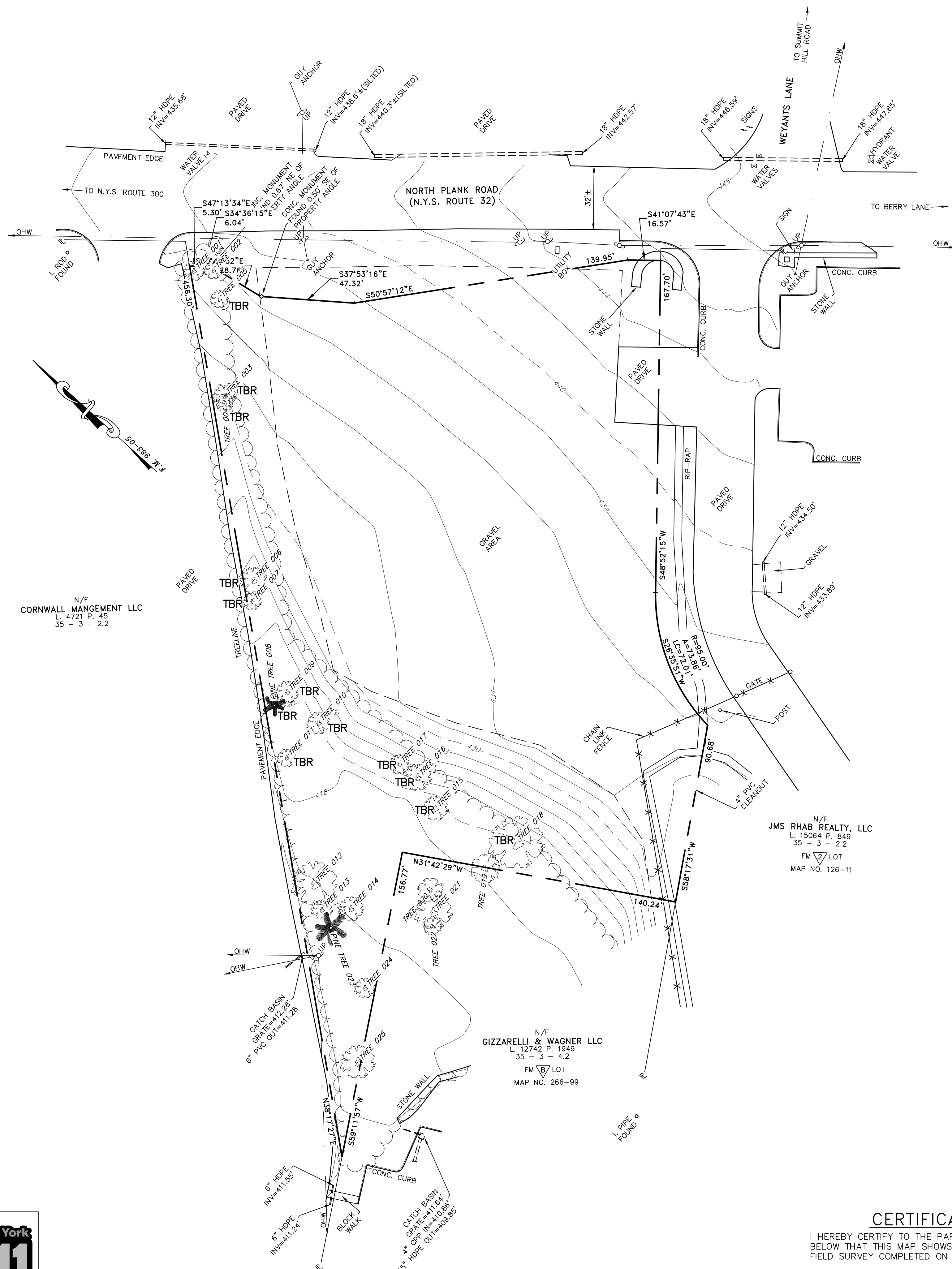
Sheet No.: 2 OF 12  
 Drawing No.: C3D  
 B- 23 - 0107 - 01

**PROPERTY TREE SUMMARY AND REMOVAL CHART:**

TAG NO.	TREE SPECIES	SIZE (IN)	TO BE REMOVED	CLASSIFICATION
001	ASH	9		
003	TWIN RED MAPLE	10	X	Significant
006	DEAD/DYING	12	X	Dead Tree
009	SWAMP WHITE OAK	10	X	Significant
010	ASPEN	10	X	Significant
012	SWAMP WHITE OAK	20		Significant
013	AMERICAN ELM	9		
014	MAPLE-DEAD	10		Significant
015	DEAD	11	X	Dead Tree
016	BLACK LOCUST	12	X	Significant
018	SWAMP WHITE OAK	24	X	Specimen
019	OAK	13		Significant
020	TWIN ELM	12		Significant
021	SWAMP WHITE OAK	16		Significant
023	CEDAR	12		Significant
024	ASH-DEAD	9		
025	SWAMP WHITE OAK	15		Significant
TOTAL:	17	214	7	

14 TOTAL TREES GREATER THAN 10" DBH  
 7 TREES TO BE REMOVED - TWO OF WHICH ARE DEAD  
 TOTAL NUMBER OF INCHES = 187 IN. (DEAD TREES NOT COUNTED)  
 TOTAL NUMBER OF INCHES TO BE REMOVED = 66 IN. (DEAD TREES NOT COUNTED)  
 35% TREE REMOVAL

N/F  
 CORNWALL MANGEMENT LLC  
 L 4721 P. 45  
 35 - 3 - 2.2



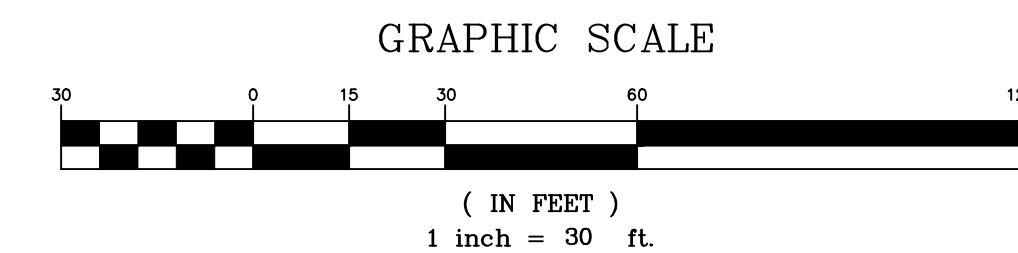
**NOTES:**

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
  - MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC. TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED OCTOBER 25, 2005, LAST REVISED DECEMBER 08, 2005 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NO. 983-05.
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- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- THE TREES SHOWN ON THIS PLAN WERE FIELD LOCATED BY LANC & TULLY, P.C. ON AUGUST 7, 2023 AND ALL TREES WERE TAGGED WITH CORRESPONDING NUMBER ON THE CHART.

**RECORD OWNER/APPLICANT:**

MKJC REALTY, LLC  
 208 SOUTH PLANK ROAD  
 NEWBURGH, NY 12250  
 35 - 3 - 3.22  
 L. 15137 P. 1318  
 FILED MAP NO. 938-05

**AREA:**  
 1.569± AC.



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<p><b>LANC &amp; TULLY</b> ENGINEERING AND SURVEYING, P.C.</p>	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
	Date: AUGUST 23, 2023 Revision: JULY 5, 2023 AUGUST 23, 2023 OCTOBER 18, 2023 NOVEMBER 15, 2023 DECEMBER 11, 2023
<p><b>TREE LOCATION AND REMOVAL PLAN</b> PREPARED FOR</p>	
<p><b>MKJC REALTY, LLC</b></p>	
<p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>	
CAD File: 230107-SVY.DWG Layout: SVY Sheet No.: 3 OF 12	Drawing No.: C3D B- 23 - 0107 - 01
Drawn By: EK	Checked By: Scale: 1" = 30' Tax Map No.: 35 - 3 - 3.22

**CERTIFICATION:**

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON JUNE 16, 2023.

By: RODNEY C. KNOWLTON, L.S.  
 NEW YORK STATE LICENSE NO. 50276

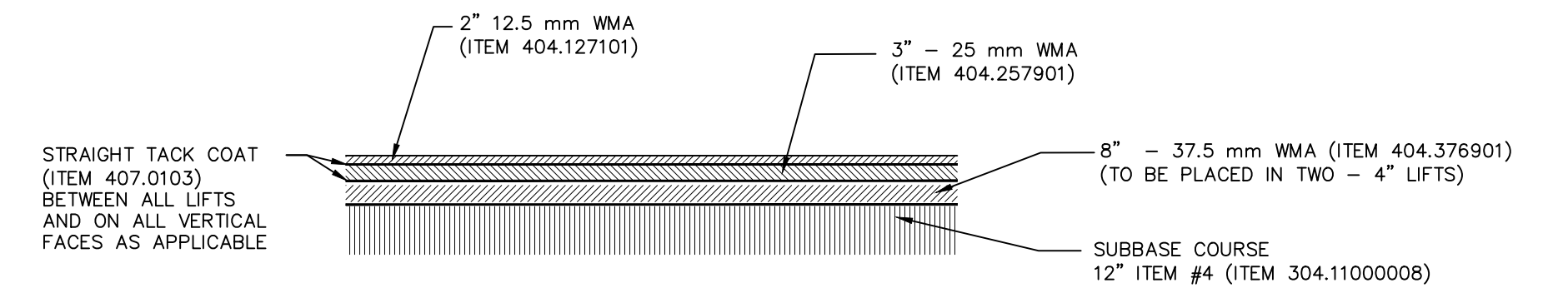
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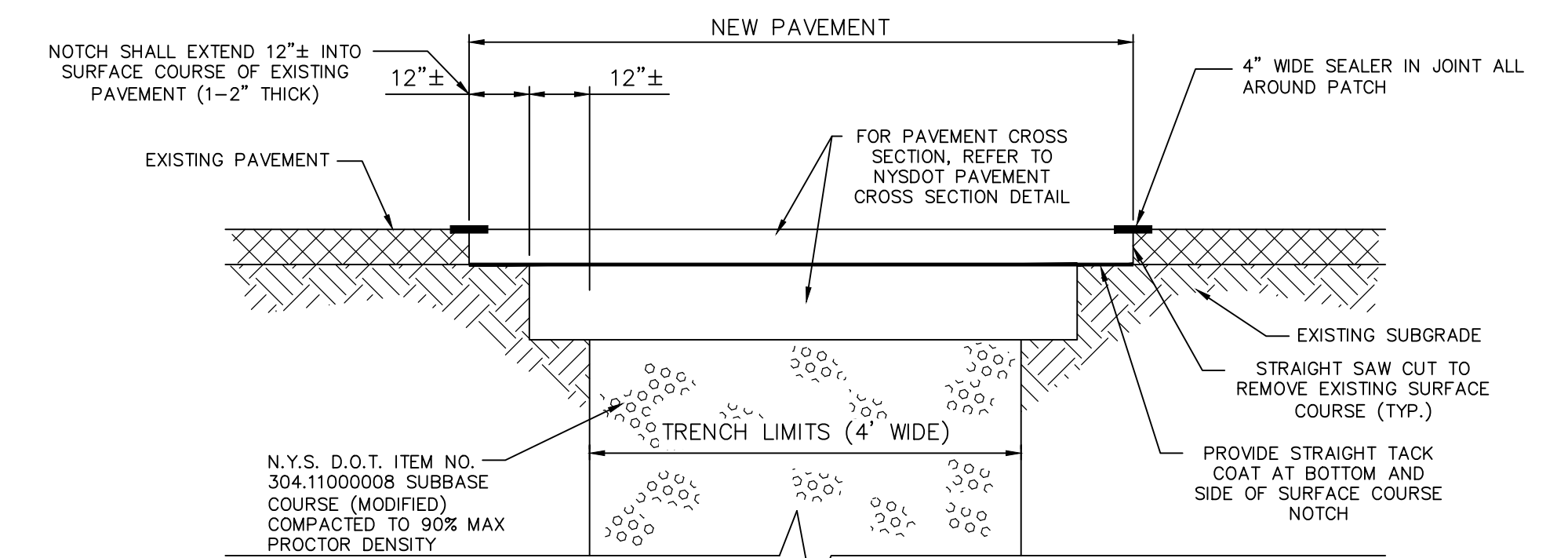
**CONSTRUCTION NOTES:**

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. LANC & TULLY HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

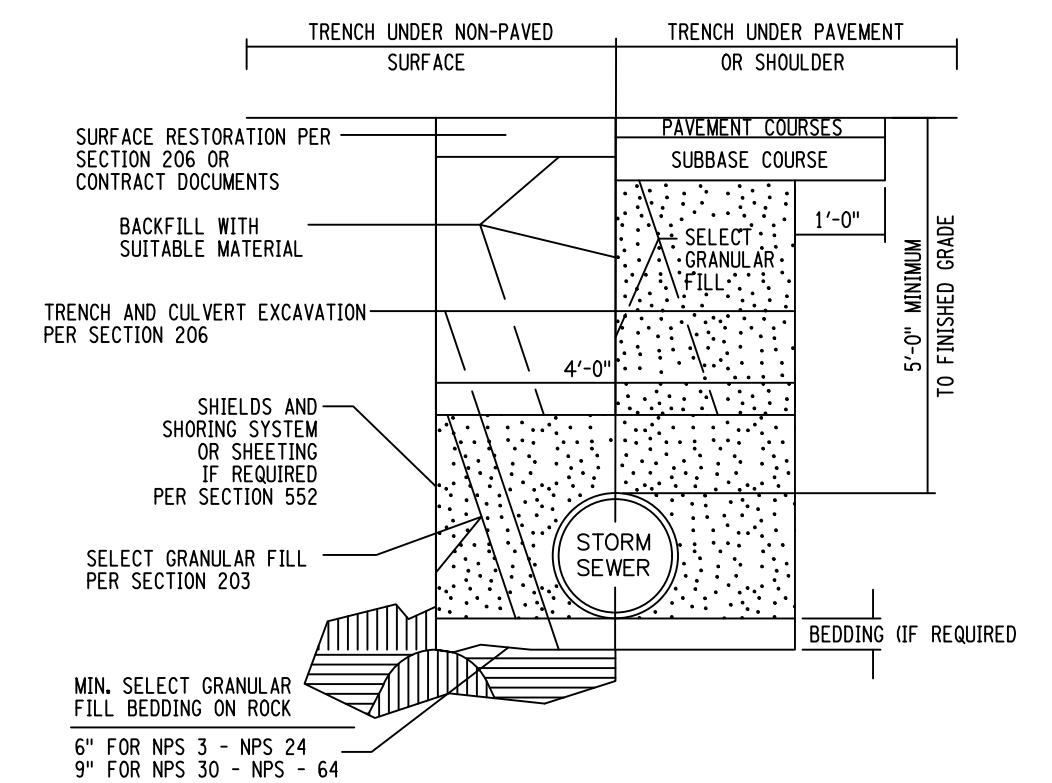


- NOTES:**
- NYSDOT PAVEMENT SPECIFICATION SHALL BE INSTALLED TO 30' FROM TRAVEL LINE (AS SHOWN ON PLANS)
  - REFER TO SECTION 404 FOR ALL REQUIRED WARM MIX ASPHALT (WMA) SPECIFICATIONS AND REQUIREMENTS

**NYSDOT PAVEMENT CROSS SECTION**  
NOT TO SCALE

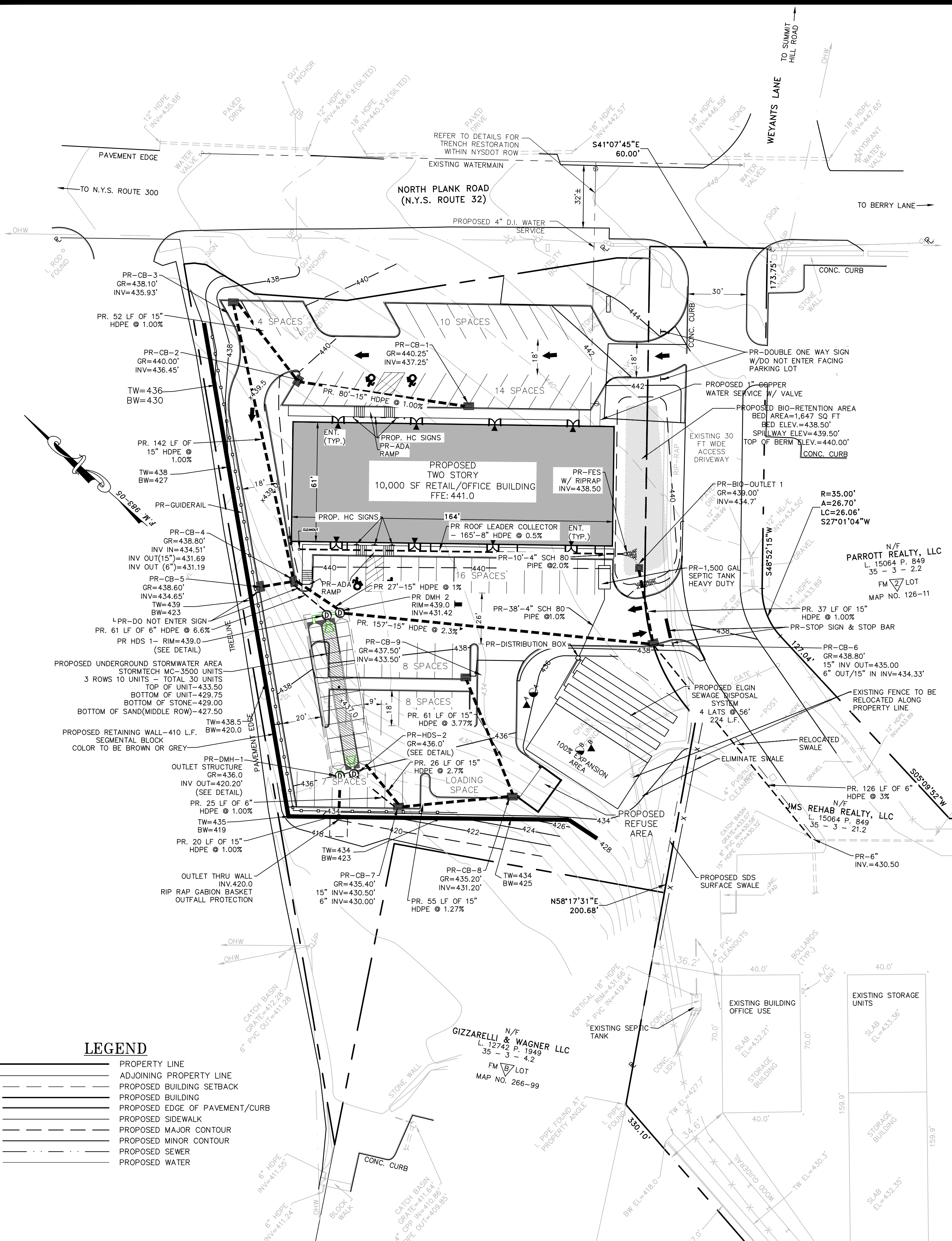


**NYSDOT PAVEMENT RESTORATION DETAIL**  
NOT TO SCALE

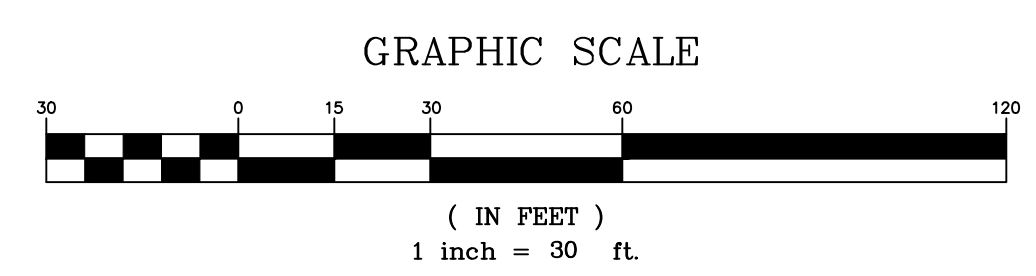


**NYSDOT UTILITY TRENCH DETAIL**  
NOT TO SCALE

**THE ABOVE DETAILS ONLY APPLY TO WORK WITHIN THE NYSDOT ROW**



- LEGEND**
- PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - PROPOSED BUILDING SETBACK
  - PROPOSED BUILDING
  - PROPOSED EDGE OF PAVEMENT/CURB
  - PROPOSED SIDEWALK
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED SEWER
  - PROPOSED WATER



**RECORD OWNER/APPLICANT:**

MKJC REALTY, LLC  
208 SOUTH PLANK ROAD  
NEWBURGH, NY 12250  
35 - 3 - 3.22  
L. 15137 P. 1318  
FILED MAP NO. 938-05

AREA:  
1.674± AC.

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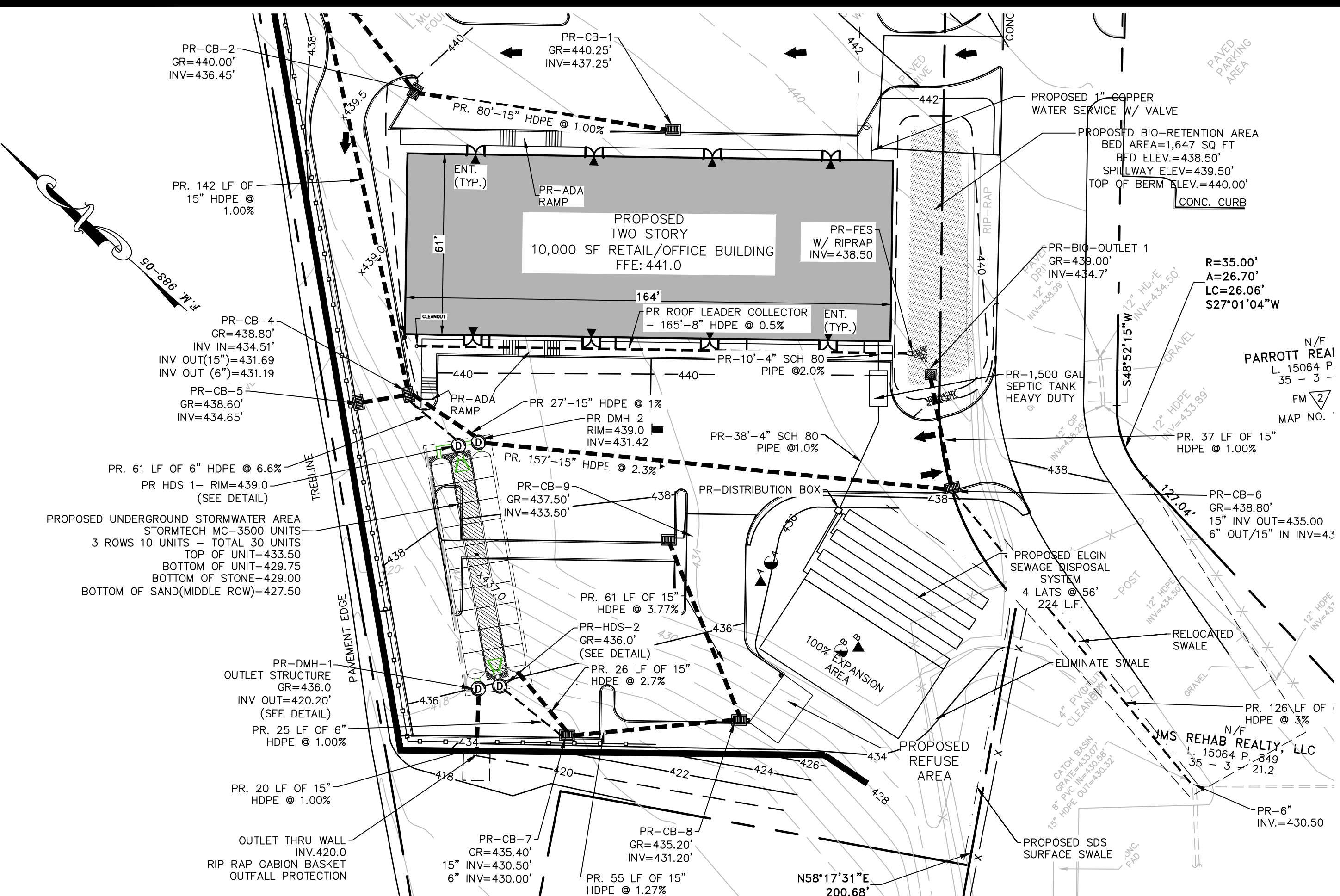
**GRADING AND UTILITY PLAN**  
PREPARED FOR

**MKJC REALTY, LLC**  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023  
Revision:  
JULY 5, 2023  
AUGUST 23, 2023  
OCTOBER 18, 2023  
NOVEMBER 15, 2023  
DECEMBER 11, 2023

CD File: ENG.DWG  
Layout: G & U PLAN  
Sheet No.: 4 OF 12  
Drawing No.: C3D  
B- 23 - 0107 - 01

Drawn By: JQ  
Checked By:  
Scale: 1" = 30'  
Tax Map No.: 35 - 3 - 3.22  
B- 23 - 0107 - 01



**LEGEND**

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - PROPOSED BUILDING SETBACK
- ▬ PROPOSED BUILDING
- ▬ PROPOSED EDGE OF PAVEMENT/CURB
- ▬ PROPOSED SIDEWALK
- ▬ PROPOSED MAJOR CONTOUR
- ▬ PROPOSED MINOR CONTOUR
- ▬ PROPOSED SEWER
- ▬ PROPOSED WATER

**PERCOLATION TEST RESULTS:**

PERCOLATION TESTS 'A' & 'B' WERE PERFORMED ON APRIL 9, 2023, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.

PERC. TEST RATE (MIN.) DEPTH = 24"	DESIGN RATE (MIN.)	GPD (FLOW)	LENGTH OF FIELD (FEET)		TYPE OF SYSTEM	
			REQUIRED	PROPOSED		
A	B					
18	23	21-30	800 GPD	222	224	ELJN

**SYSTEM DESIGN**

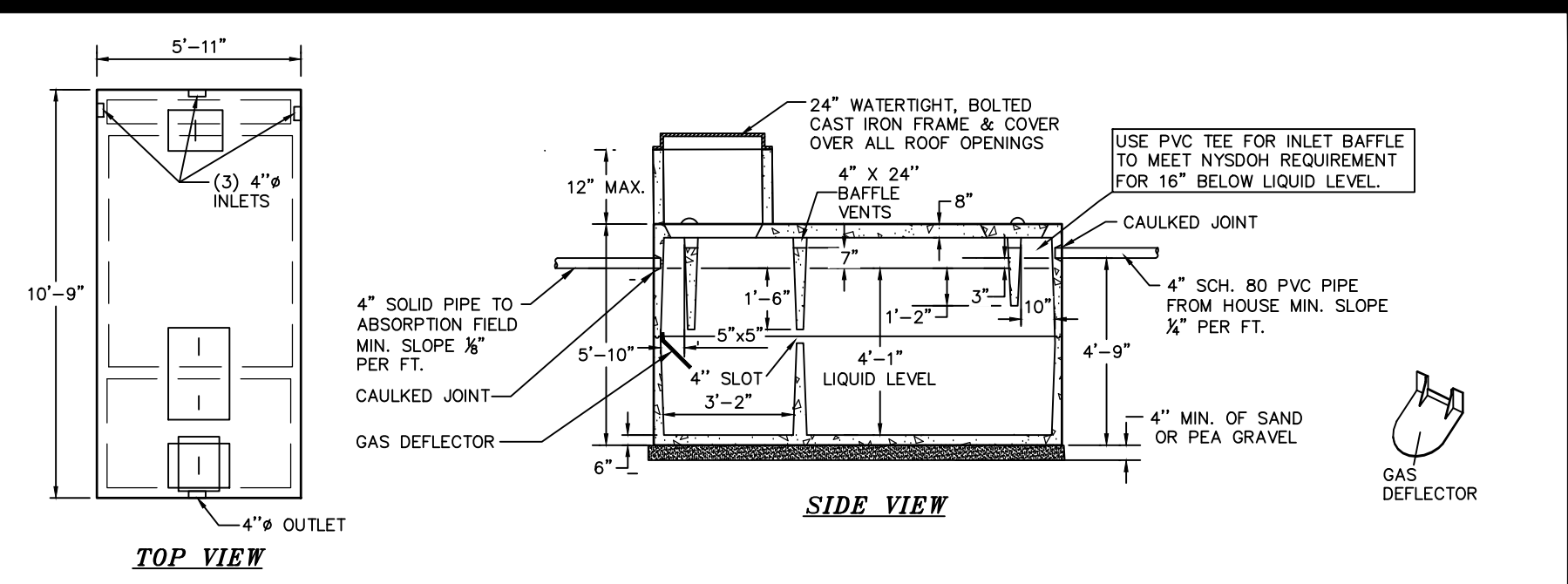
SYSTEM FLOWS AND DESIGN FOR NEW SDS:  
 FLOW RATE FOR OFFICE/RETAIL = 1,000 GPD (10,000 SF \* 0.1 GPD/SF)  
 20% WATER SAVINGS = 200 GPD  
 1,000 GPD - 200 GPD = 800 GPD (DESIGN FLOW)  
 DESIGN PERCOLATION RATE: 21-30 MINUTES/INCH  
 DESIGN APPLICATION RATE: 0.6 GAL/DAY/SQUARE FOOT  
 APPLICATION RATE (PRESBY): 6 SQ FT/LIN. FT. OF TRENCH  
 SQUARE FOOTAGE REQ'D: 800 GPD / 0.6 GPD/SQ FT = 1,333 SQ FT  
 ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,333 SQ FT / 6 SQ FT PER LIN. FT. = 222 LIN. FT. OF TRENCH  
 ABSORPTION FIELD TRENCH PROVIDED: 4 LATERALS @ 56 FEET = 224 LINEAR FEET  
 SEPTIC TANK SIZING: 800 GPD X 1.5 = 1,200 GPD - USE 1,500 GAL TANK

**DEEP TEST RESULTS**

A & B - SITE INSPECTION PERFORMED ON APRIL 9, 2023 BY LANC AND TULLY ENGINEERING, P. C.

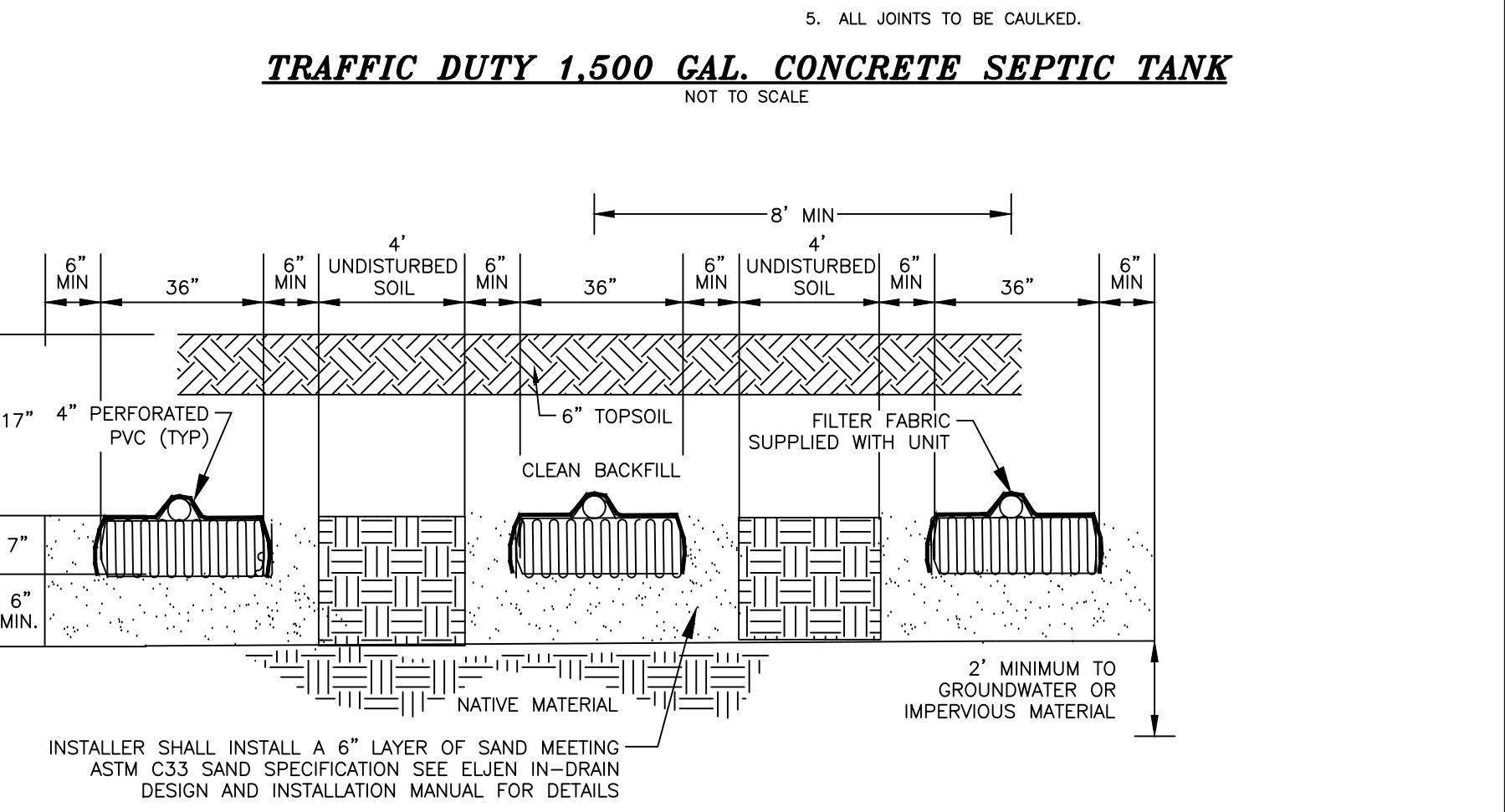
GROUND LEVEL	A		B	
	GRAVEL 8"		GRAVEL 8"	
1'	SILT LOAM/ GRAVEL		SILT LOAM/ GRAVEL	
2'	36"		36"	
3'				
4'	SILT LOAM WITH STONES		SILT LOAM WITH STONES	
5'				
6'	72"		72"	
7'				

NO BR NO MOTTLING NO GW



**TRAFFIC DUTY 1,500 GAL. CONCRETE SEPTIC TANK**  
NOT TO SCALE

SPECIFICATIONS	PRECAST TRAFFIC DUTY SEPTIC TANK 1500 GALLONS
CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS	CONCRETE SEPTIC TANK BY WOODARD'S CONCRETE PRODUCTS, INC. BULLVILLE, NY OR EQUAL.
REINFORCEMENT: #4 & #5 REBAR / ASTM A615	
AIR ENTRAINMENT: 6%	
CONSTRUCTION JOINT: BUTYL RUBBER SEALANT	Woodard's Concrete Products, Inc. 629 Lyndale Road, Bullville, NY 10925 (914) 881-5871 / Fax 914-881-1000 Page 4A
PIPE CONNECTION: POLYLOK SEAL (PATENTED)	
LOAD RATING: H20-44 + 30% / ASTM C857	

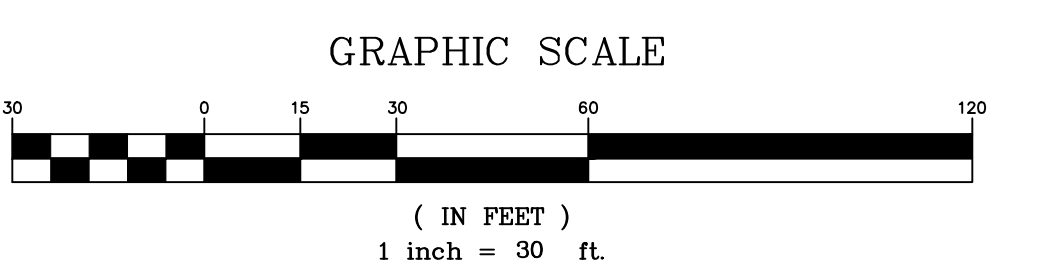
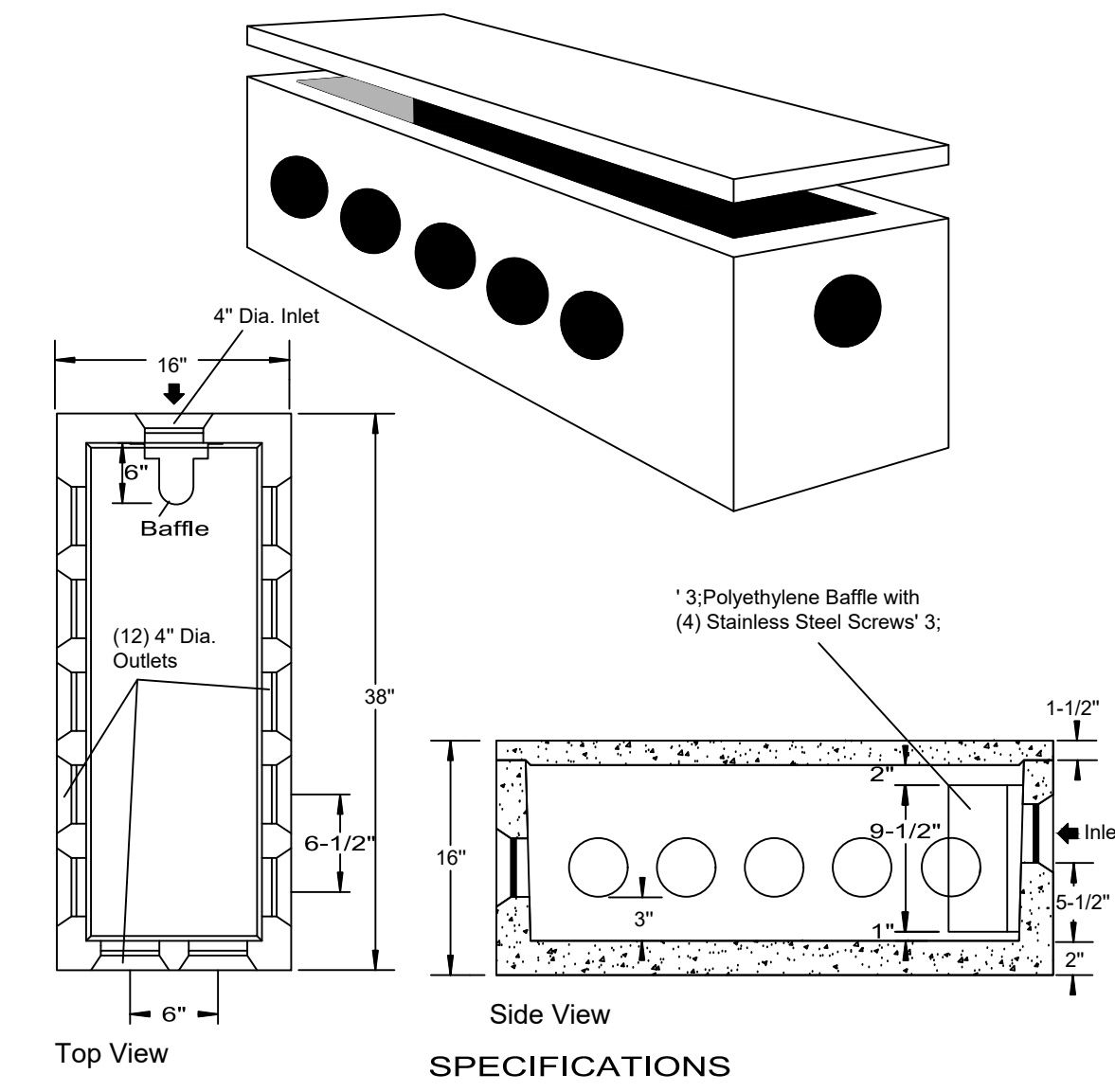
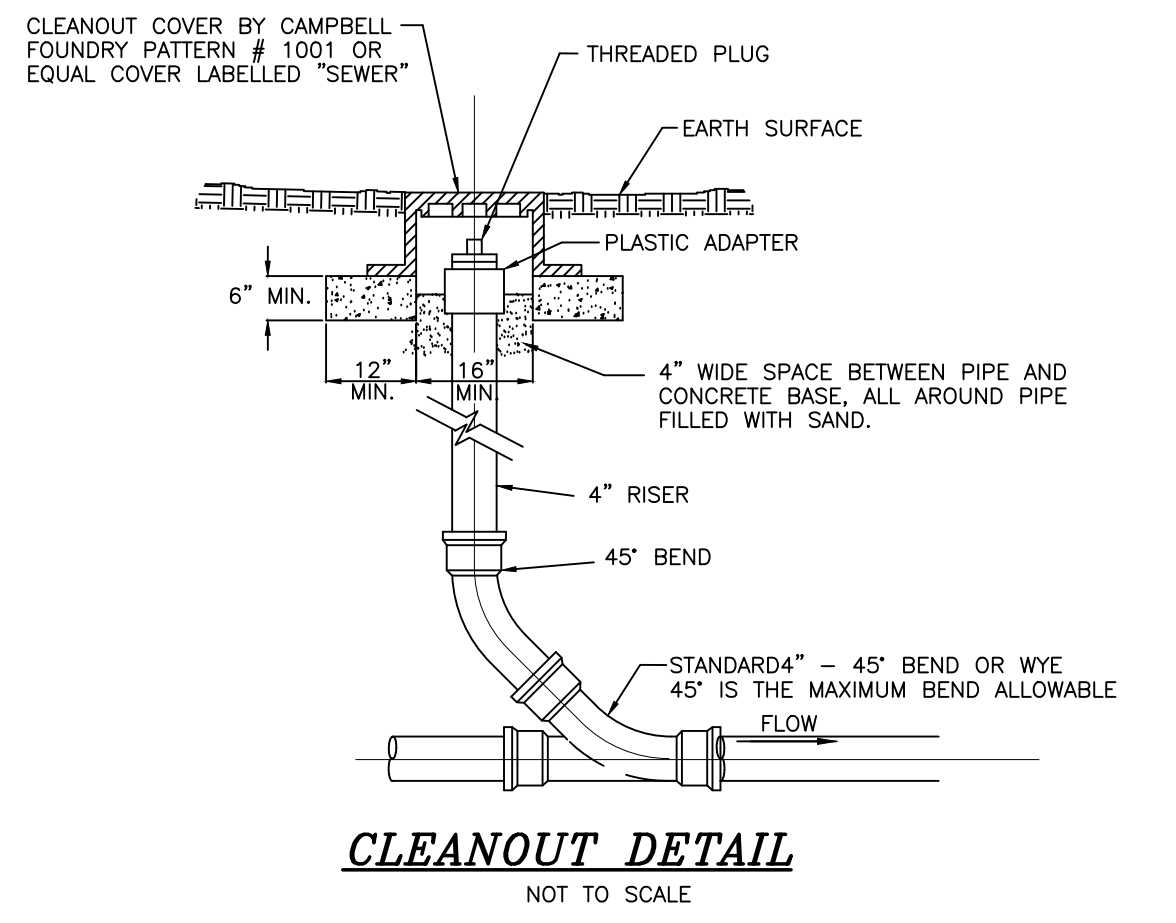


**ASTM C33 SAND SPECIFICATION**

SEIVE SIZE	SEIVE SQUARE OPENING SIZE	SPECIFICATION PERCENT PASSING (WET SEIVE)
3/8 INCH	9.5 mm	100.0 - 100.0
#4	4.75 mm	95.0 - 100.0
#8	2.36 mm	80.0 - 100.0
#16	1.18 mm	50.0 - 85.0
#30	600 µm	25.0 - 60.0
#50	300 µm	5.0 - 30.0
#100	150 µm	< 10.0
#200	75 µm	< 5.0

**TYPICAL ELJEN TRENCH CROSS SECTION**  
NOT TO SCALE

- NOTES:**
- DO NOT INSTALL TRENCHES IN WET SOIL.
  - RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL/CONCRETE SAND.
  - END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.
  - TRENCHES TO BE INSTALLED PARALLEL WITH EXISTING CONTOURS WITH SPACING OF ABSORPTION TRENCHES TO BE A MINIMUM OF 8 FEET ON CENTER WITH A MINIMUM OF 4 FEET OF UNDISTURBED SOIL BETWEEN TRENCHES.
  - ALL TRENCHES ARE TO HAVE IDENTICAL NUMBER OF ELJEN UNITS.
  - NO SYSTEM IS TO BE CONSTRUCTED ON GROUND WITH A SLOPE IN EXCESS OF 15%.
  - THE TRENCH BOTTOM SHALL BE FLAT. PERFORATED PIPE SLOPE SHALL BE 1/16" - 1/32" FOR GRAVITY FED SYSTEMS AND SET NEARLY LEVEL FOR DOSED SYSTEMS.
  - ALL PIPE PERFORATIONS MUST FACE DOWN.
  - THE BACKFILL IN THE TRENCHES MUST BE MOUND FOR SETTLING. BACKFILL SHALL BE NATIVE MATERIAL DEVOID OF LARGE ROCKS (GREATER THAN 4") OR DEBRIS.



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Engineering and Surveying, P.C.

P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

SEWAGE DISPOSAL SYSTEM DESIGN  
PREPARED FOR

**MKJC REALTY, LLC**  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023  
 Revision: JULY 5, 2023  
 AUGUST 23, 2023  
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CD File: ENGDWG  
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 Drawing No.: C3D  
 B- 23 - 0107 - 01

Drawn By: JQ  
 Checked By: [ ]  
 Scale: 1" = 30'  
 Tax Map No.: 35 - 3 - 3.22

**LANDSCAPING SEEDING SCHEDULE**

**TEMPORARY SEEDING DISTURBED AREAS**

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROOSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

**PERMANENT LAWN SEEDING RATES**

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

**NOTES:**

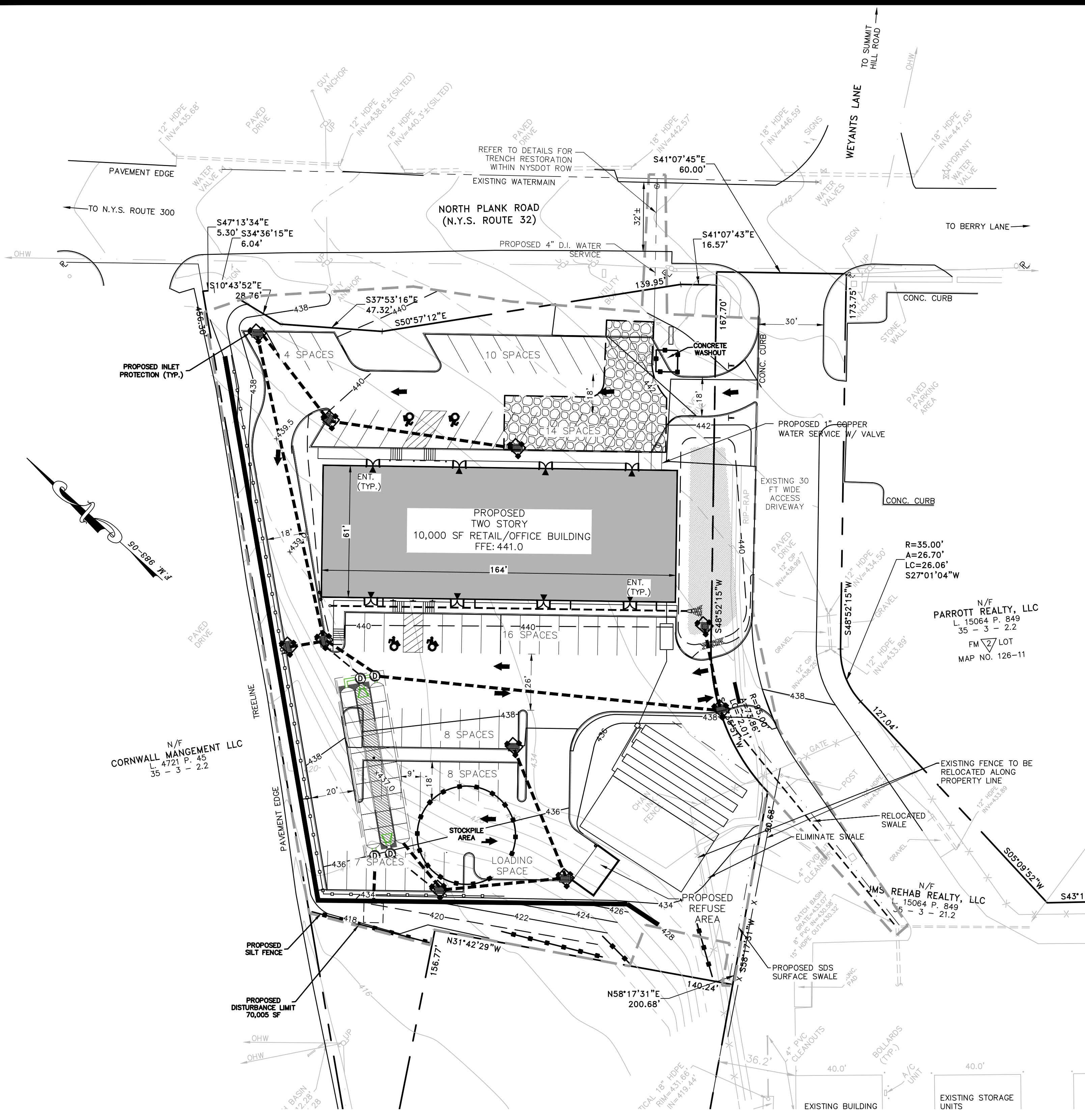
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING, HAY MULCH IS TO BE APPLIED AT A RATE OF 2½ TO 3 TONS PER ACRE.

**PERIMETER SEEDING**

- A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 105 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED ON THE PLANS AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT.

**PLANTING SCHEDULE**

TREES AND SHRUBS:	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15



**LEGEND**

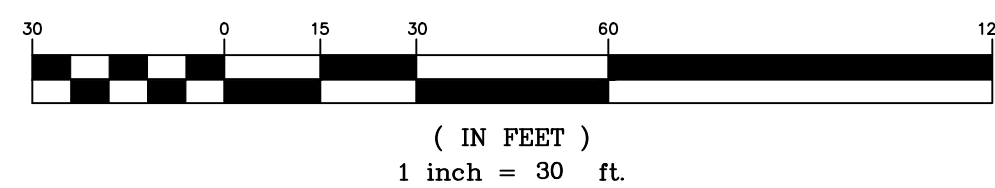
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

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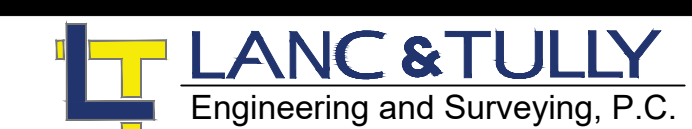
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**GRAPHIC SCALE**



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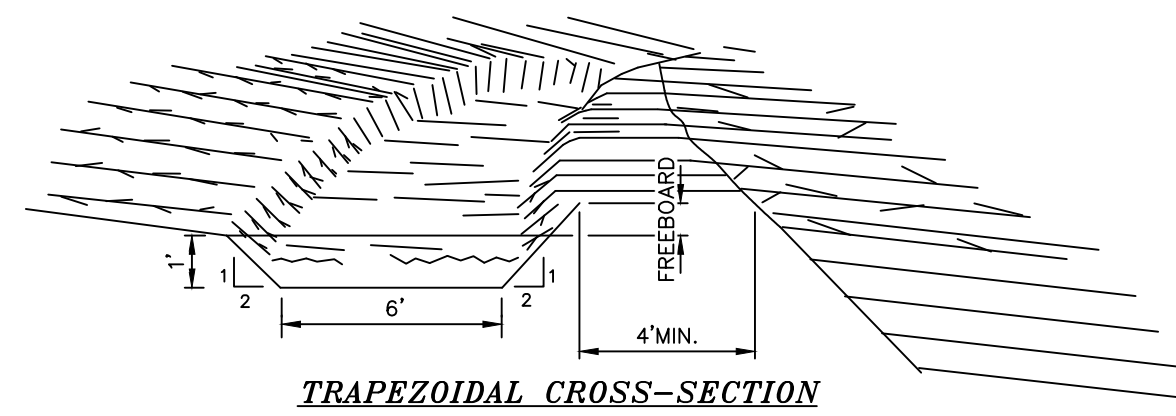
EROSION AND SEDIMENT CONTROL PLAN  
PREPARED FOR

Date: JUNE 27, 2023  
Revisions:  
JULY 5, 2023  
AUGUST 23, 2023  
OCTOBER 18, 2023  
NOVEMBER 15, 2023  
DECEMBER 11, 2023

**MKJC REALTY, LLC**

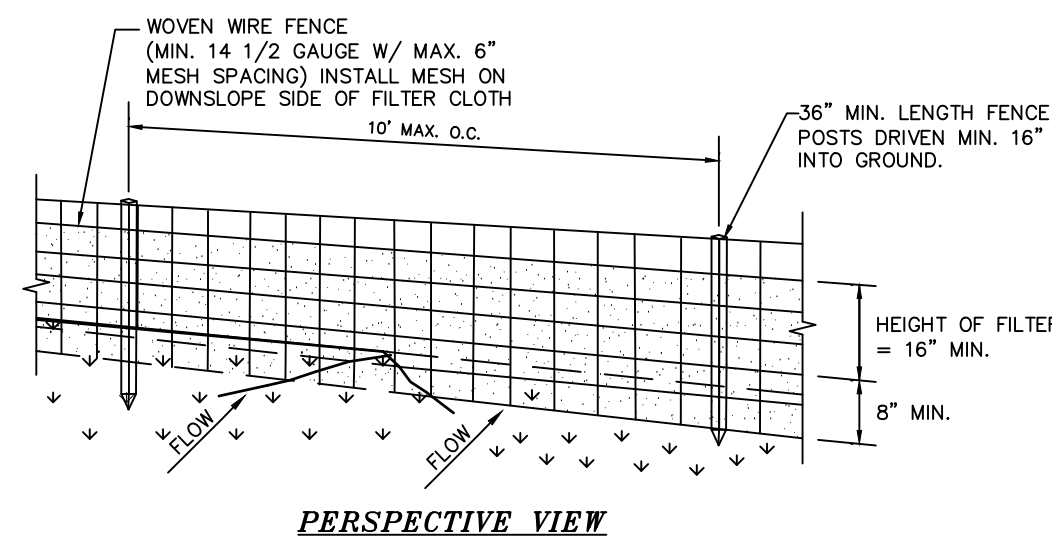
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By:	Checked By:	Scale:	Tax Map No.:
JQ		1" = 30'	35 - 3 - 3.22
CAD File:	ENG.DWG	Drawing No.:	6 OF 12
Layout:	EROSION	Sheet No.:	C3D
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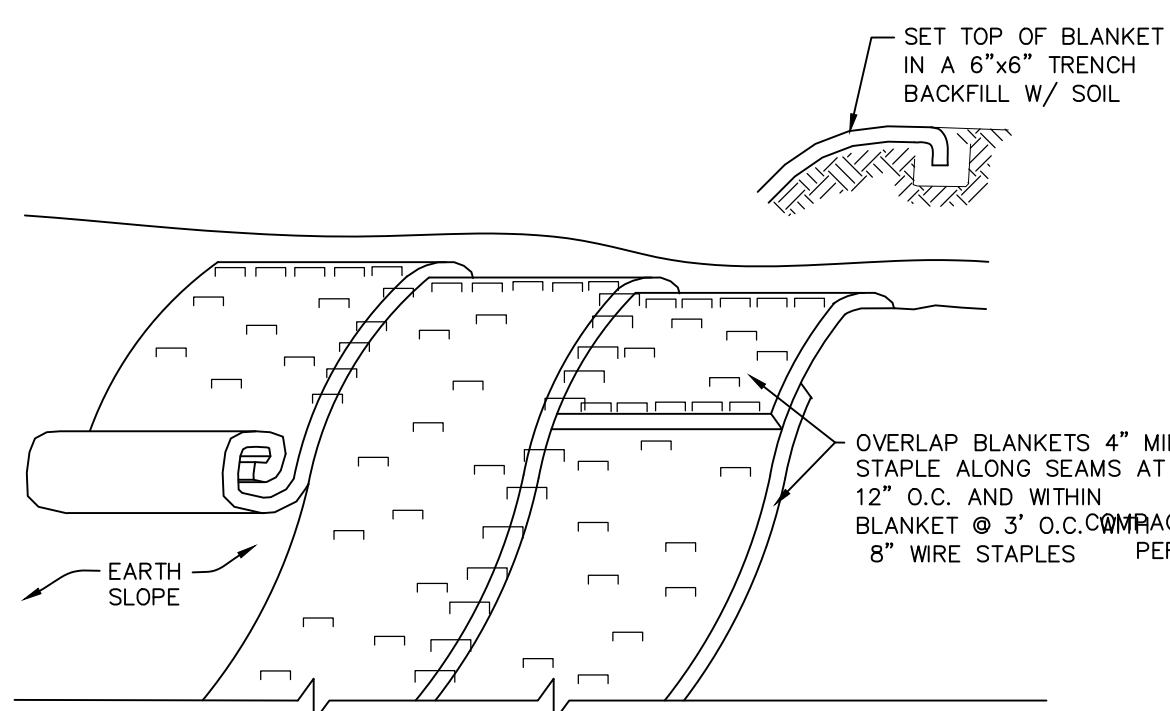
- CONSTRUCTION SPECIFICATIONS**
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
  - THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
  - FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
  - ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
  - STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
- A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELSIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

**TEMPORARY DIVERSION SWALE**  
NOT TO SCALE

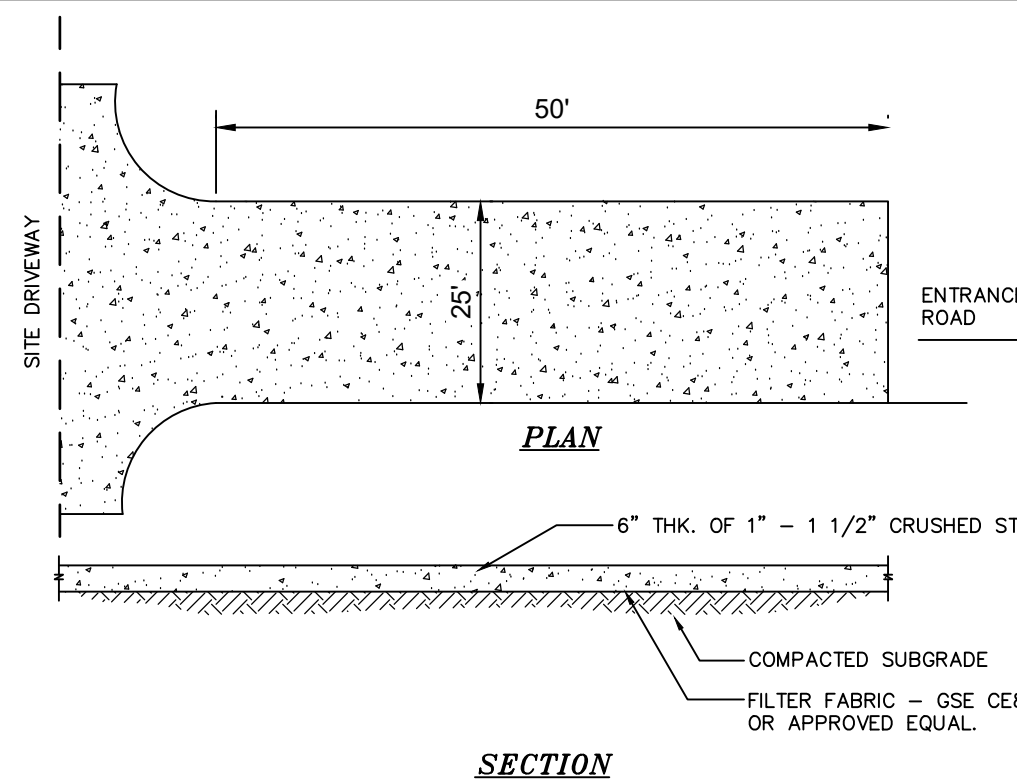


- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILTATION FENCE**  
NOT TO SCALE



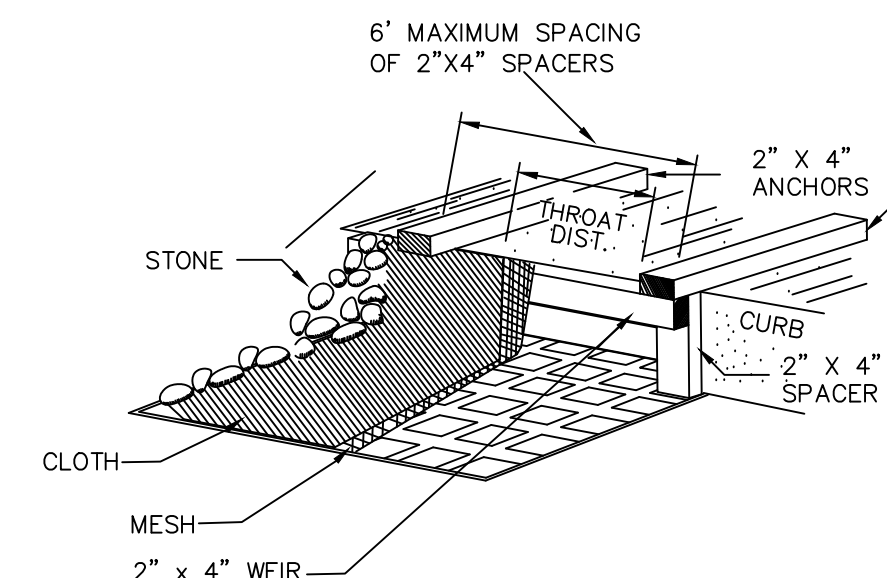
- CONSTRUCTION SPECIFICATIONS**
- SLOPE STABILIZATION TO BE USED ON ALL CREATED OR DISTURBED SLOPES GREATER THAN 25%.
  - STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES AS FOLLOWS:  
-S150BN - NORTH AMERICAN GREEN 1-800-772-2040  
-ECS-2B - EAST COAST EROSION BLANKET 1-800-582-4005  
-APPROVED EQUAL.
  - ALL SLOPE RESTORATION MUST INCLUDE 4" TOPSOIL.
  - PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING PRIOR TO INSTALLING EROSION CONTROL NETTING.
  - AFTER NETTING IS INSTALLED, PLANT ANY PROPOSED LANDSCAPING/GROUND COVER THROUGH SLITS CUT IN FABRIC.



NOTE: ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

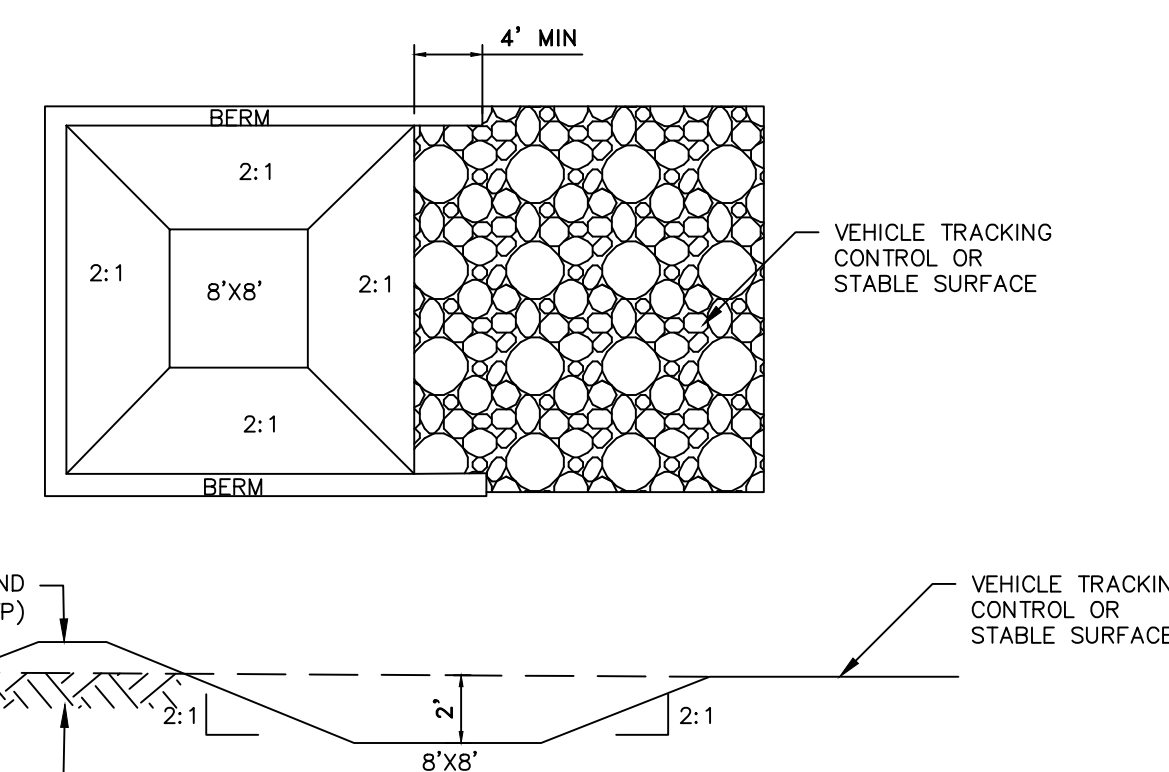
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1" - 1 1/2" CRUSHED STONE, WILL BE AT LEAST 24' X 50' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.
- ALL DRIVEWAYS MUST BE STABILIZED WITH 1" - 1 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.



- CONSTRUCTION SPECIFICATIONS:**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
  - WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
  - WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
  - THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
  - THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
  - THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

**STORM DRAIN INLET FILTER DETAIL**  
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
  - THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8' SLOPES LEADING OUT IF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
  - BERM SURROUNDING SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE MINIMUM OF 1'.
  - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA.
  - USE EXCAVATED MATERIAL FOR PERIMETER CONSTRUCTION.

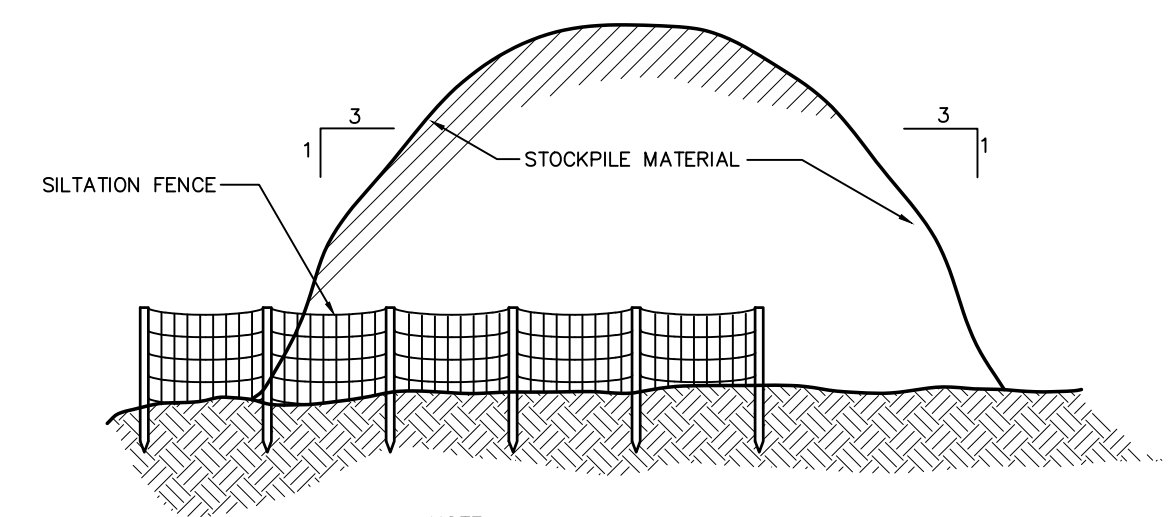
**CONCRETE WASHOUT AREA DETAIL**  
NOT TO SCALE

**EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS**

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):  
A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.  
B. SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE  
FALL/WINTER - AROOSTOOK WINTER RYE AT 100 LBS PER ACRE  
C. MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.  
D. WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS SPECIFIED ON LANDSCAPE PLAN:  
A. LIME TOPSOIL TO pH 6.0.  
B. FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.  
C. SEED REQUIREMENTS - SEE LANDSCAPING PLAN.  
D. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 16 ABOVE).
- DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
- MAINTAIN ALL SEEDING AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- MAINTAIN COPIES OF THE FOLLOWING APPLICABLE ITEMS FOR THE PROJECT: CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS HAVE OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION".
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

**SOIL RESTORATION REQUIREMENTS**

- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION."



**TYPICAL STOCKPILE DETAIL**  
NOT TO SCALE

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EROSION AND SEDIMENT CONTROL  
DETAILS PREPARED FOR

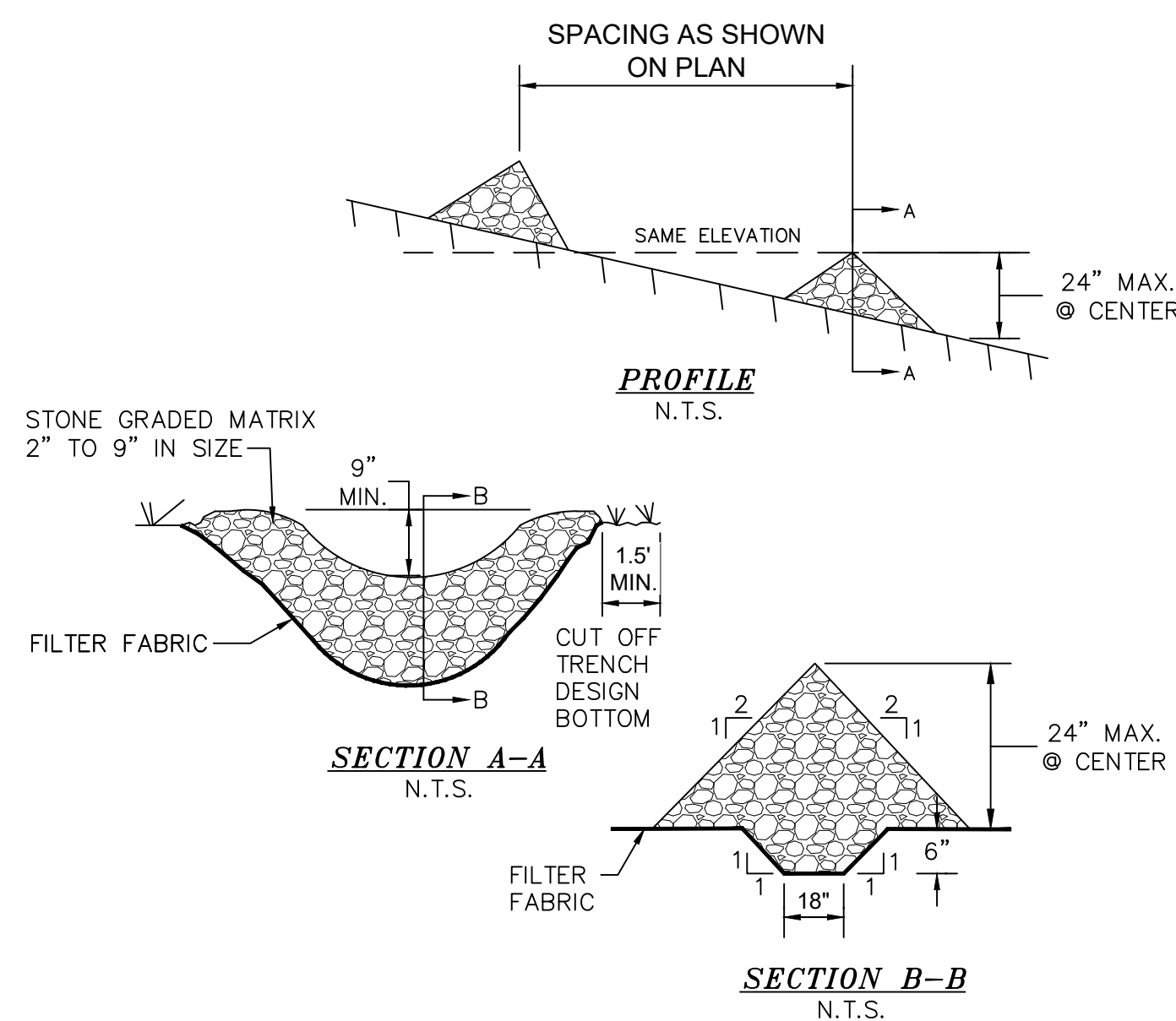
**MKJC REALTY, LLC**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023  
Revision:  
JULY 5, 2023  
AUGUST 23, 2023  
OCTOBER 18, 2023  
NOVEMBER 15, 2023  
DECEMBER 11, 2023

CAD File: ENGDWG  
Layer: EROSION DETAILS  
Sheet No.: 7 OF 12  
Drawing No.: C3D  
B- 23 - 0107 - 01

Drawn By: JQ  
Checked By: N.T.S.  
Scale: 35 - 3 - 3.22  
Tax Map No.: B- 23 - 0107 - 01



**CONSTRUCTION SPECIFICATIONS**

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT THE CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

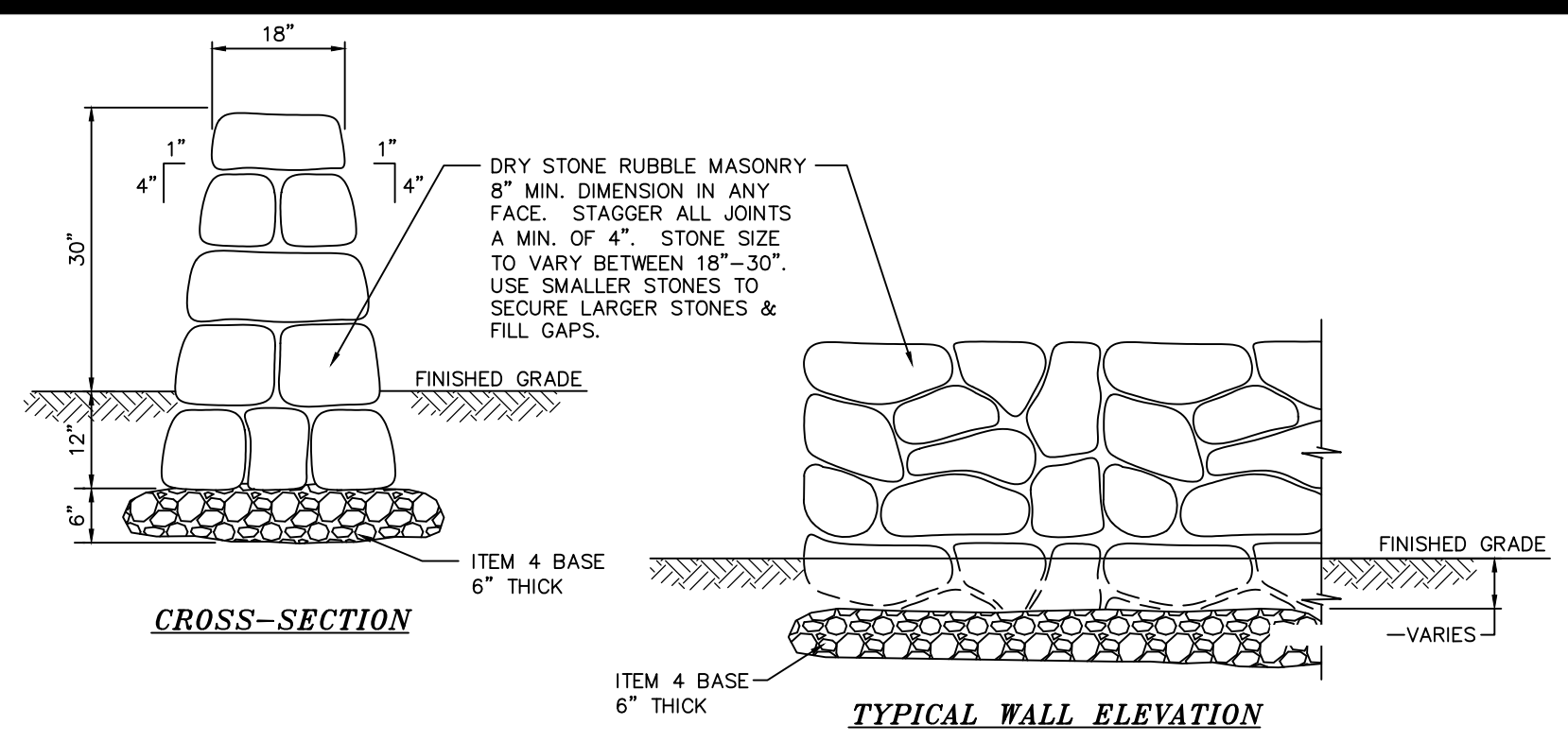
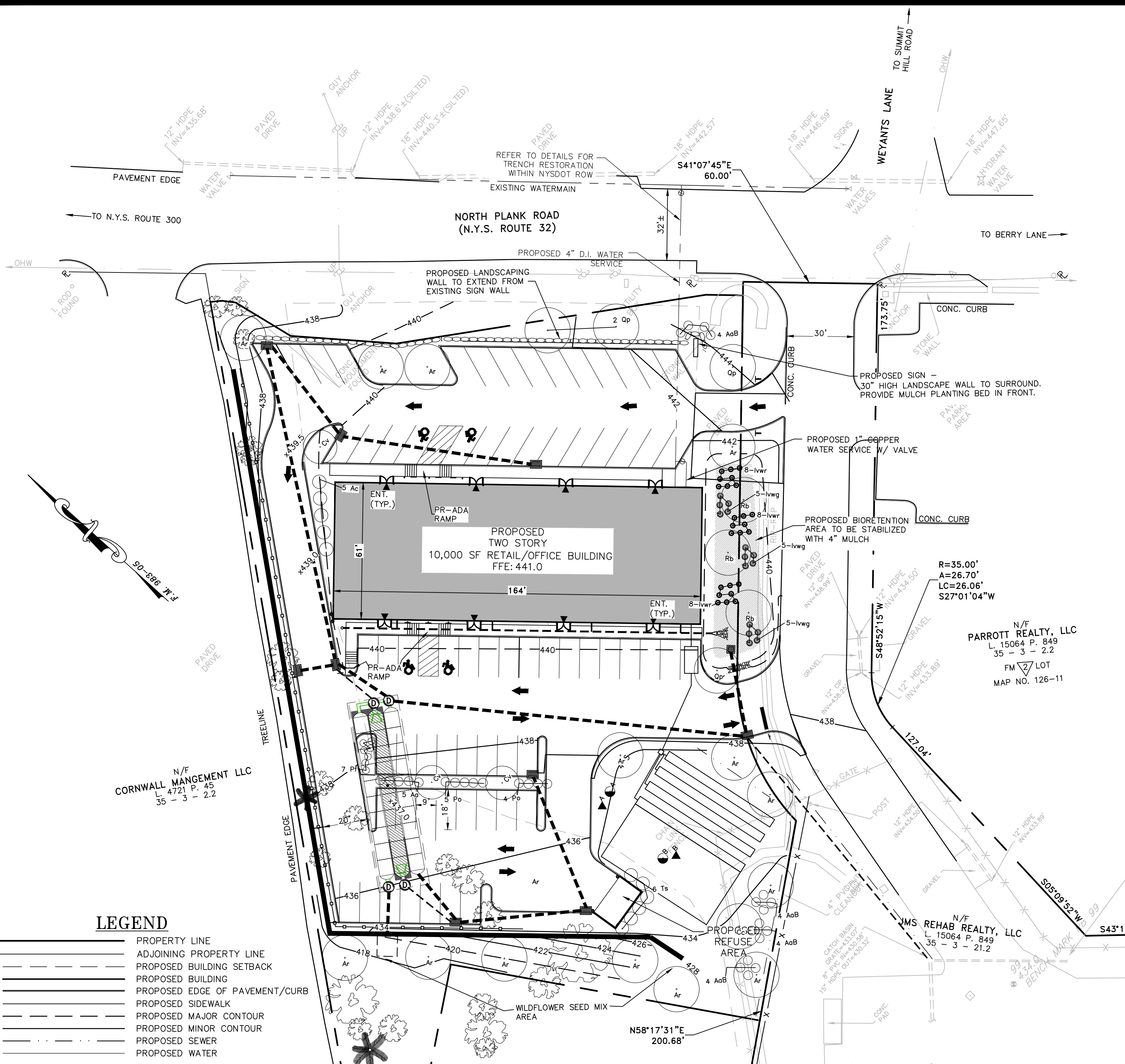
**CHECK DAM DETAIL**  
NOT TO SCALE

FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

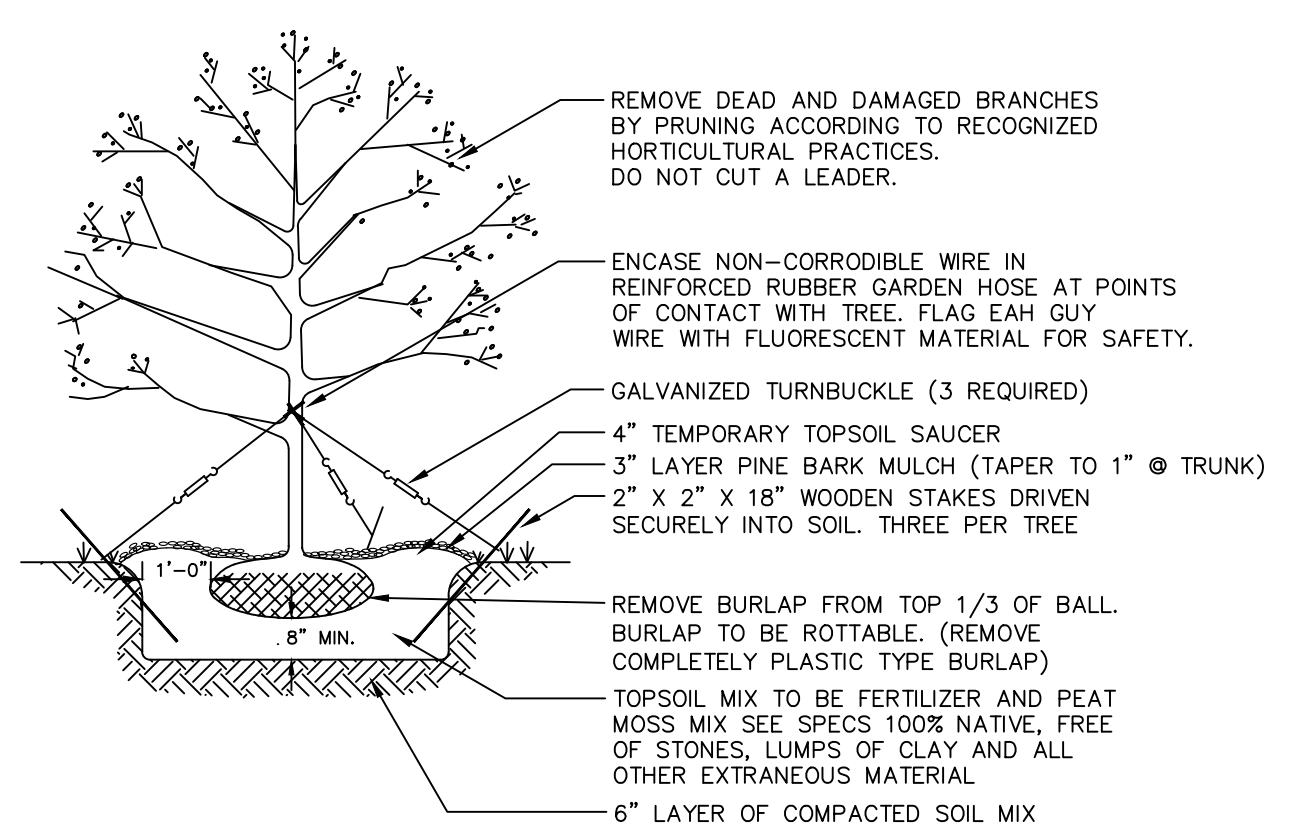
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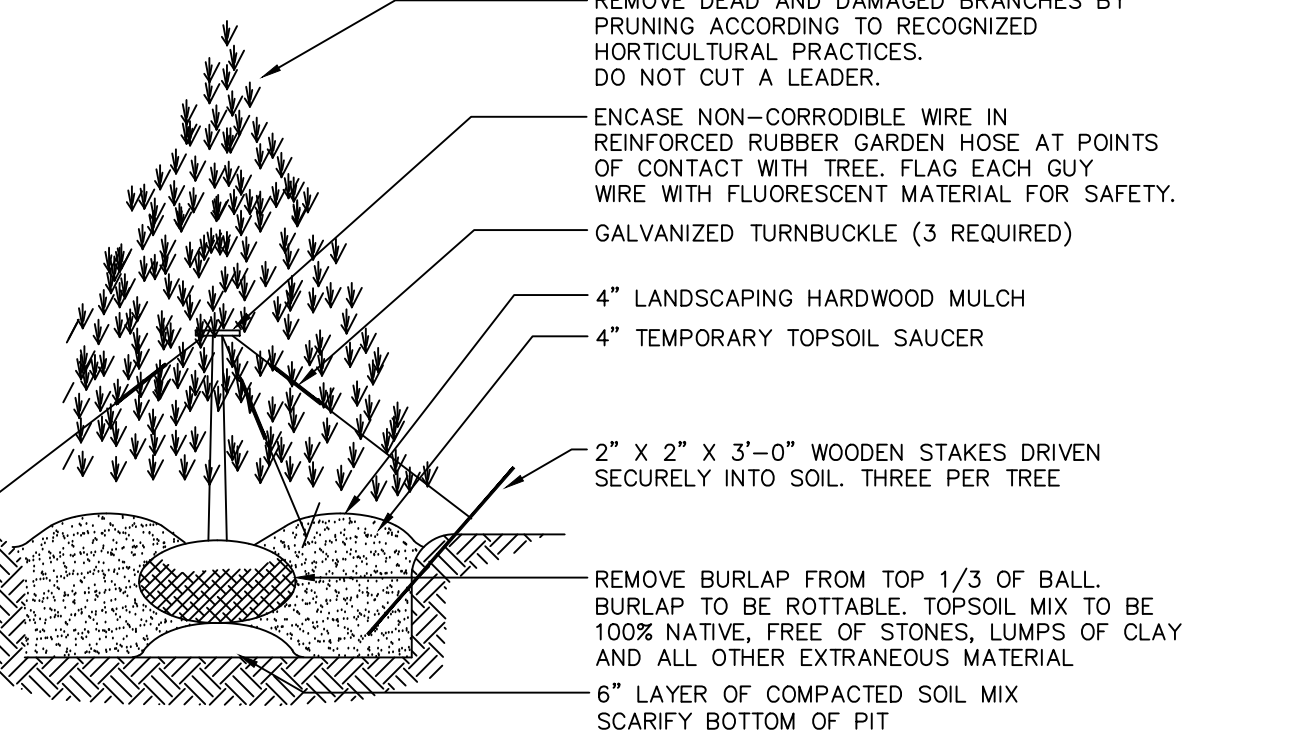




**LANDSCAPING DRY-SET STONE RETAINING WALL DETAIL**  
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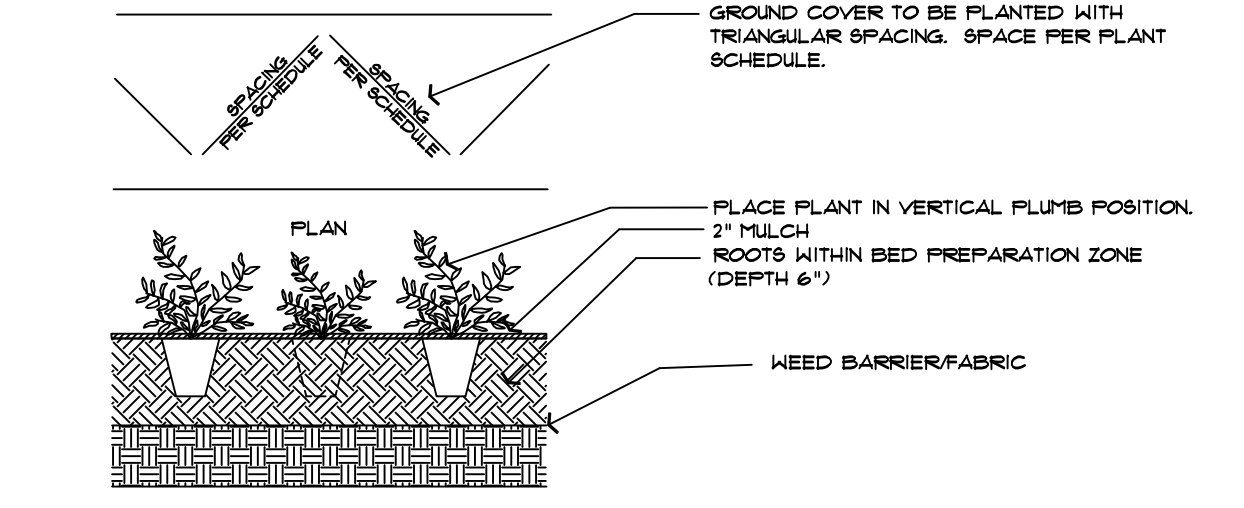


**DECIDUOUS TREE PLANTING DETAIL**  
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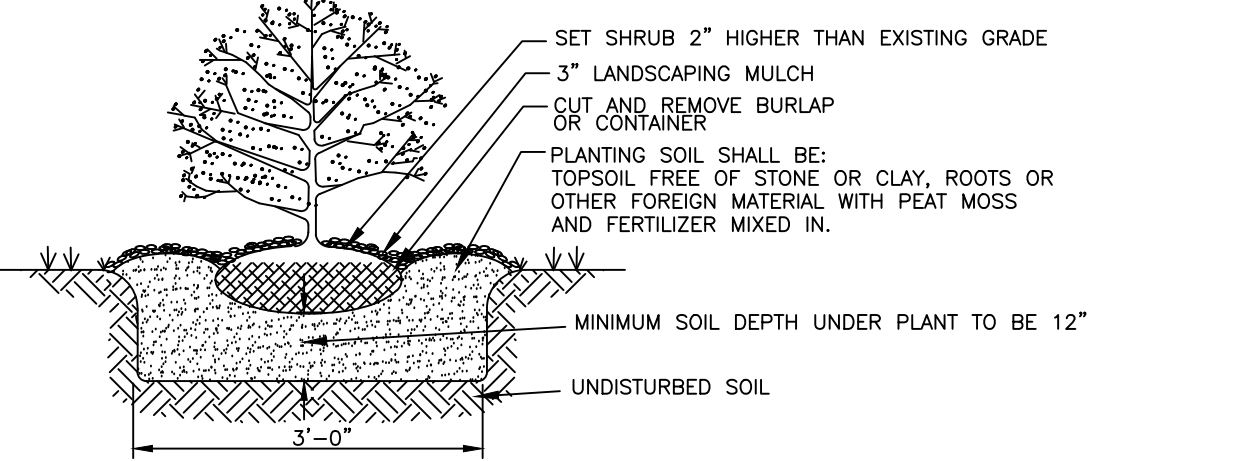


**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE

- NOTES:
- ALL DISTURBED AREAS TO BE TOPSOILED AT A DEPTH OF 6" AND SEEDED.
  - ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
  - ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
  - A MINIMUM OF 24" OF SOIL SHALL BE PLACED IN THE PLANTING AREA BETWEEN THE BUILDINGS AND THE PARKING AREA AND IN THE PARKING ISLAND. MIX 6" OF TOPSOIL INTO THIS 24" OF SOIL AND ADD AN ADDITIONAL 6" OF TOPSOIL ON TOP.
  - UNDER THE CANOPY OVERHANG, IN AREAS WHERE THERE IS NO SIDEWALK PROVIDE GRAVEL SUCH AS RIVER JAX OR TIMBER LITE STONE OVER LANDSCAPE FABRIC.



**GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE

**GENERAL LANDSCAPING NOTES:**

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. CONTRACTOR SHALL REMOVE STAKING AND GUYING AT END OF GUARANTEE PERIOD.
- ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL LANDSCAPING PLANT MATERIALS - TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
- ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
- ALL LAWN/GRASSED AREAS ARE TO BE TOPSOILED TO A DEPTH OF 6" AND SEEDED AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 24" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING AREAS.
- MULCH ALL PLANTING BEDS AND TREES WITH A 4 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3' DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.

**LANDSCAPING SEEDING SCHEDULE**

**TEMPORARY SEEDING DISTURBED AREAS**

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. / 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	ARROSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

**PERMANENT LAWN SEEDING RATES**

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

- NOTES:
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
  - SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING. HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

**PERIMETER SEEDING**

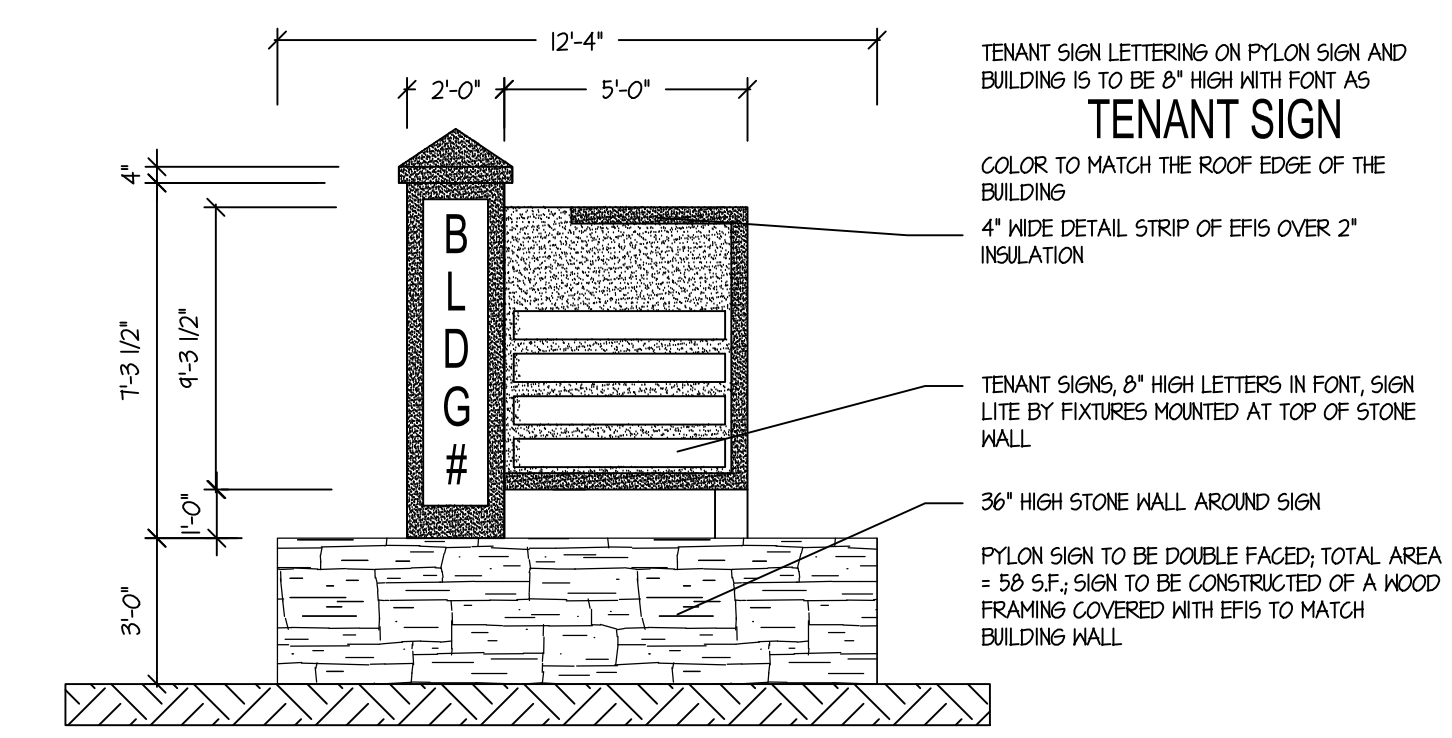
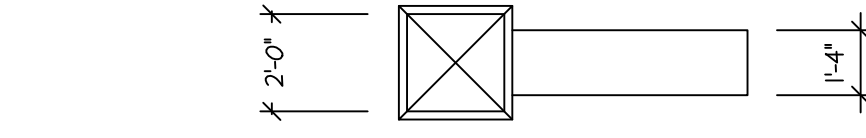
- A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 153-1 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT. THIS SHALL BE APPLIED TO THE SOUTHERN PORTION OF THE SITE BEHIND THE RETAINING WALL.

**PLANTING SCHEDULE**

	SPRING PLANTING	FALL PLANTING
TREES AND SHRUBS:		
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

**LEGEND**

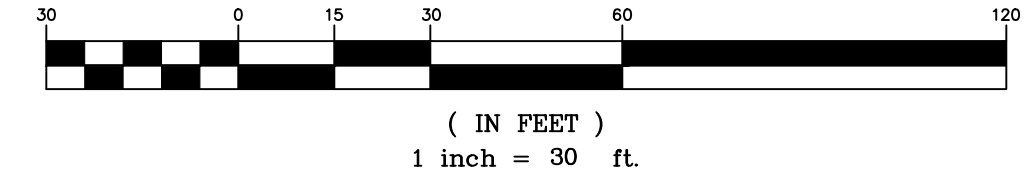
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER



**GENERAL SIGN DETAIL**  
NOT TO SCALE

SITE PLANT LIST				
Symbol	Qty	SCIENTIFIC NAME	COMMON NAME	INSTALLATION SIZE
Cc	1	CERCIS CANADENSIS	RED BUD	7'-8" HGT
Cv	3	CRAEETAGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	7'-8" HGT
Qp	4	QUERCUS PALUSTRIS	PIN OAK	7'-8" HGT
Bn	3	BETULA NIGRA	RIVER BIRCH	6'-7" HGT
Ar	14	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	7'-8" HGT
<b>SHRUBS (DECIDUOUS AND EVERGREEN)</b>				
Aa	5	ARONIA ARBUTIFOLIA	CHOKEBERRY	30"-36" HGT
Ts	6	THUJA STANDISHII	GREEN GIANT ARBORVITAE	6'-7" HGT
Ac	5	AMELANCHIER CANADENSIS	SHADBLow SERVICE BERRY	6'-7" HGT
Pf	7	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	30"-36" HGT
Po	9	PHYSOCARPUS OPULIFOLIUS	NINEBARK	30"-36" HGT
lwr	24	ILEX VERTICILLATA 'WINTER RED'	WINTERBERRY HOLLY RED	30"-36" HGT
lwg	15	ILEX VERTICILLATA 'WINTER GOLD'	WINTERBERRY HOLLY GOLD	30"-36" HGT
AaB	16	Brilliantissima Aronia	BRIGHT RED CHOKEBERRY	30"-36" HGT
<b>Site Cover</b>				
ERNX-153-1		ERNST SEEDS - SHOWY NORTHEAST NATIVE WILDFLOWER MIX		SEED

**GRAPHIC SCALE**



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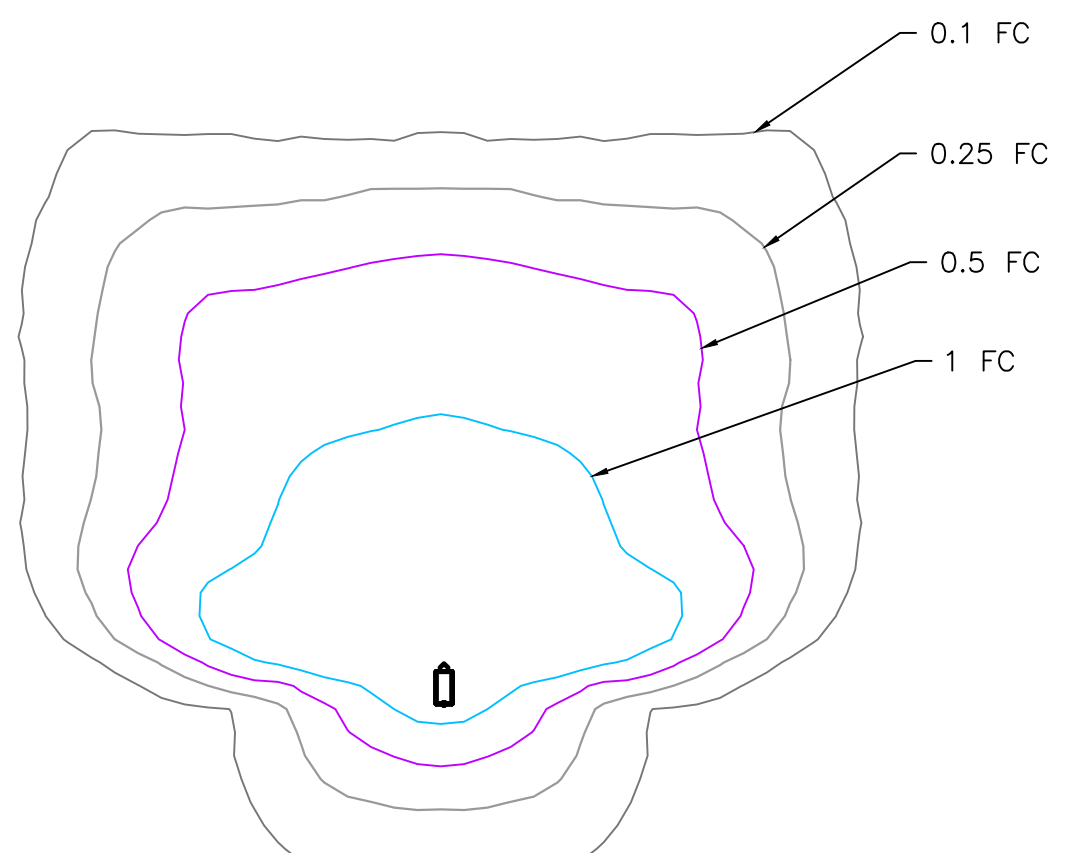
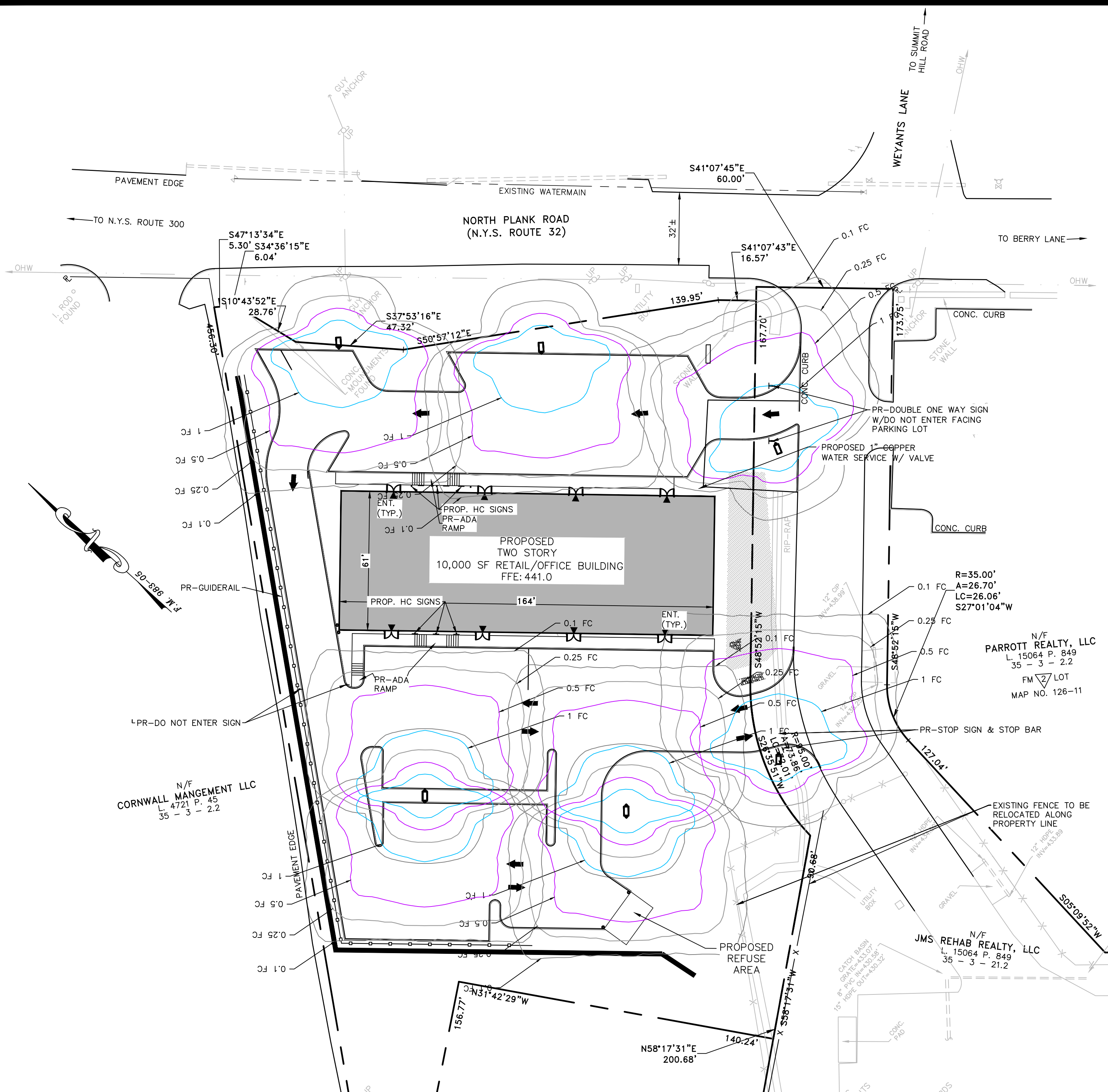


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P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

LANDSCAPING PLAN AND DETAILS PREPARED FOR		Date: JUNE 27, 2023
		Revision: JULY 5, 2023 AUGUST 23, 2023 OCTOBER 18, 2023 NOVEMBER 15, 2023 DECEMBER 11, 2023
MKJC REALTY, LLC TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		CAD File: ENG.DWG
		Layout: LANDSCAPING
Sheet No.: 8 OF 12	Drawn By: JQ	Checked By: [ ]
Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22	Drawing No.: C3D
		B- 23 - 0107 - 01



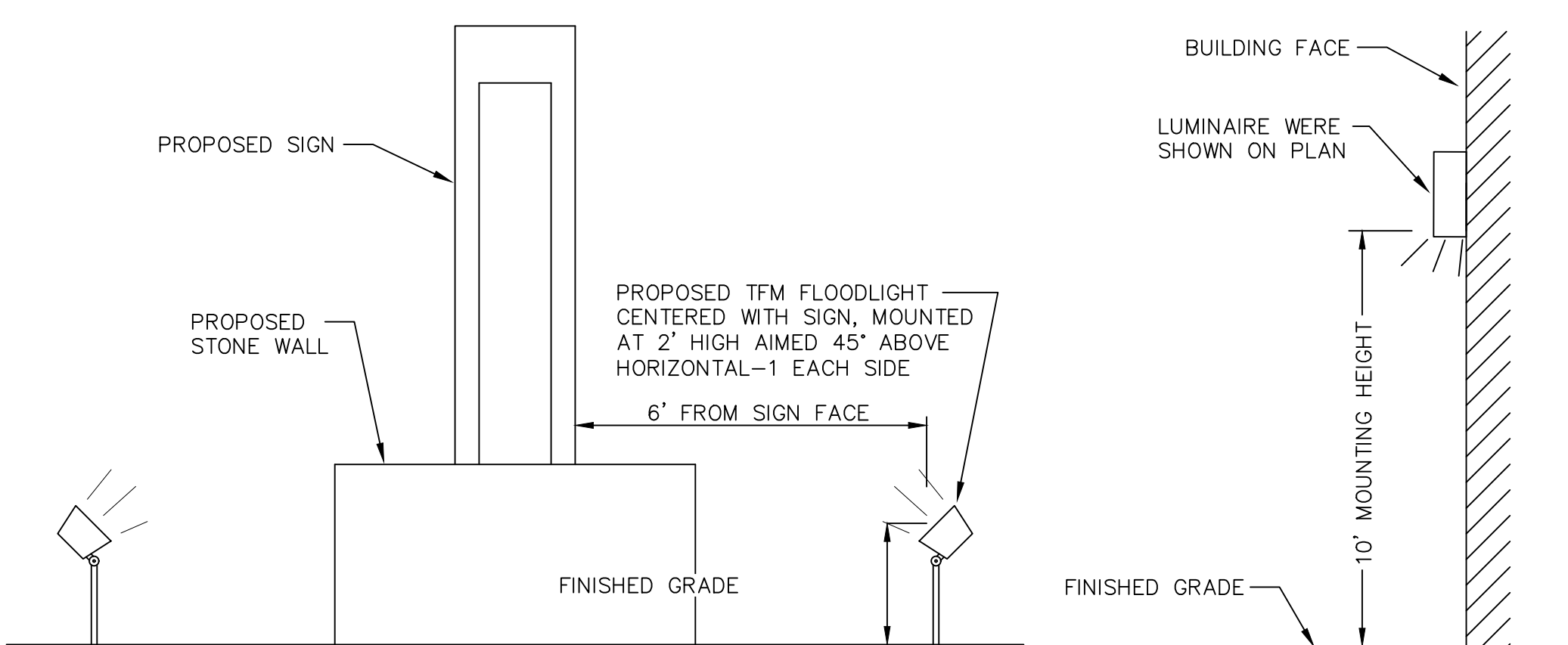
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT

EATON "GAN GALLEON" LUMINAIRE "C" TYPE T4FT DISTRIBUTION PHOTOMETRIC DIAGRAM



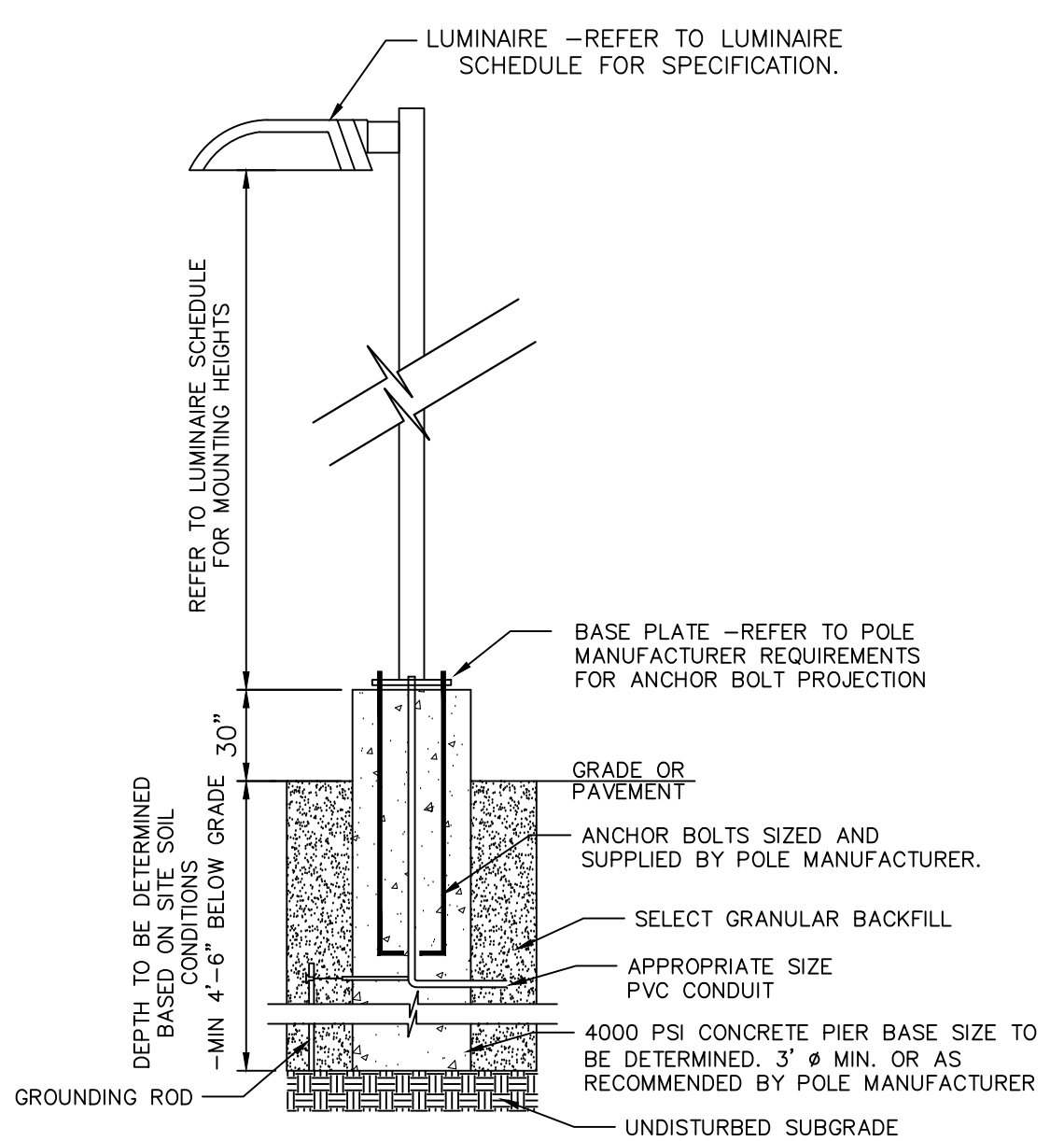
EATON "GAN GALLEON" LED AREA LUMINAIRE TYPICAL POLE MOUNT AREA LUMINAIRE

PROPOSED LIGHTING FIXTURES SHALL NOT EXCEED 3000K LIGHTING LEVELS.



PROPOSED SIGN LIGHTING DETAIL NOT TO SCALE

BUILDING MOUNTED LIGHTING DETAIL NOT TO SCALE



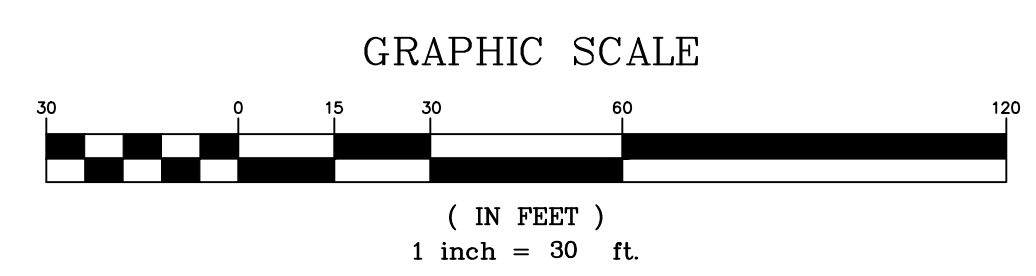
NOTE:  
1. INSTALL LIGHT POLE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.  
2. POLE BASE SHALL BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

LIGHT POLE BASE DETAIL NOT TO SCALE

- LEGEND**
- PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - - - PROPOSED BUILDING SETBACK
  - ▬ PROPOSED BUILDING
  - ▬ PROPOSED EDGE OF PAVEMENT/CURB
  - ▬ PROPOSED SIDEWALK
  - ▬ PROPOSED MAJOR CONTOUR
  - ▬ PROPOSED MINOR CONTOUR
  - ▬ PROPOSED SEWER
  - ▬ PROPOSED WATER

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**RECORD OWNER/APPLICANT:**

AREA: 1.674± AC.

MKJC REALTY, LLC  
208 SOUTH PLANK ROAD  
NEWBURGH, NY 12250

35 - 3 - 3.22  
L. 15137 P. 1318

FILED MAP NO. 938-05

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LIGHTING PLAN AND DETAILS  
PREPARED FOR

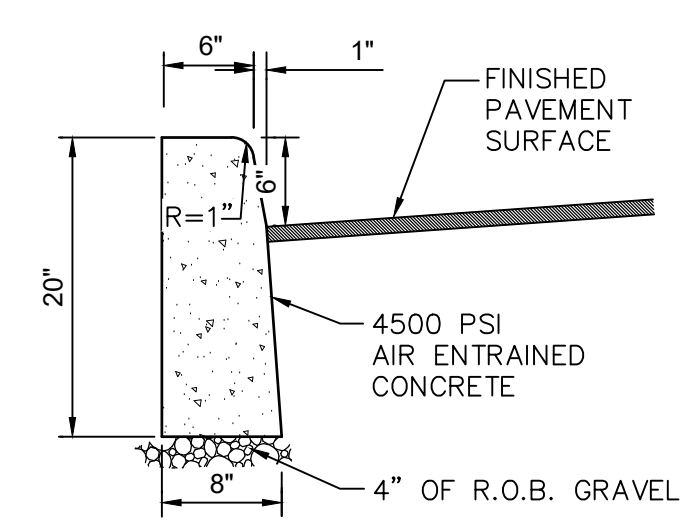
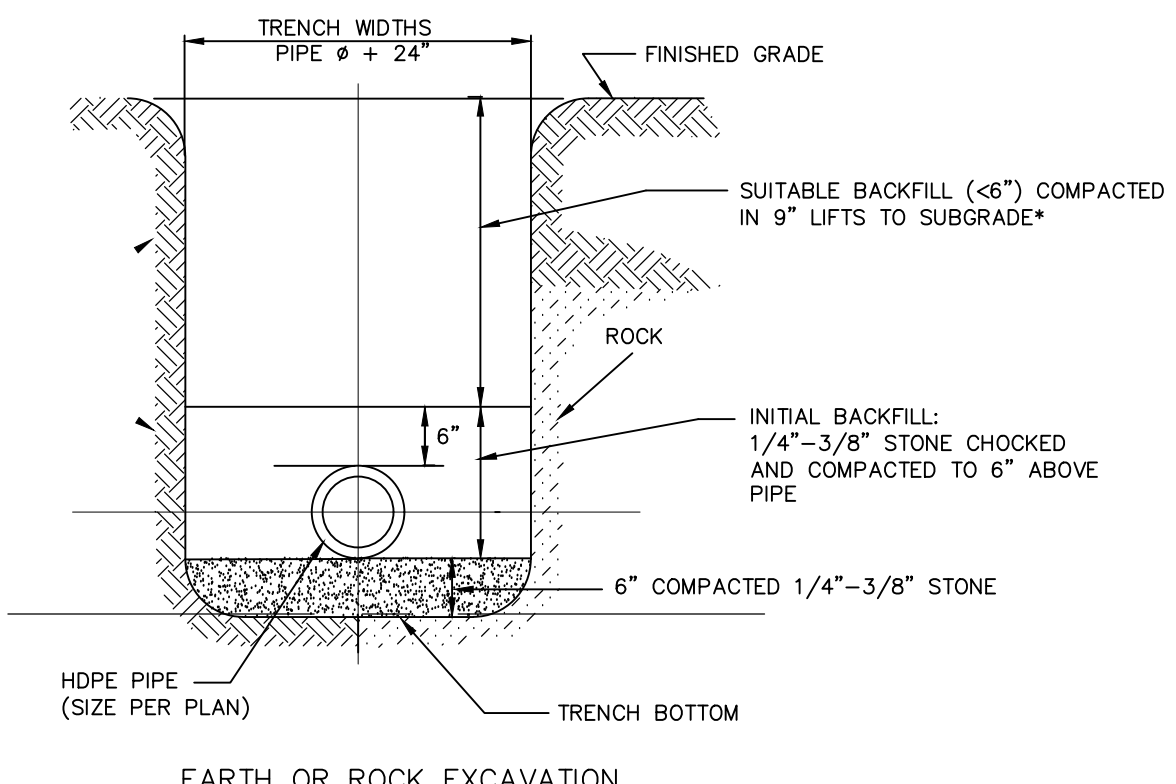
**MKJC REALTY, LLC**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023  
Revision:  
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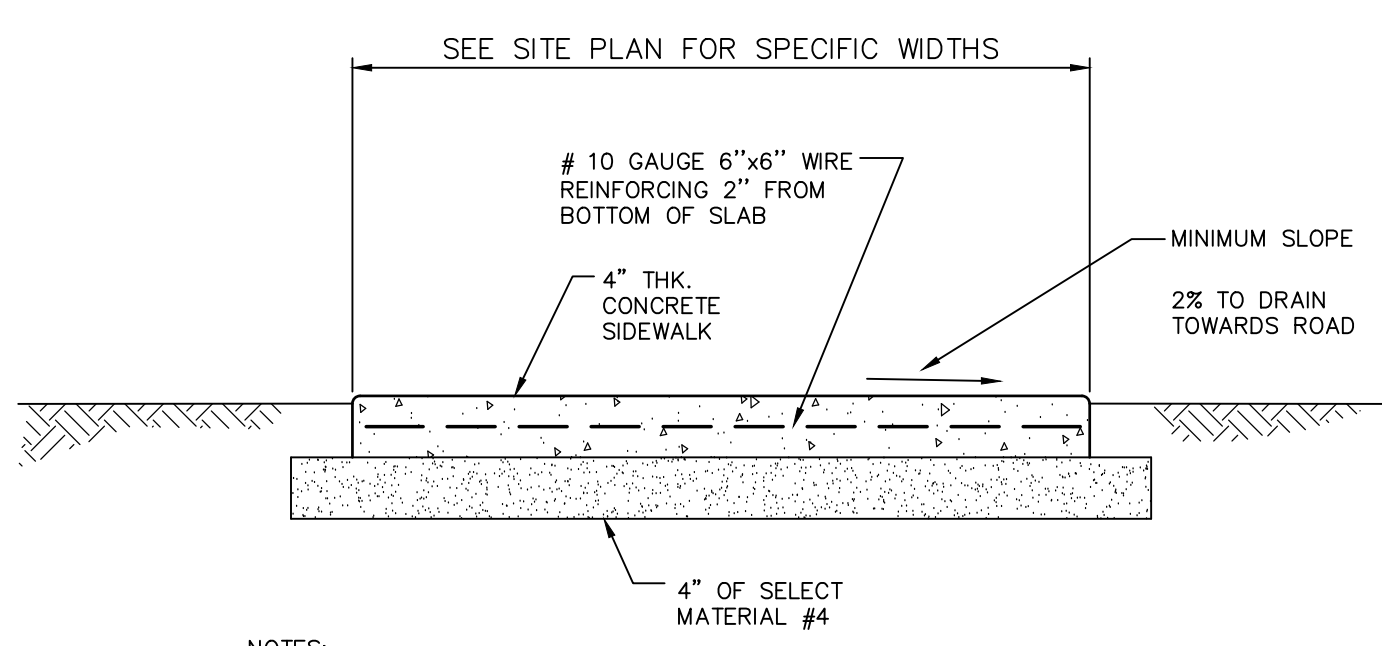
Drawn By: JQ	Checked By:	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22
Sheet No.: 9 OF 12		Drawing No.: C3D	
B- 23 - 0107 - 01			





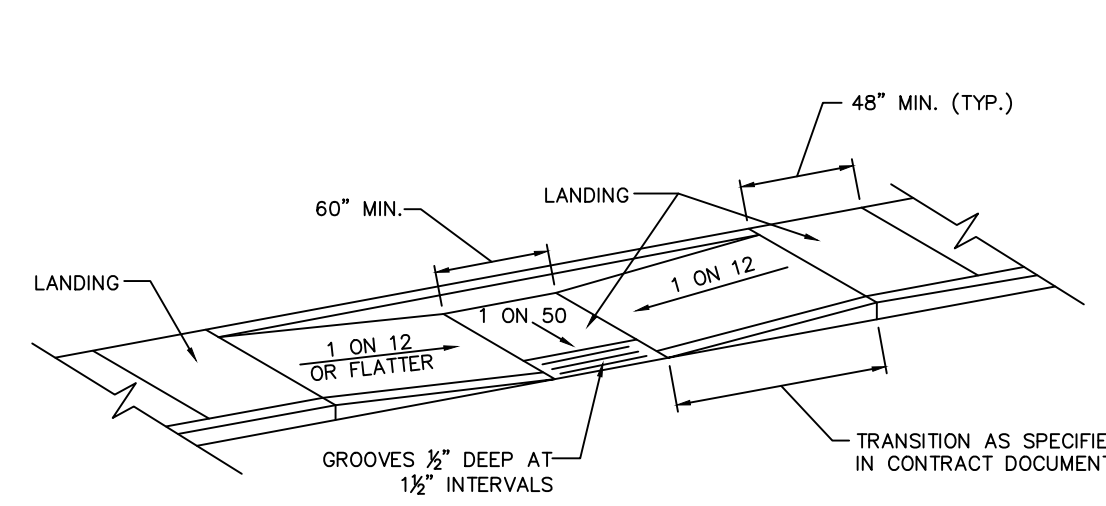
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/2".

**CONCRETE CURB**  
NOT TO SCALE

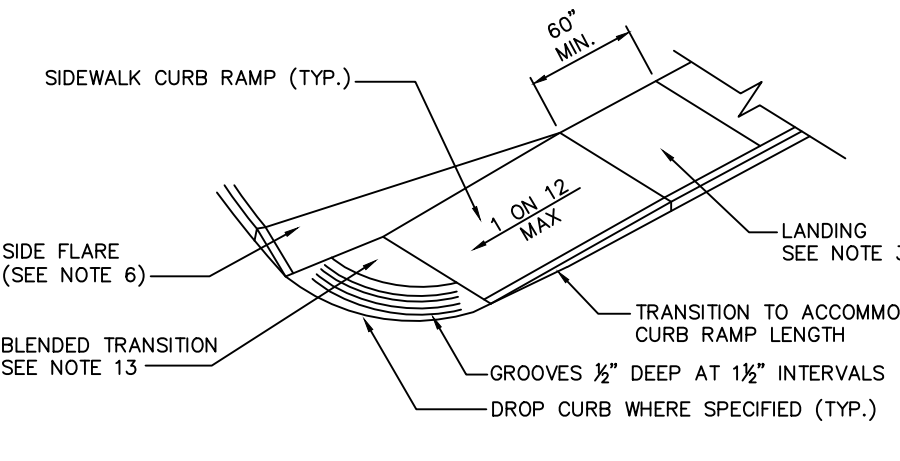


NOTES:  
1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.  
2. CONTRACTION JOINTS 1" DEEP HAVING 1/2" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.  
3. EDGES SHALL HAVE 1/2" RADIUS.  
4. USE 4000 PSI CONCRETE.  
5. BROOM FINISH TOP SURFACE.

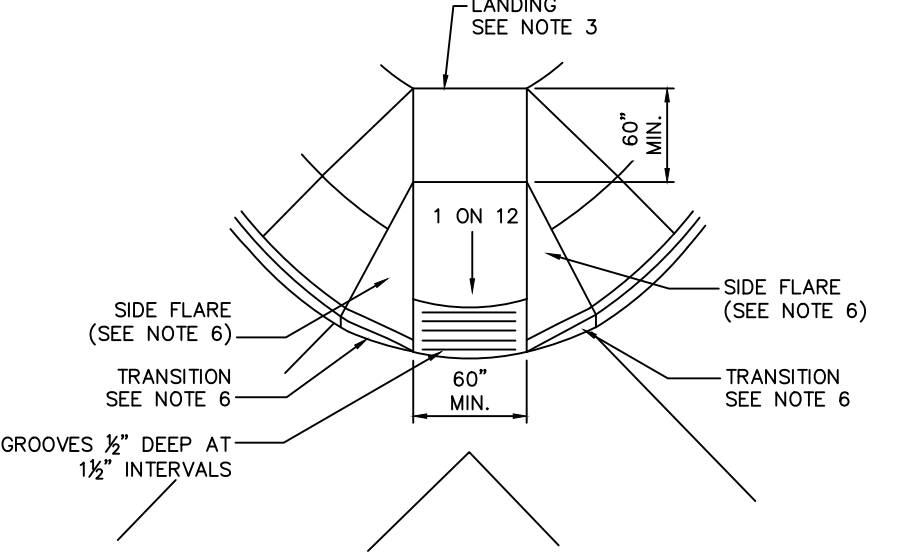
**STANDARD SIDEWALK DETAIL**  
NOT TO SCALE



**PARALLEL CURB RAMPS**  
NOT TO SCALE

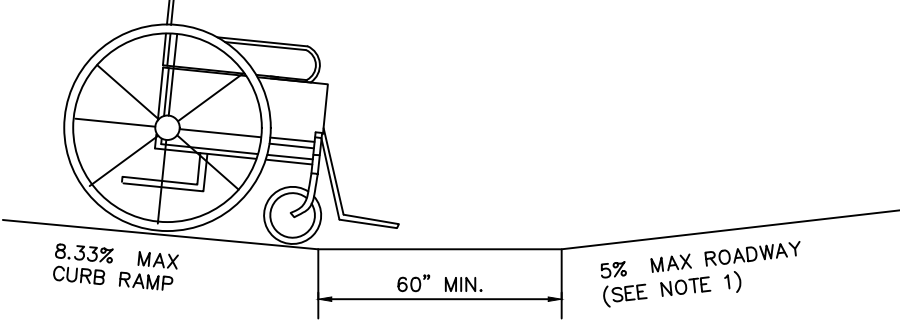


**SIDEWALK CURB RAMP**  
NOT TO SCALE



**DIAGONAL SIDEWALK CURB RAMP**  
NOT TO SCALE

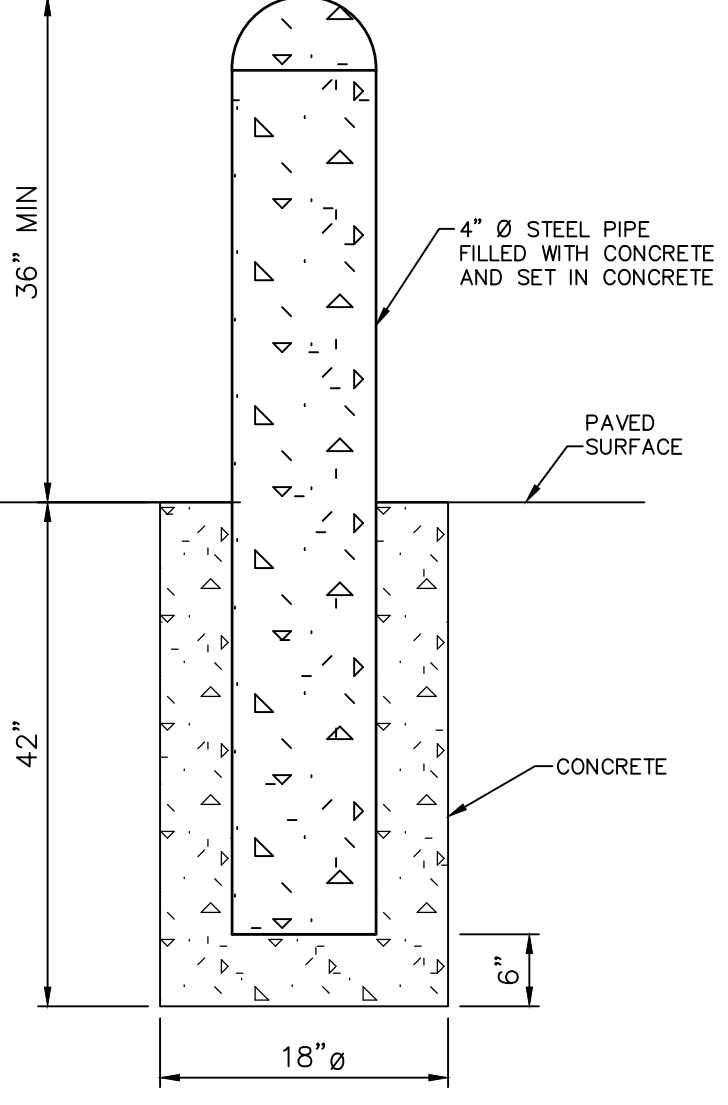
- GENERAL NOTES:
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
  - THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
  - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
  - CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
  - THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
  - CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
  - THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
  - RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
  - COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MATCH. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
  - WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
  - AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
  - DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STANDARD SHEET FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROP CURBS MAY BE SPECIFIED.
  - SLOPES ON BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.



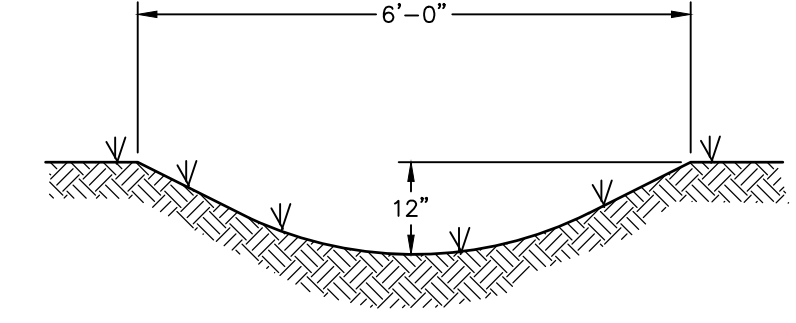
NOTE: TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 24" LEVEL STRIP (1:50 MAX. IN DIRECTION OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.

**COUNTER SLOPE CONDITIONS**  
NOT TO SCALE

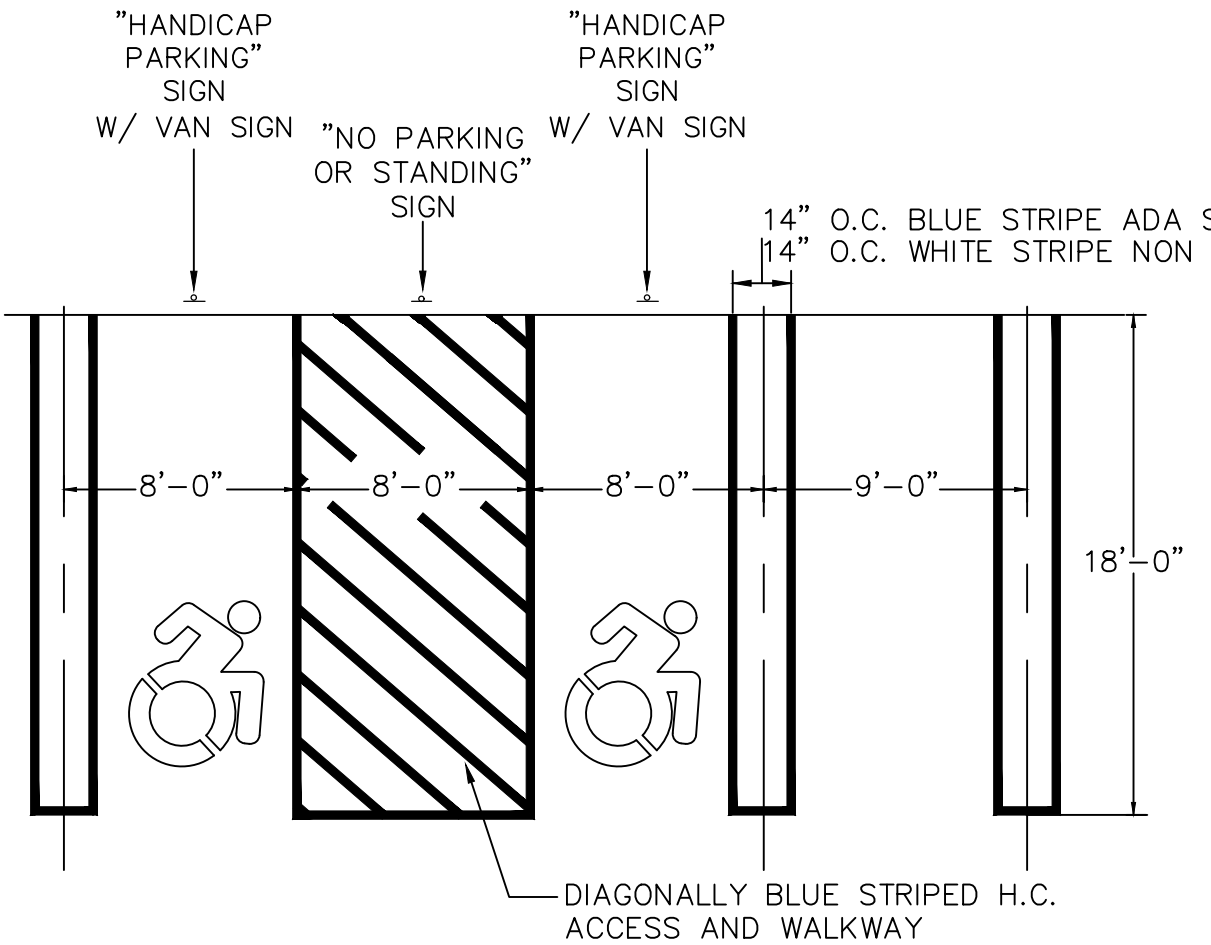
**CURB RAMP DETAILS**



**BOLLARD DETAIL**  
NOT TO SCALE

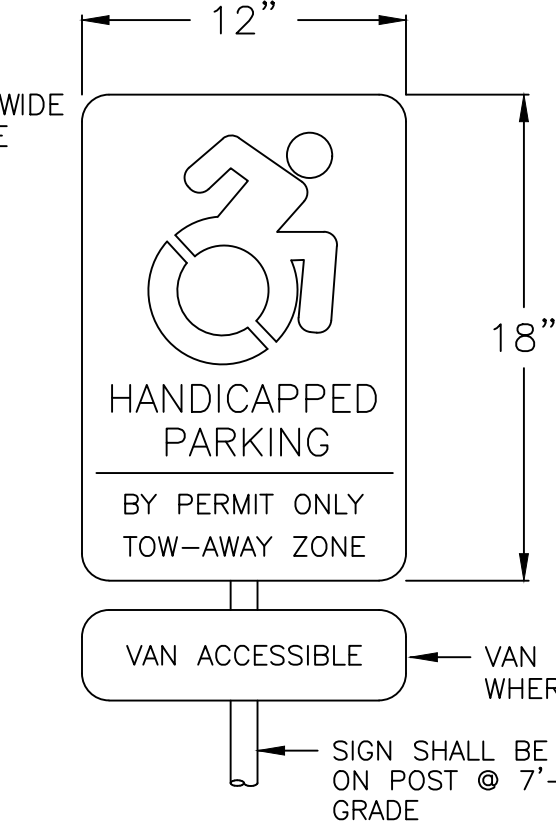


**SWALE DETAIL**  
NOT TO SCALE

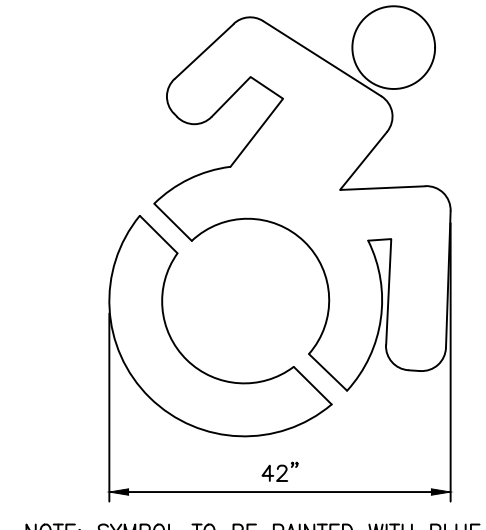


**ADA AND TYPICAL PARKING SPACE STRIPING DETAIL**  
NOT TO SCALE

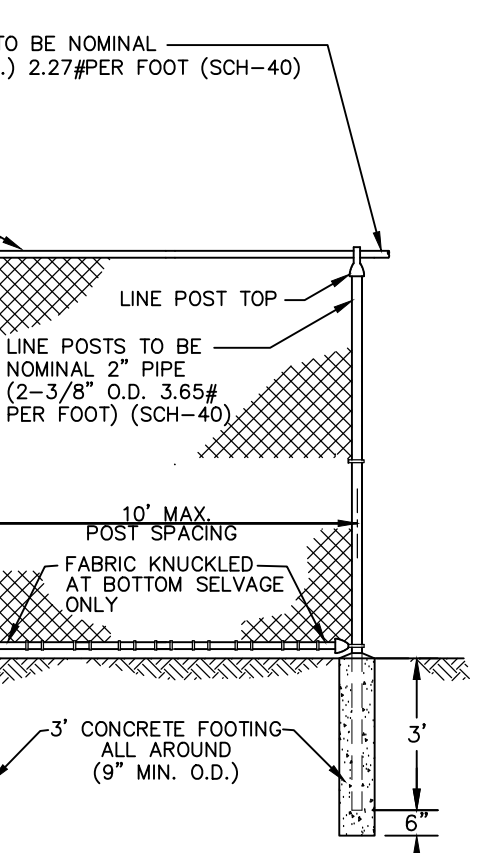
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



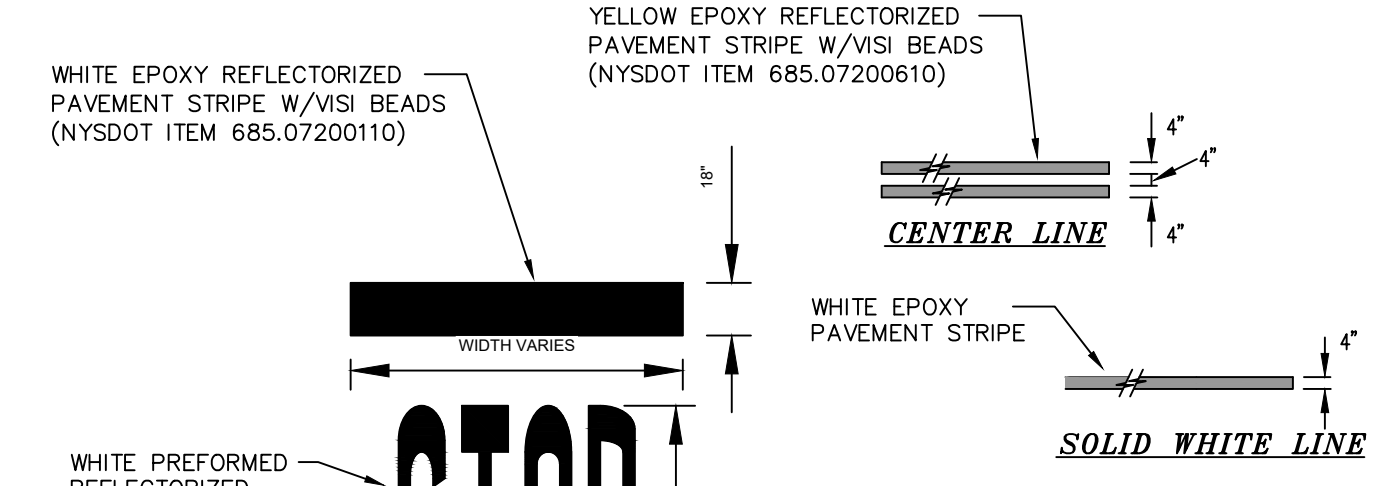
**HANDICAP SIGN**  
NOT TO SCALE



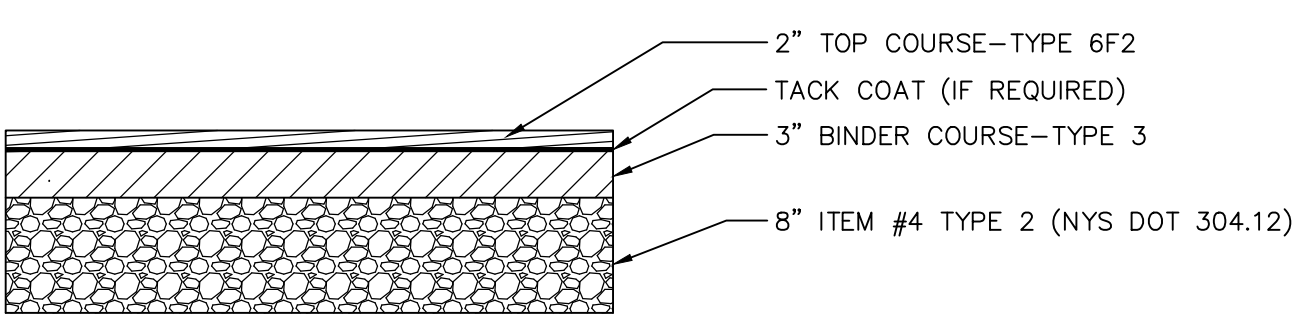
**NYS COMPLIANT ACCESSIBILITY SYMBOL**  
NOT TO SCALE



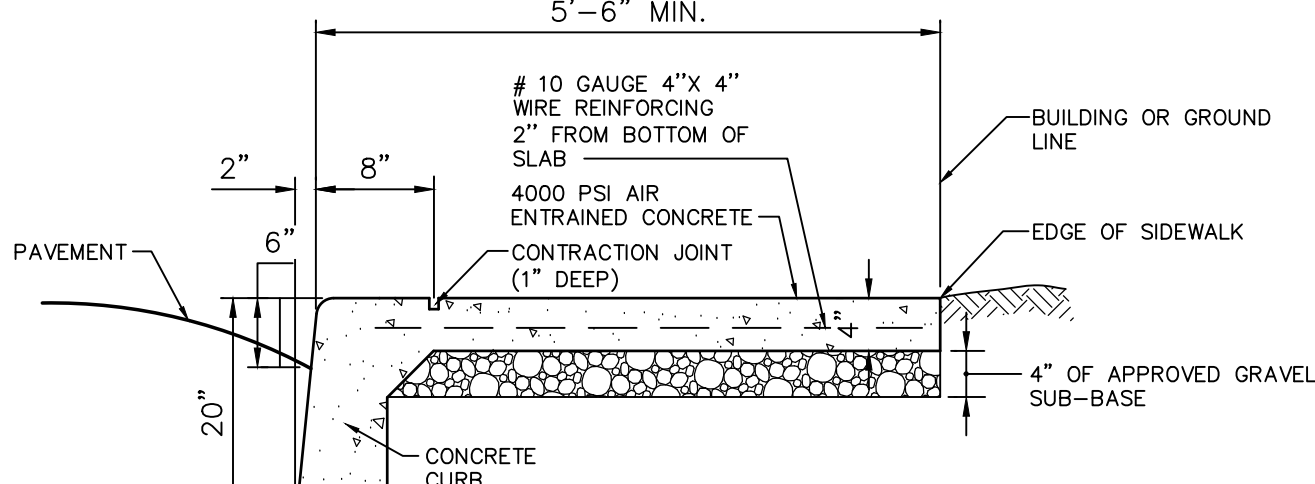
**TYPICAL CHAIN LINK FENCE**  
NOT TO SCALE



**STRIPING DETAILS**  
NOT TO SCALE

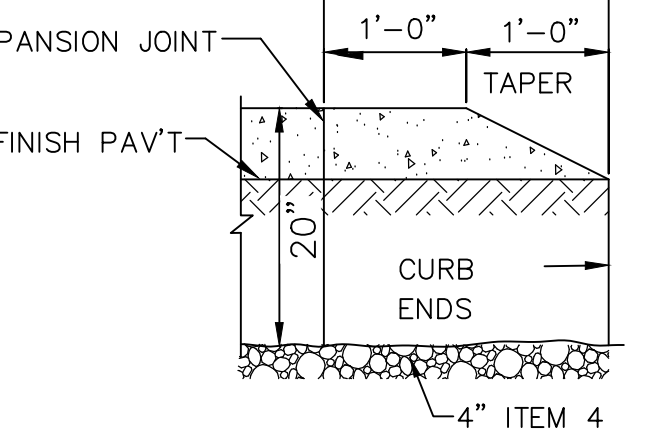


**PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS**  
NOT TO SCALE



**MONOLITHIC CURB AND SIDEWALK DETAIL**  
NOT TO SCALE

NOTES:  
1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.  
2. CONTRACTION JOINTS 1" DEEP HAVING 1/2" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.  
3. EDGES SHALL HAVE 1/2" RADIUS.  
4. USE 4000 PSI CONCRETE.  
5. BROOM FINISH TOP SURFACE.

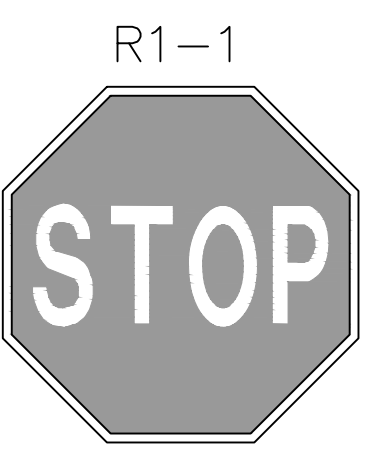


**BULLNOSE CURB TERMINAL**  
NOT TO SCALE

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
	SOIL CLASSIFICATION	ASTM	AASHTO	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	D2321	M43	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	M57	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM SM SC	M57 AND M58 (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.  
\* BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION. IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM NO. 304.14) TO SUBGRADE.

**UTILITY TRENCH CROSS SECTION**  
NOT TO SCALE

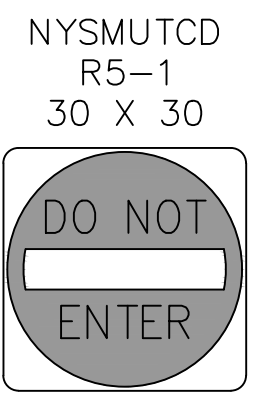


NOTE: STOP SIGN SHALL MEET THE REQUIREMENTS OF CHAPTER 2B OF THE MUTCD.

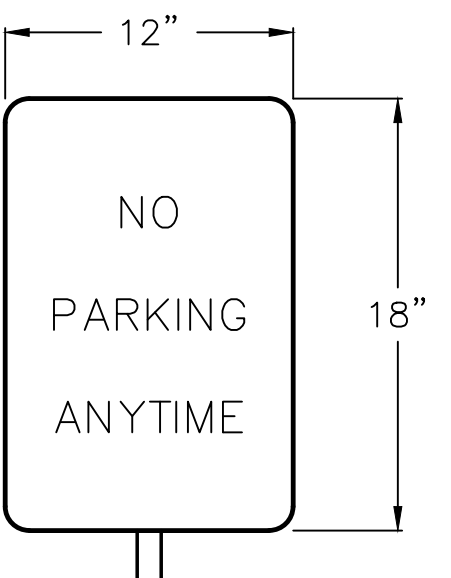
NYS MUTCD R3-10C  
36 X 12



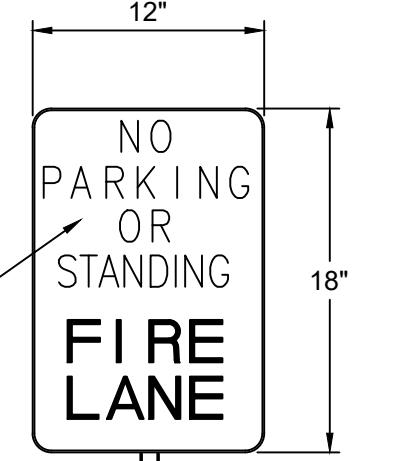
**REGULATORY SIGNS**  
NOT TO SCALE



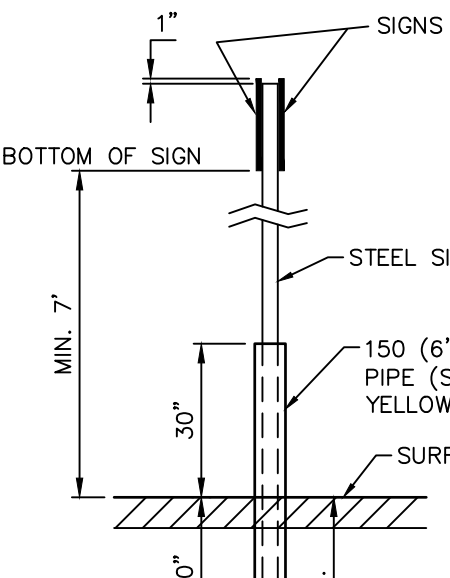
NYS MUTCD R5-1  
30 X 30



**NO PARKING SIGN**  
NOT TO SCALE



**FIRE LANE SIGN**  
NOT TO SCALE



**POST BASE DETAIL**  
NOT TO SCALE

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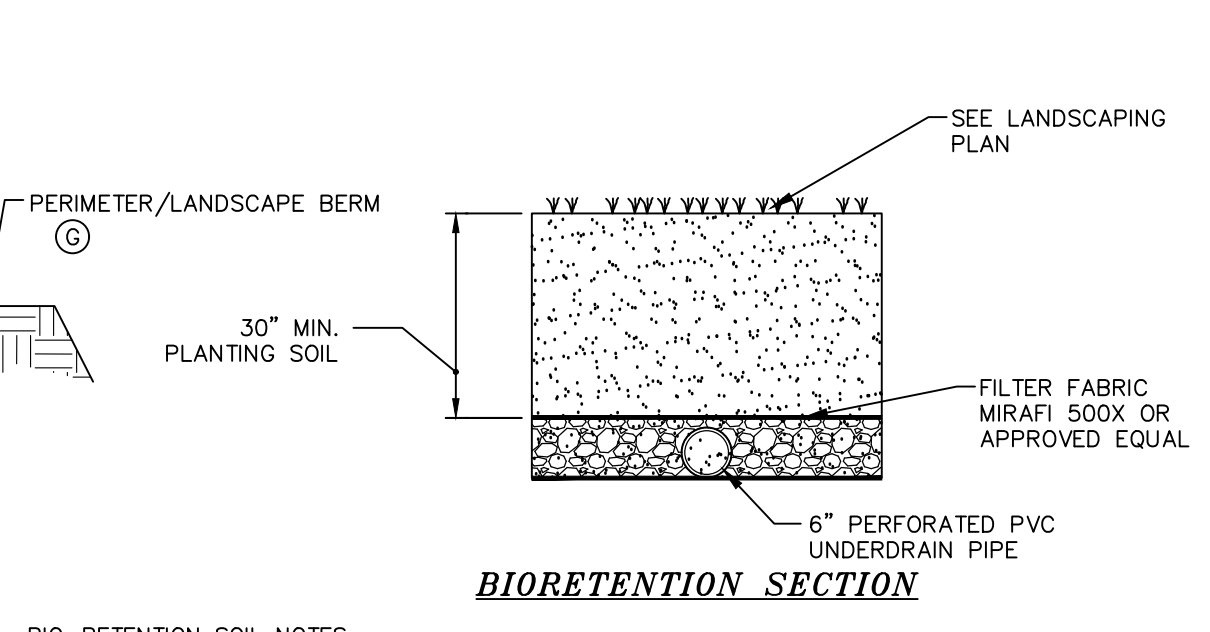
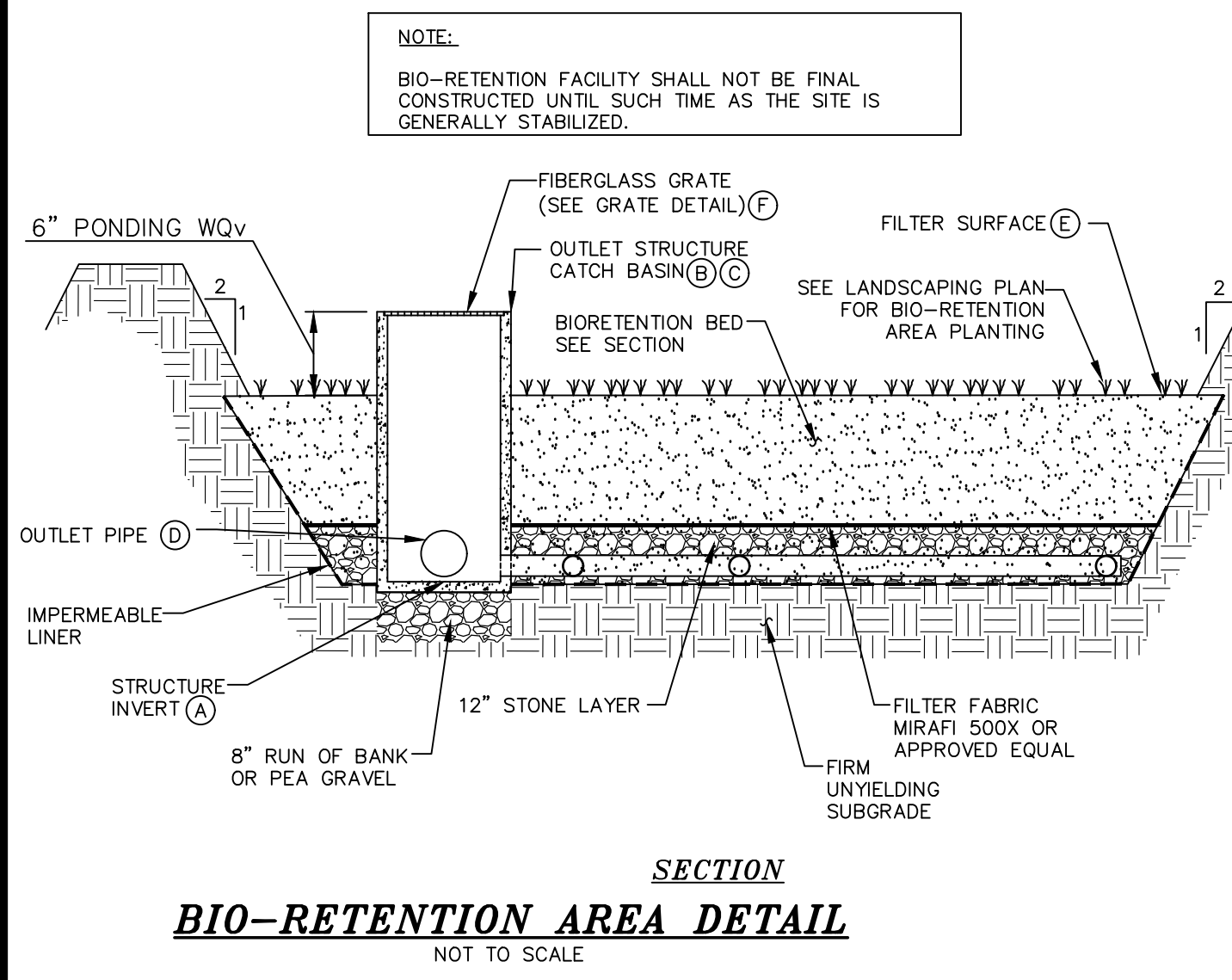
CONSTRUCTION DETAILS 1 PREPARED FOR

MKJC REALTY, LLC  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

DATE: JUNE 27, 2023  
REVISION: JULY 5, 2023  
AUGUST 23, 2023  
OCTOBER 18, 2023  
NOVEMBER 15, 2023  
DECEMBER 11, 2023

CD File: ENG.DWG  
Layer: EROSION DETAILS  
Sheet No.: 10 OF 12  
Drawing No.: C3D  
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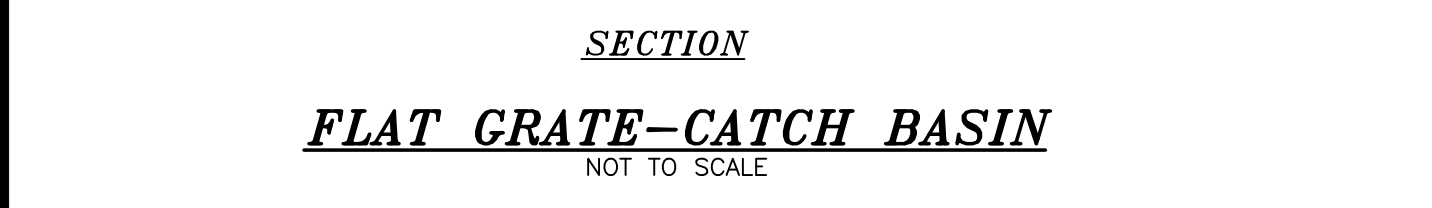
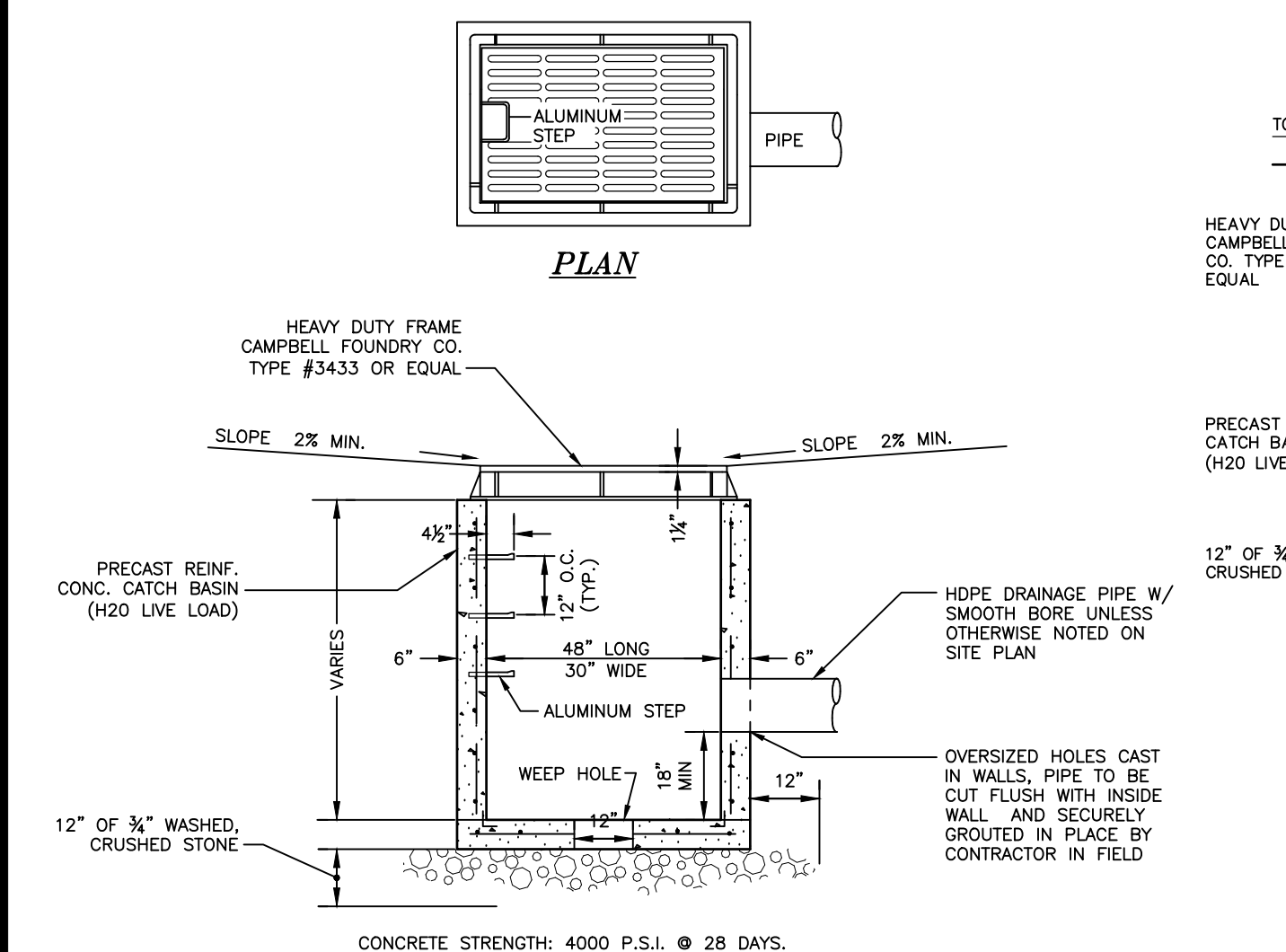
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**BIO-RETENTION SOIL NOTES:**  
BIO-RETENTION SOILS SHALL MEET THE SPECIFICATIONS SET FORTH BY THE NYS DOT ITEM #208.01030022 (BIO-RETENTION AND DRY SWALE SOIL)

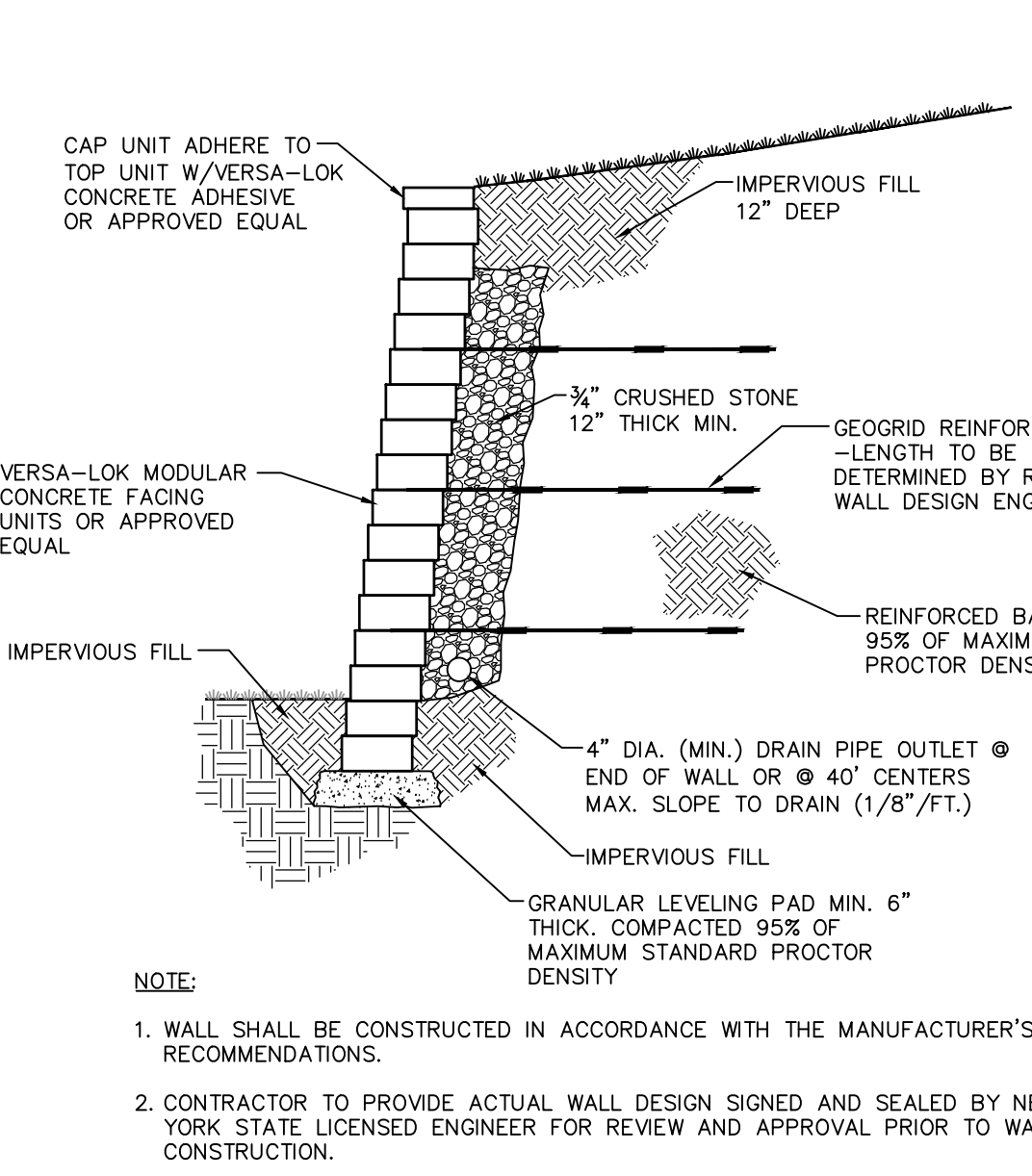
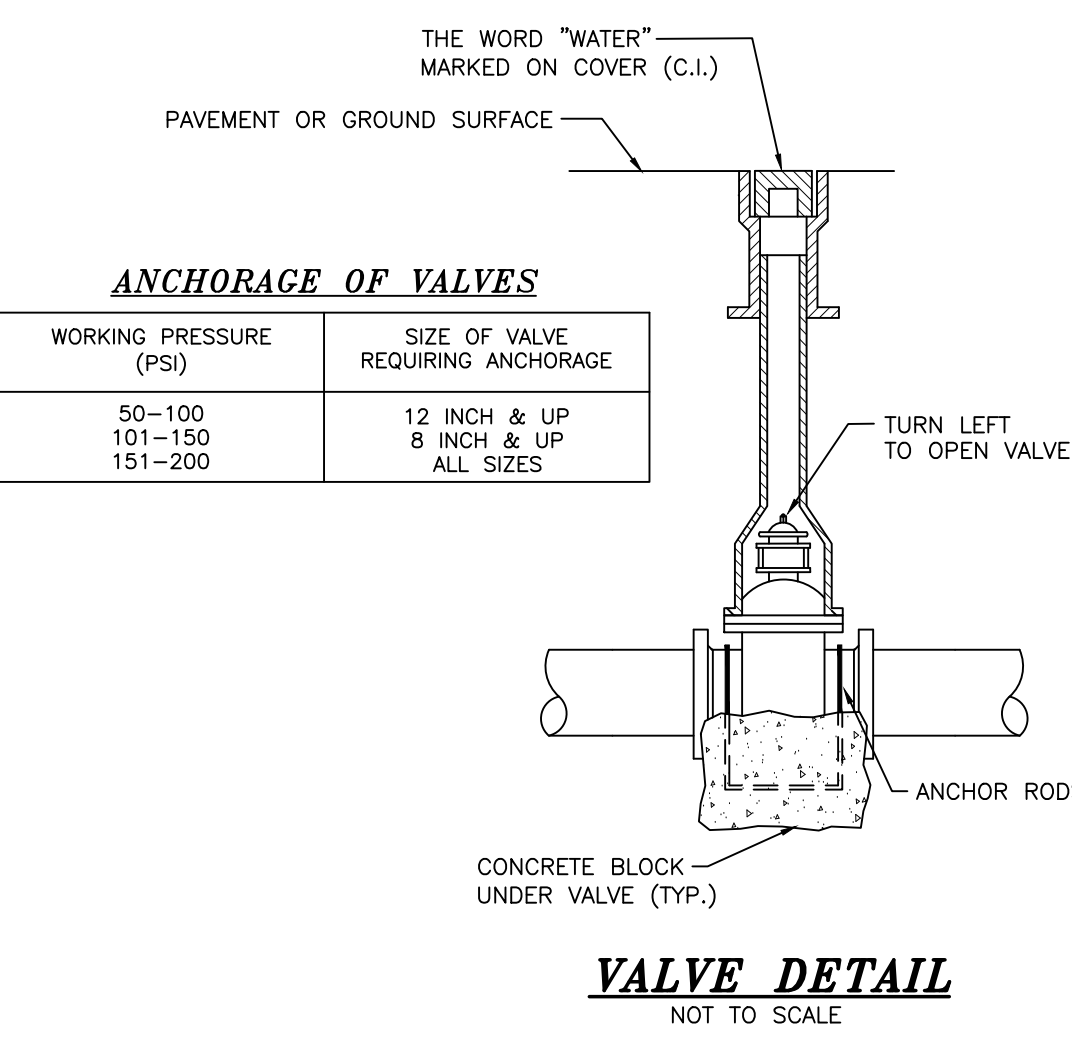
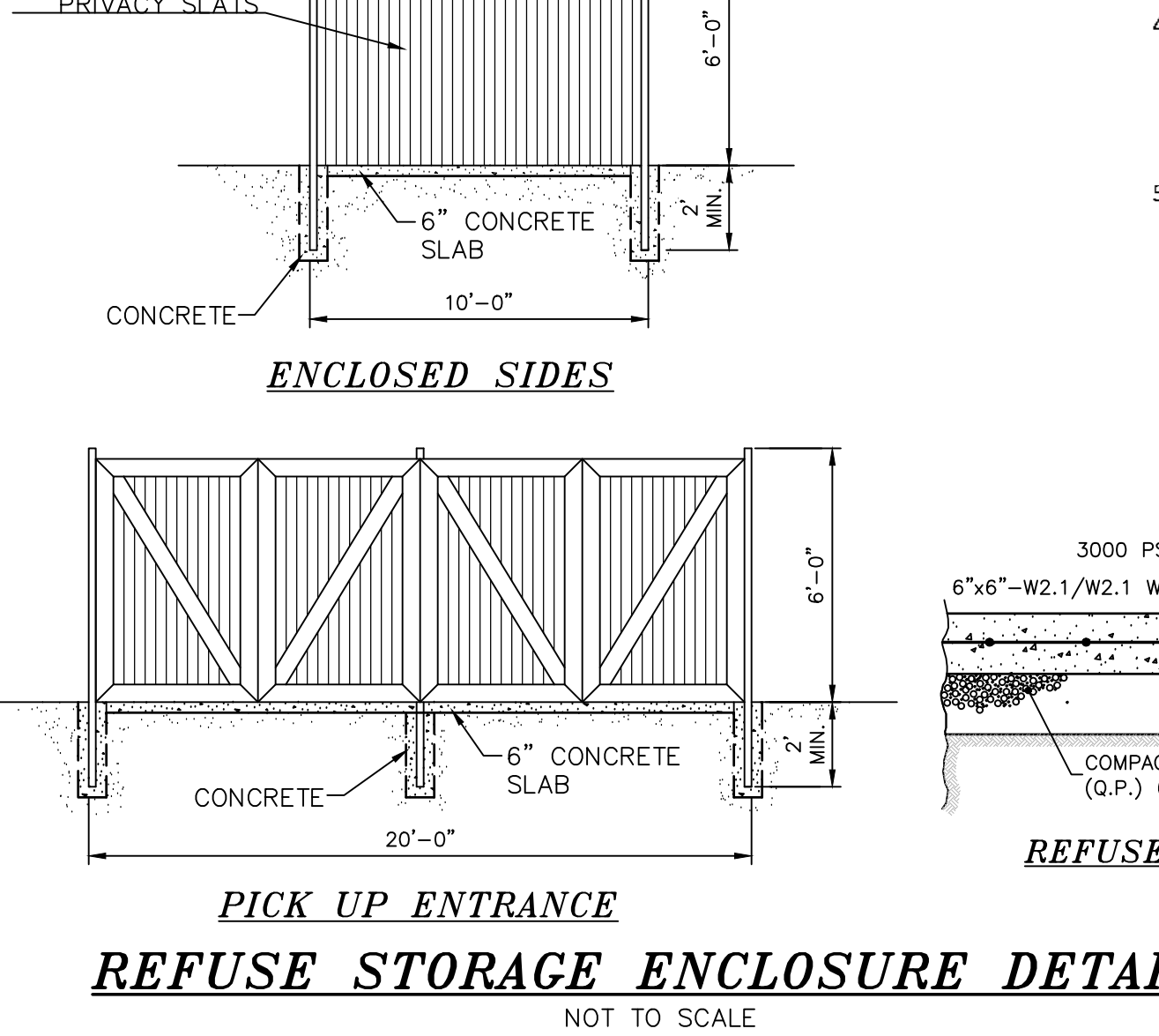
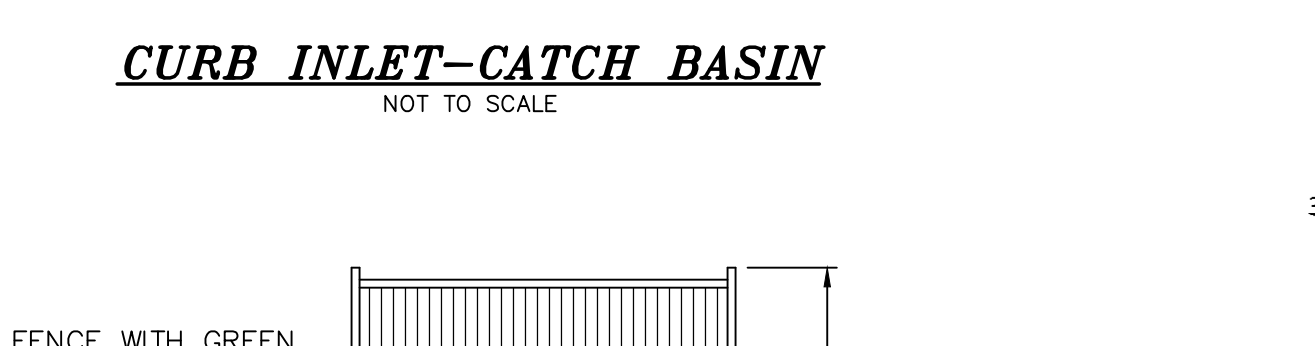
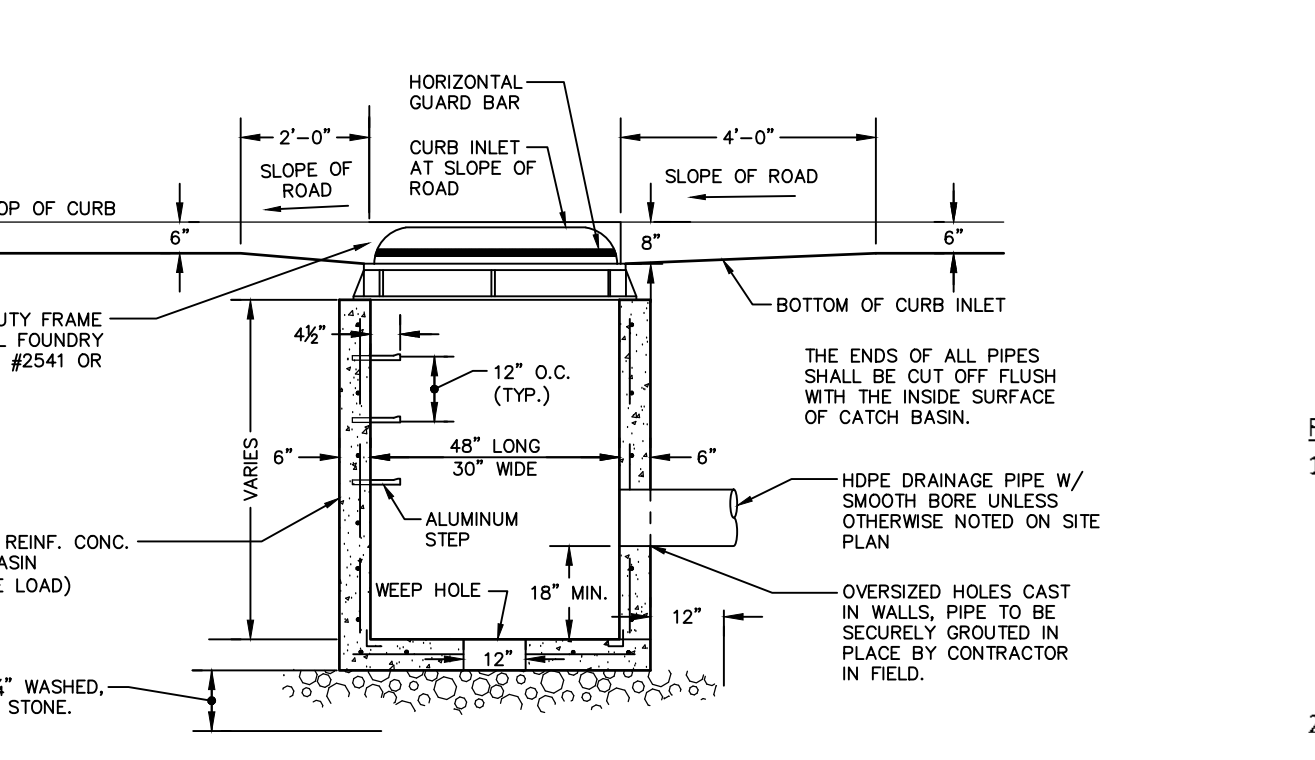
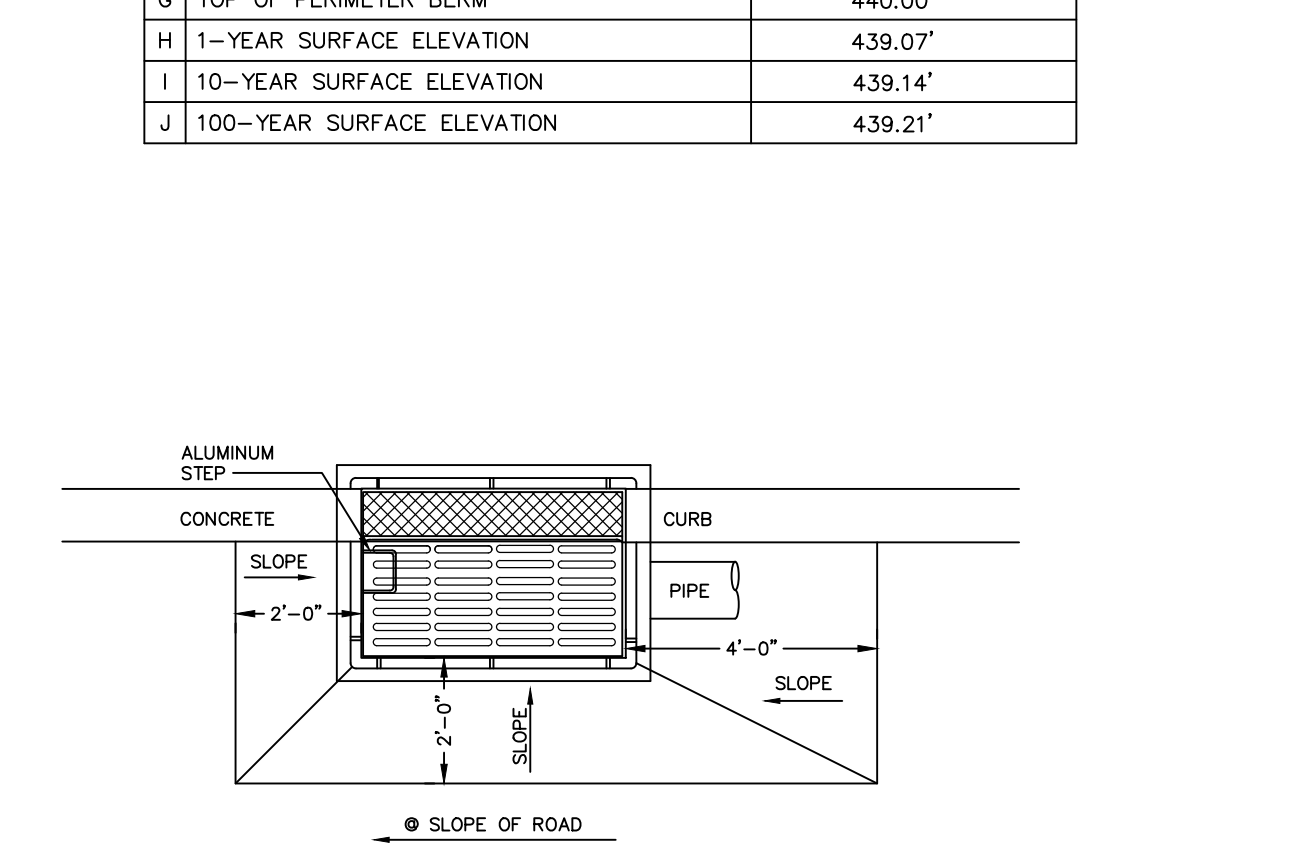
BIO-RETENTION AREA DATA		
BIO-RETENTION AREA	OUTLET STRUCTURE	BIO AREA A-1
A	INVERT OF OUTLET STRUCTURE	434.70'
B	OUTLET STRUCTURE DIMENSIONS (OUTSIDE)	36"x36"
C	TOP OF STRUCTURE ELEVATION	439.00'
D	CULVERT: DIAMETER/INVERT ELEVATION	15" HDPE @ 434.70'
E	FILTER SURFACE ELEVATION	438.50'
F	GRATE DIMENSION	30"x30"
G	TOP OF PERIMETER BERM	440.00'
H	1-YEAR SURFACE ELEVATION	439.07'
I	10-YEAR SURFACE ELEVATION	439.14'
J	100-YEAR SURFACE ELEVATION	439.21'

- BIORETENTION AREA MAINTENANCE REQUIREMENTS:**  
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:
- REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
  - RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THAN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
  - REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
  - ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
  - WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
  - REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.
  - COMPACTION SHALL BE AVOIDED AT ALL TIMES OF CONSTRUCTION OF THE BIORETENTION AREAS IN ORDER TO MAINTAIN THE NATURAL INFILTRATION CHARACTERISTICS OF THE UNDERLYING SOILS.

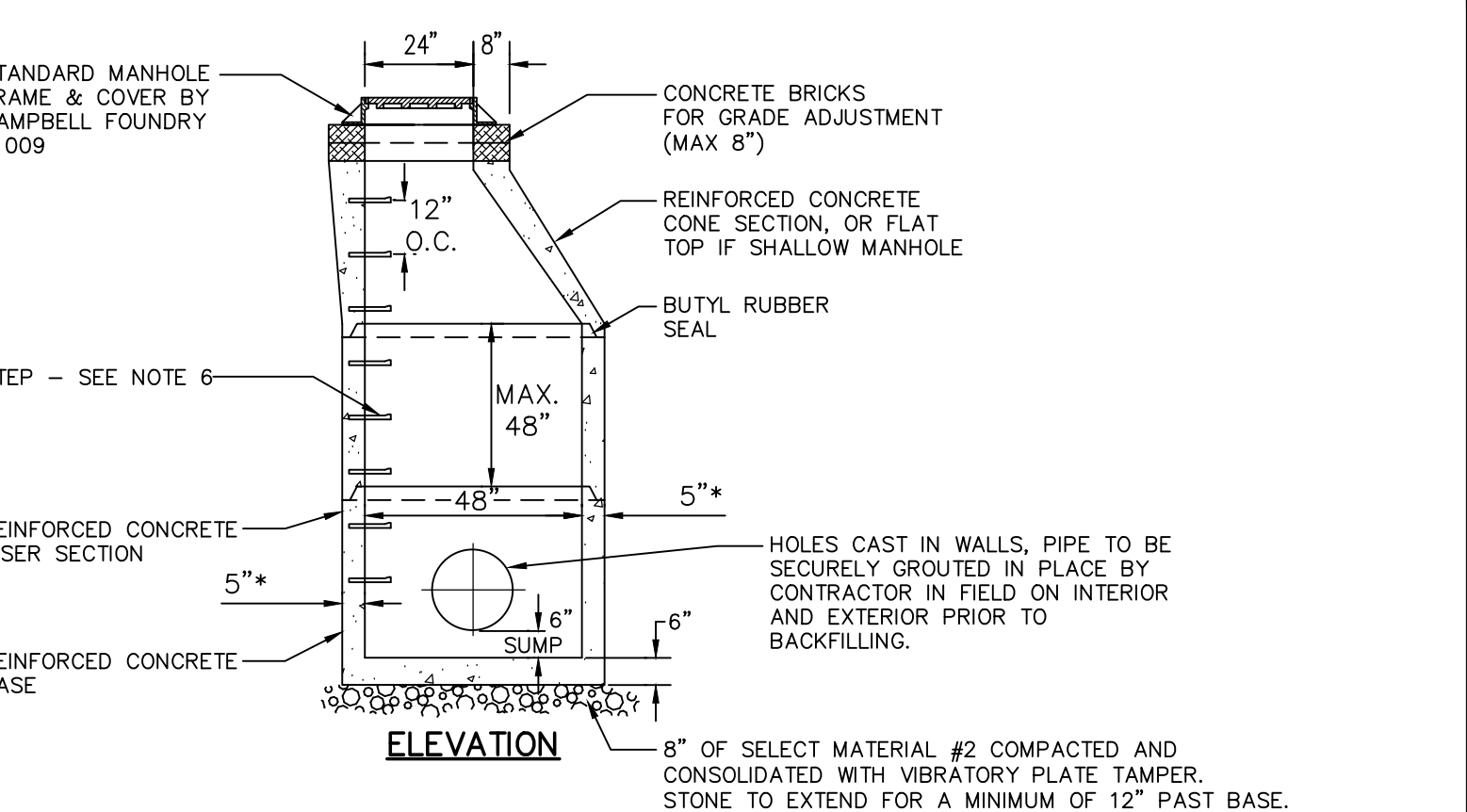
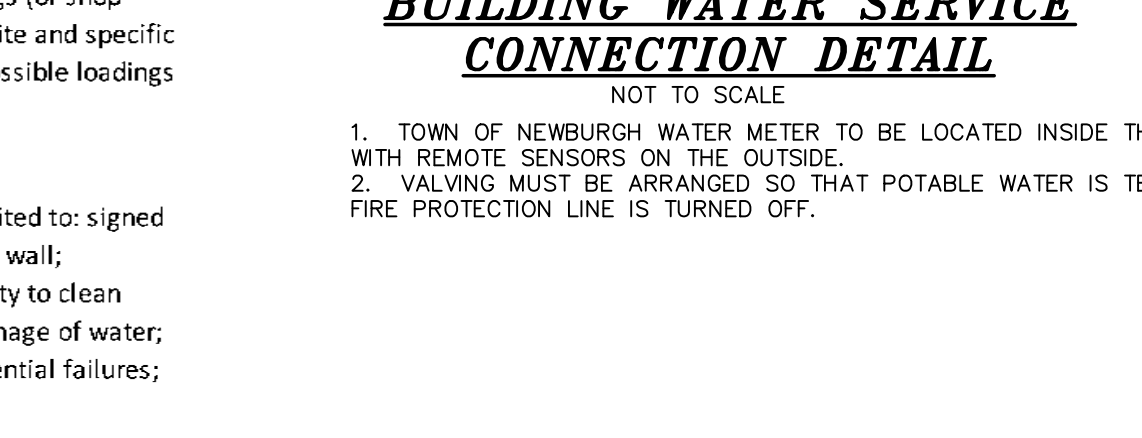
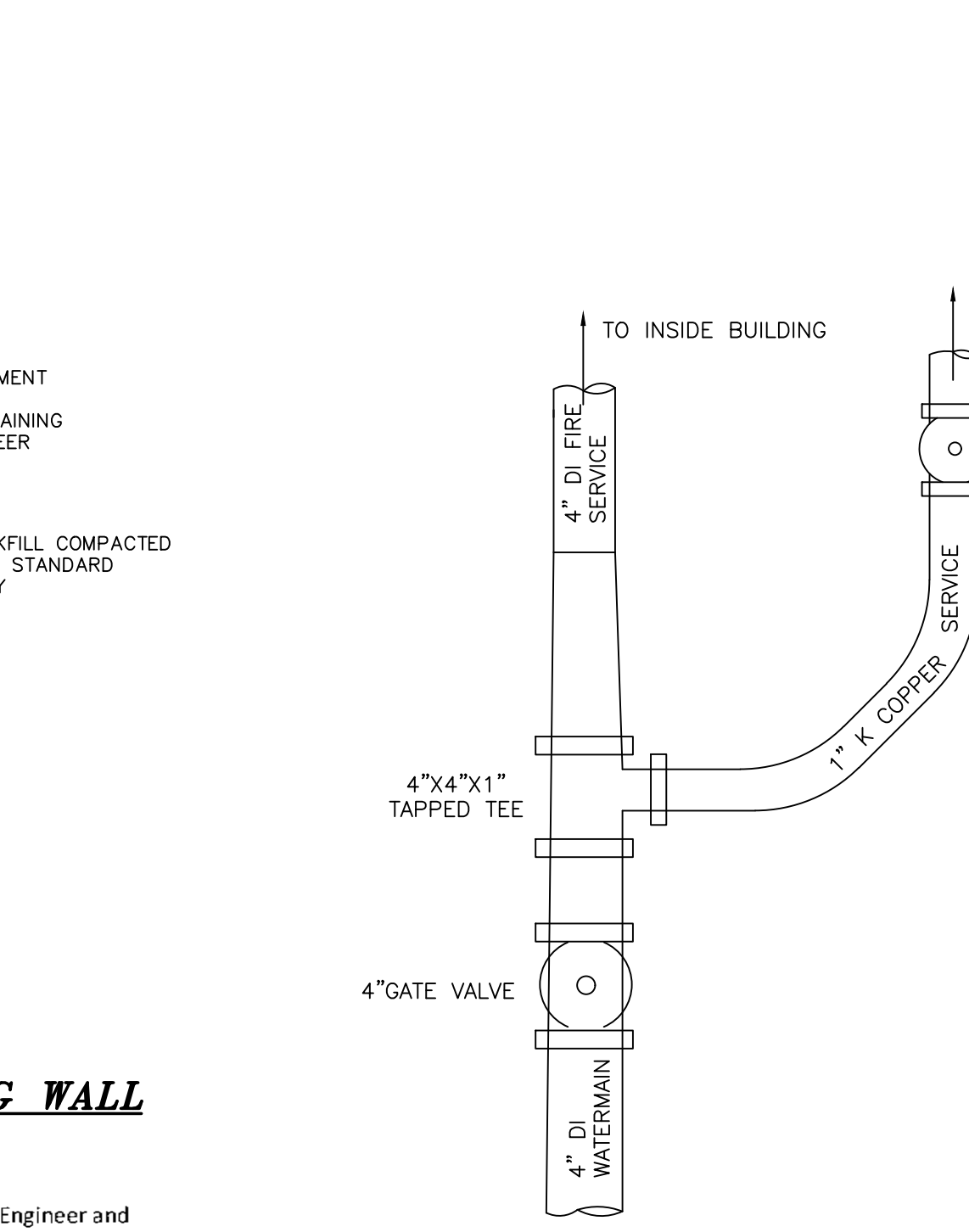
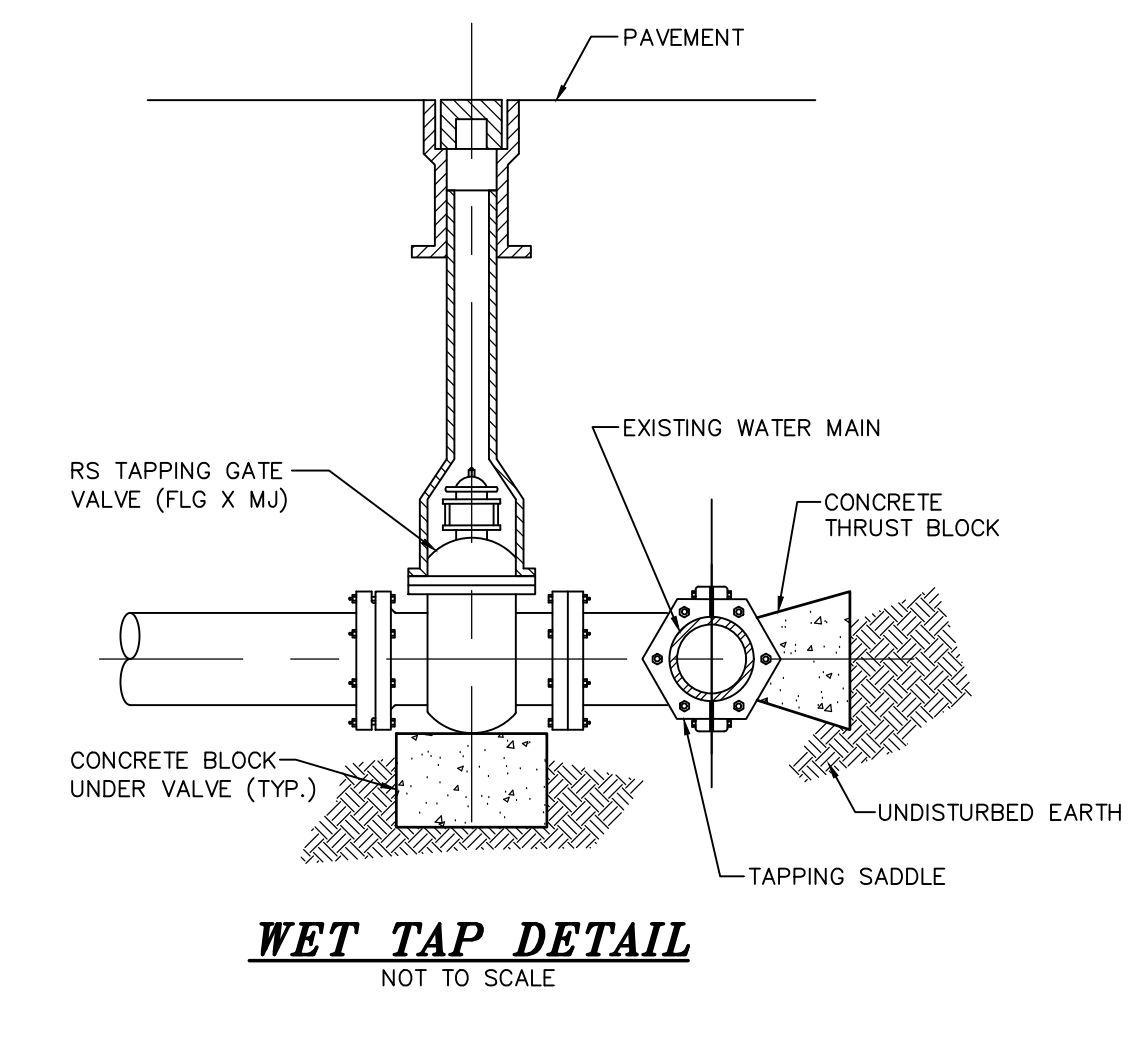
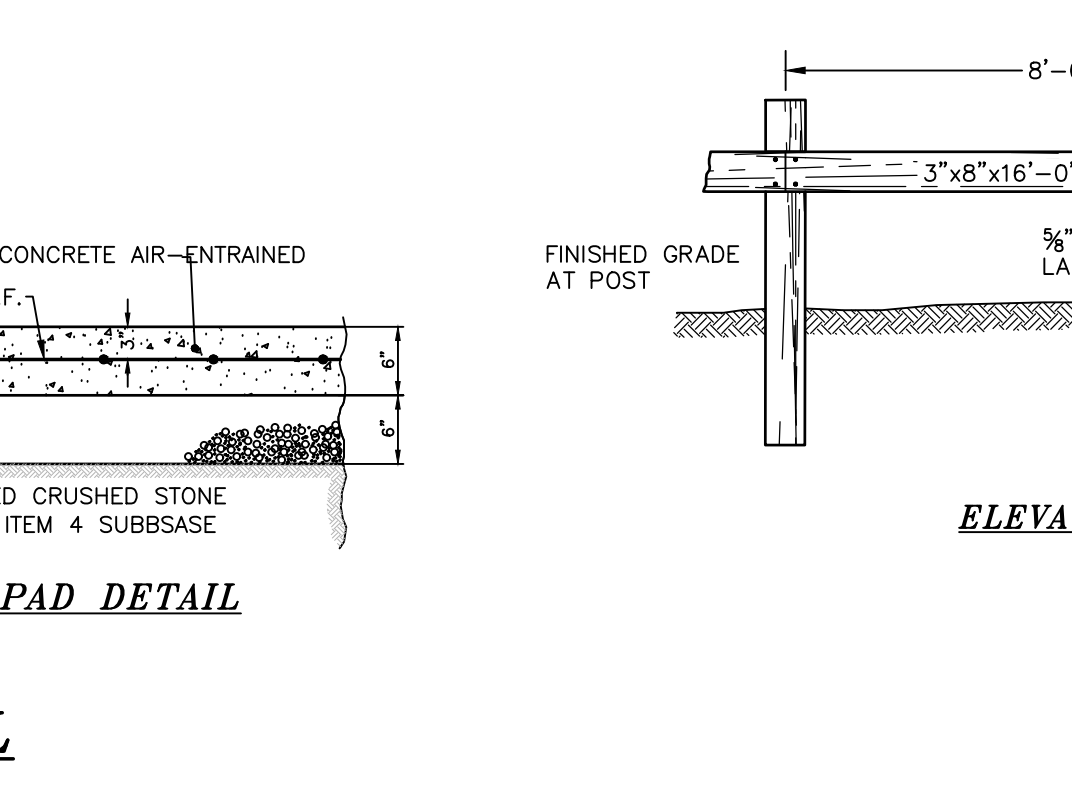


PIPE DIAMETER	DIMENSION			
	10/12	15	18	
A	42	41	49	
B	14.5	19	22	
C	33	34	43	
D	6	6	6	

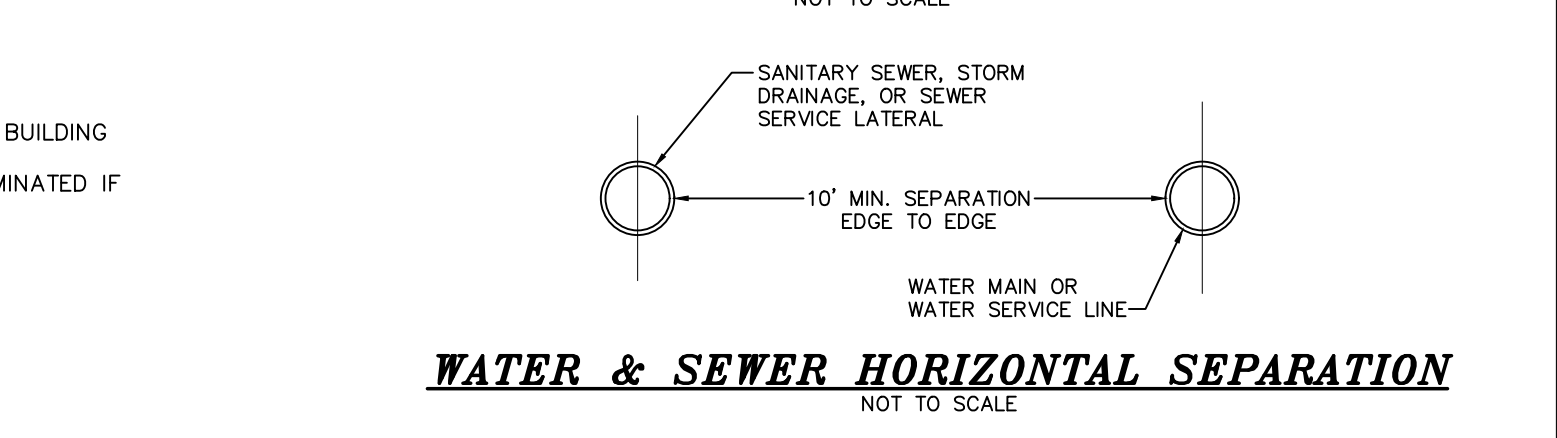
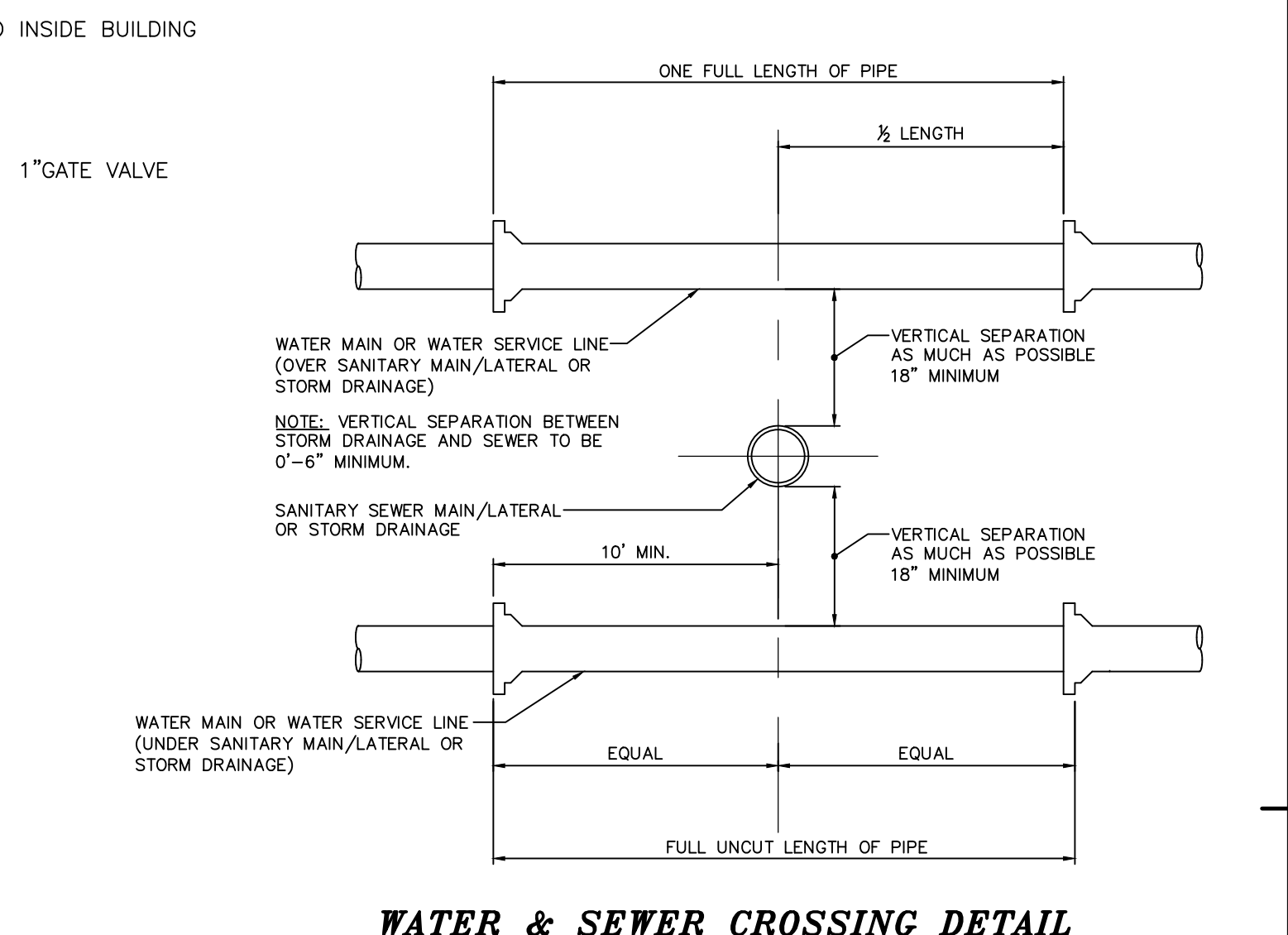
NOTE: ALL MEASUREMENTS IN INCHES



- RETAINING WALL NOTES**
- Design for the retaining wall shown herein shall be prepared by a NYS Licensed Professional Engineer and submitted to the Town Building Inspector for record prior to construction. Such design drawings (or shop drawings) shall bear the stamp and signature of such engineer, and shall be specific for the site and specific to the retaining wall system to be utilized and shall consider all appropriate and necessary possible loadings and conditions related to this project.
  - The aforementioned design and details shall consider / identify / include, but shall not be limited to: signed and sealed design calculations; complete and specific construction plans and details for each wall; appropriate sizing for drainage system to handle intense storm conditions; maintenance ability to clean stormwater piping systems; appropriate backfill material sufficient porosity to allow free drainage of water; evaluate potential failure by internal/external failure mechanisms, global failure or other potential failures; and seismic design considerations.
  - If the wall or walls are tiered walls, the design shall include an analysis of the minimum spacing of walls to allow the individual walls to act as individual walls based on the specific site and construction conditions. If the walls are to be placed closer than the same, the specific design shall consider the loads superimposed by one wall to the other.
  - During construction, the work must be inspected by a NYS Licensed Professional Engineer who shall provide written verification to the Town Building Inspector, prior to the request for a certificate of occupancy, that he/she has personally inspected the work, and the installation is in compliance with the design drawings and manufacturer's installation recommendations.
  - If deemed necessary by the design engineer and/or the Town, third party testing will be performed regarding material compaction, fill quality, etc. A copy of all such testing records shall be provided to the Town Building Department for record.



- NOTES:**
- PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
  - OPENING FOR PIPE SHALL BE PRE-CAST.
  - MANHOLE COVERS TO BE STAMPED "STORM".
  - PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H2O LIVE LOAD.
  - \*WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
  - STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
  - PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
  - BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.



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**LANC & TULLY**  
Engineering and Surveying, P.C.

P.O. Box 687, Rt. 207  
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(845) 294-3700

CONSTRUCTION DETAILS 2  
PREPARED FOR

**MKJC REALTY, LLC**

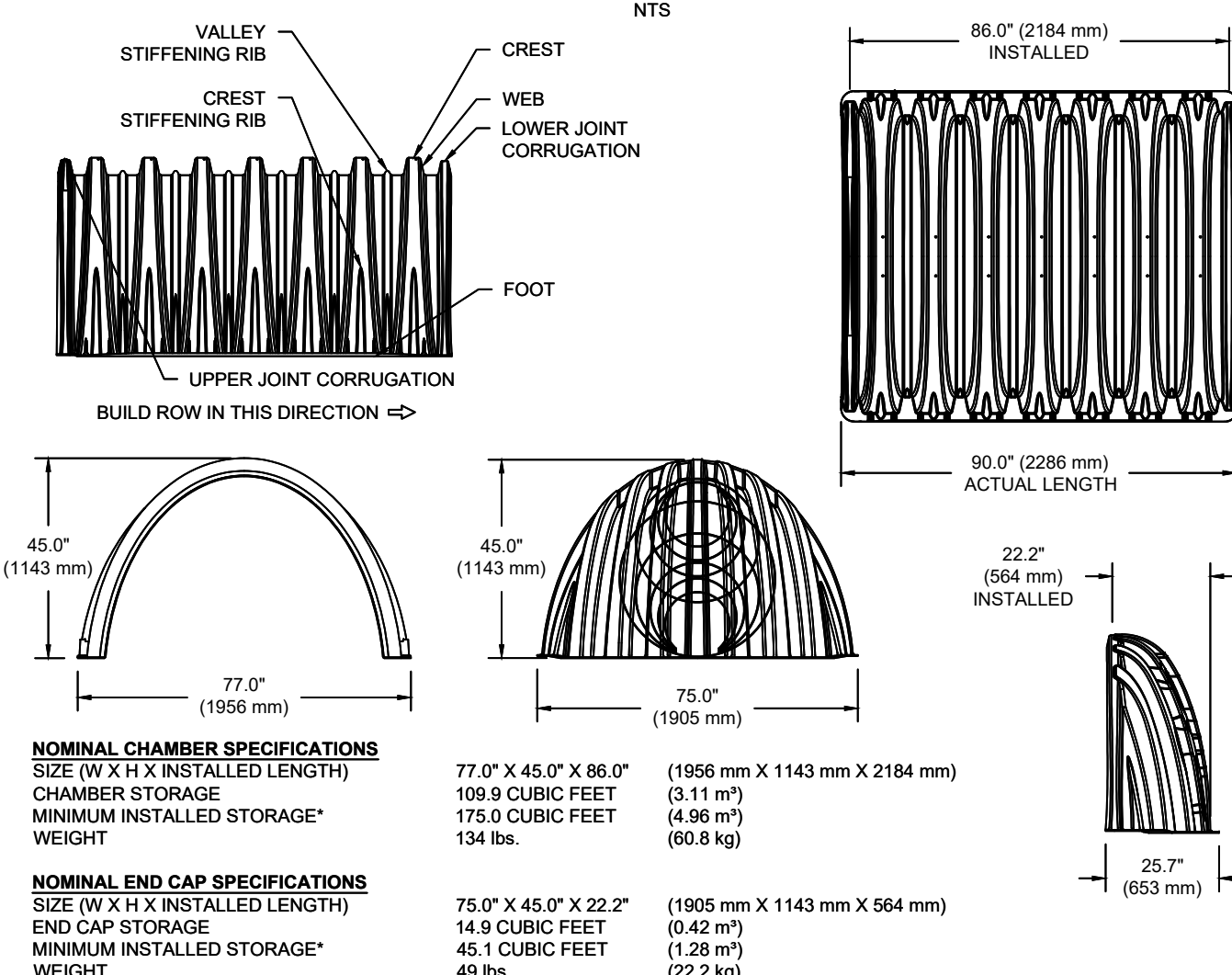
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023  
Revision: JULY 5, 2023  
AUGUST 23, 2023  
OCTOBER 18, 2023  
NOVEMBER 15, 2023  
DECEMBER 11, 2023

CD File: ENGDWG  
Layout: DETAILS 2  
Sheet No.: 11 OF 12  
Drawing No.: C3D  
B- 23 - 0107 - 01

Drawn By: JQ  
Checked By: N.T.S.  
Scale: 35 - 3 - 3.22  
Tax Map No.: 35 - 3 - 3.22

**MC-3500 TECHNICAL SPECIFICATION**



**NOMINAL CHAMBER SPECIFICATIONS**  
 SIZE (W X H X INSTALLED LENGTH)  
 CHAMBER STORAGE  
 MINIMUM INSTALLED STORAGE\*  
 WEIGHT

77.0\" X 45.0\" X 86.0\" (1956 mm X 1143 mm X 2184 mm)	109.9 CUBIC FEET (3.11 m³) 175.0 CUBIC FEET (4.96 m³) 134 lbs. (60.8 kg)
---	---

**NOMINAL END CAP SPECIFICATIONS**  
 SIZE (W X H X INSTALLED LENGTH)  
 END CAP STORAGE  
 MINIMUM INSTALLED STORAGE\*  
 WEIGHT

75.0\" X 45.0\" X 22.2\" (1905 mm X 1143 mm X 564 mm)	14.9 CUBIC FEET (0.42 m³) 45.1 CUBIC FEET (1.28 m³) 49 lbs. (22.2 kg)
--	--

\*ASSUMES 1/2\" (25 mm) STONE ABOVE, 9\" (229 mm) STONE FOUNDATION, 6\" SPACING BETWEEN CHAMBERS, 6\" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
 STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"  
 END CAPS WITH A WELDED CROWN PLATE END WITH "C"  
 END CAPS WITH A PREFABRICATED WELDED STUB END WITH "V"

PART #	STUB	B	C
MC3500EPP06T	6\" (150 mm)	33.21\" (844 mm)	---
MC3500EPP06B	---	---	0.66\" (17 mm)
MC3500EPP08T	8\" (200 mm)	31.16\" (791 mm)	---
MC3500EPP08B	---	---	0.81\" (21 mm)
MC3500EPP10T	10\" (250 mm)	29.04\" (738 mm)	---
MC3500EPP10B	---	---	0.93\" (24 mm)
MC3500EPP12T	12\" (300 mm)	26.36\" (670 mm)	---
MC3500EPP12B	---	---	1.35\" (34 mm)
MC3500EPP15T	15\" (375 mm)	23.39\" (594 mm)	---
MC3500EPP15B	---	---	1.50\" (38 mm)
MC3500EPP18TC	---	---	---
MC3500EPP18TW	18\" (450 mm)	20.03\" (509 mm)	---
MC3500EPP18TC	---	---	1.77\" (45 mm)
MC3500EPP18TW	---	---	---
MC3500EPP24TW	24\" (600 mm)	14.48\" (368 mm)	---
MC3500EPP24BC	---	---	2.06\" (52 mm)
MC3500EPP24BW	---	---	2.75\" (70 mm)
MC3500EPP24BC	---	---	---

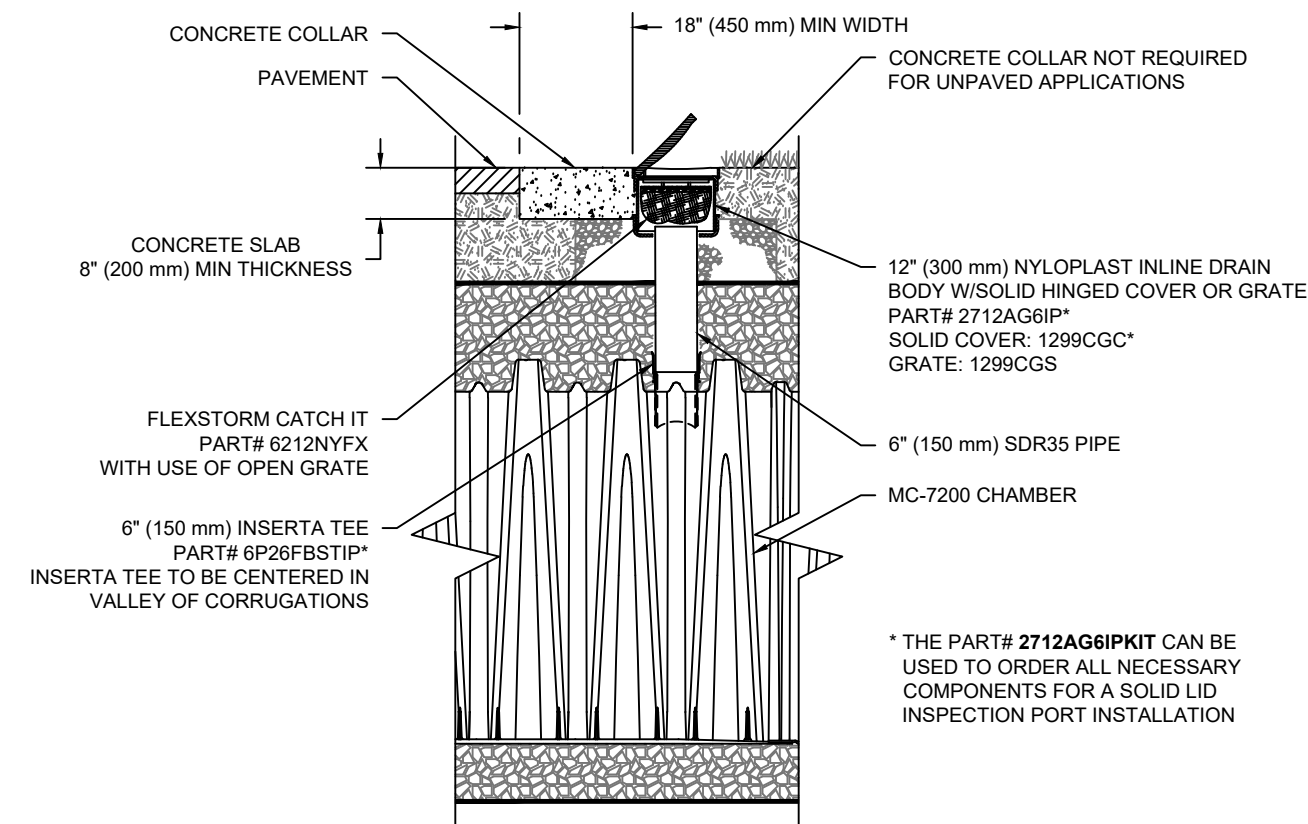
NOTE: ALL DIMENSIONS ARE NOMINAL

**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- REMOVE/OPEN LID ON NYLOPLAST IN-LINE DRAIN
  - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
  - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
  - IF SEDIMENT IS AT, OR ABOVE, 3\" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
  - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
  - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - IF SEDIMENT IS AT, OR ABOVE, 3\" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45\" (1.1 m) OR MORE IS PREFERRED
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKLUSH WATER IS CLEAN
  - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

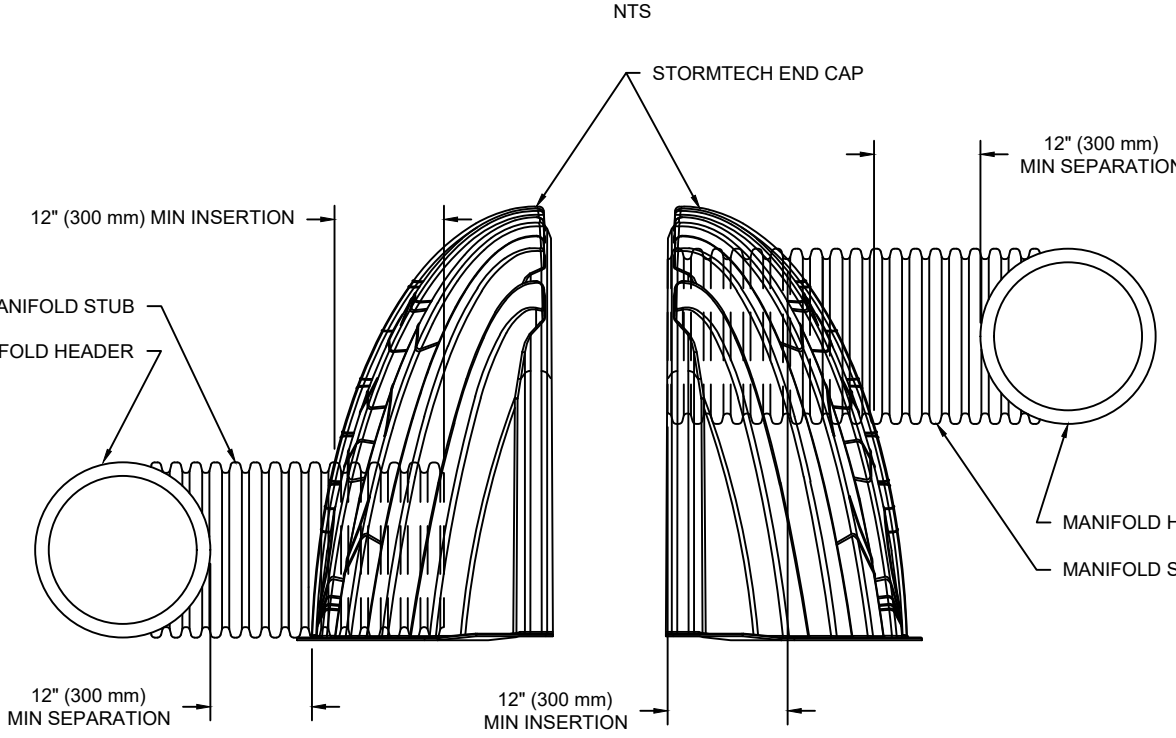
**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

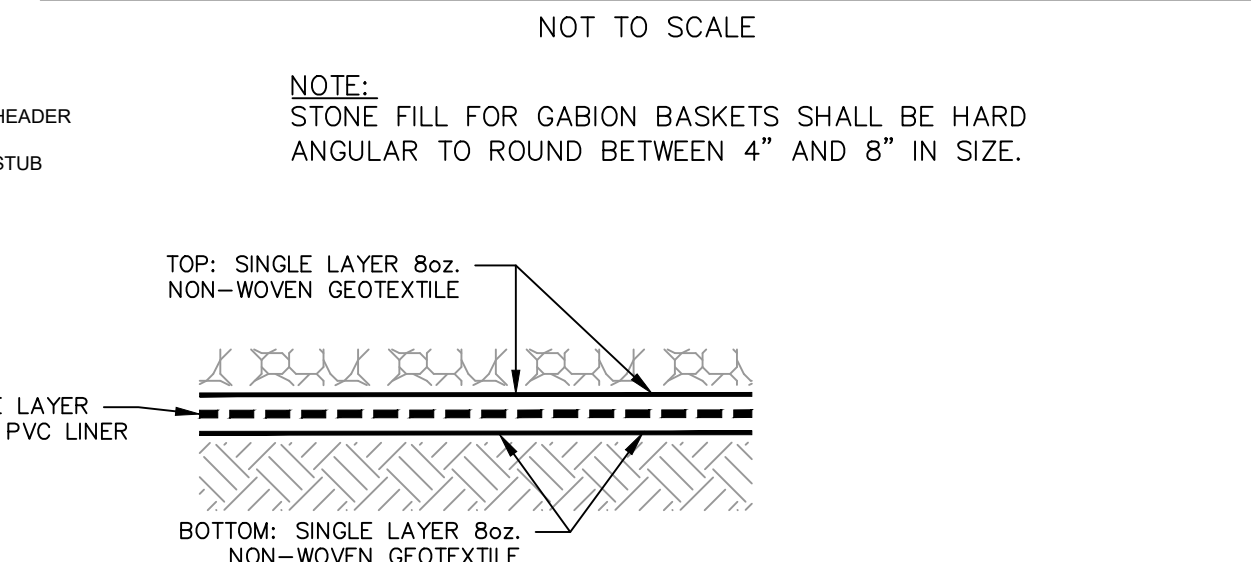


**MC-3500 6\" (150 mm) INSPECTION PORT DETAIL**

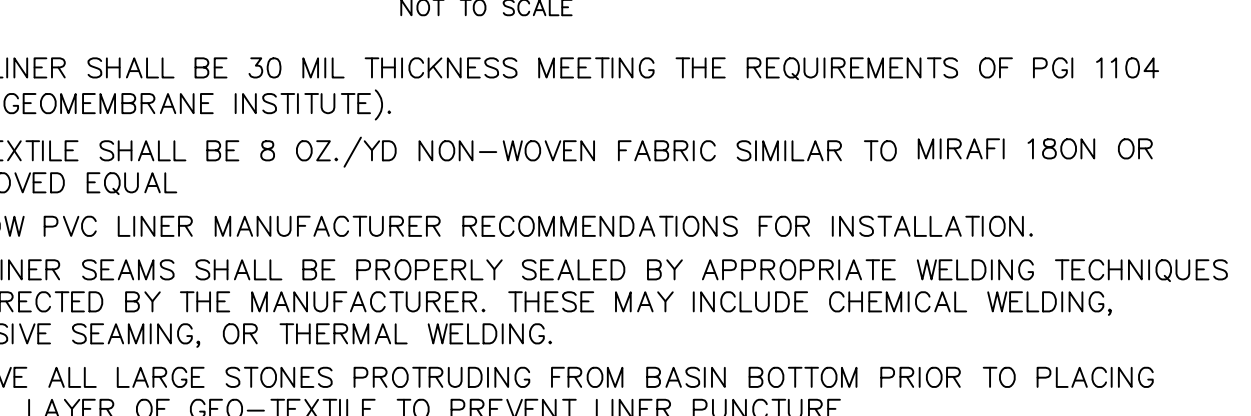
**MC-SERIES END CAP INSERTION DETAIL**



**OUTLET PROTECTION DETAIL FOR RETAINING WALL PIPE PENETRATION**



**TYPICAL LINER SECTION**



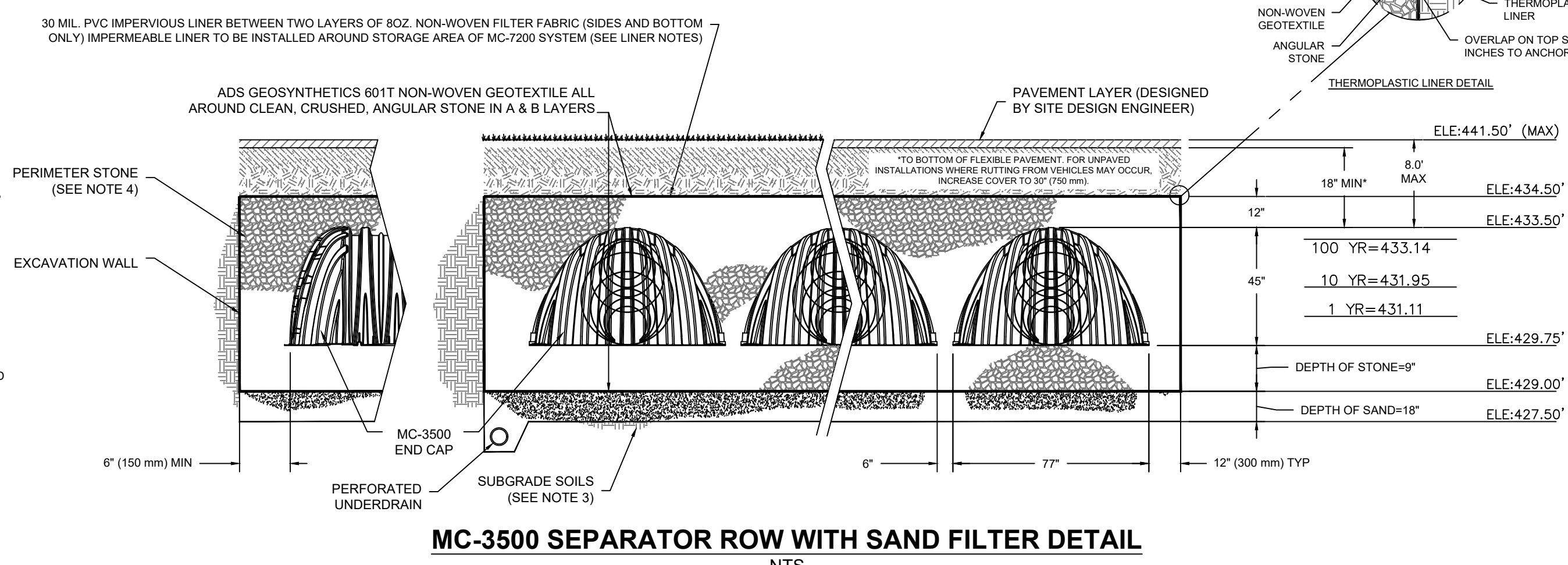
**ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
<b>D INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
<b>C EMBEDMENT STONE:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24\" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, 35% FINES OR PROCESSED AGGREGATE.	AASHTO M44 <sup>5</sup> A-1, A-2, A-3 OR AASHTO M43 <sup>3</sup> 3, 3SF, 4, 4F, 5, 5F, 6, 6F, 7, 7B, 8, 8S, 9, 10	BEGIN COMPACTIONS AFTER 24\" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12\" (300 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
<b>B EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 <sup>3</sup> 3, 4	NO COMPACTION REQUIRED.
<b>A FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 <sup>3</sup> 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>1,2</sup>

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."  
 2. STORMTECH COMPACTORS ARE MET FOR 4\" (100 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.  
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGN, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.  
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

**NOTES:**

- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.



**MC-3500 SEPARATOR ROW WITH SAND FILTER DETAIL**

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM**

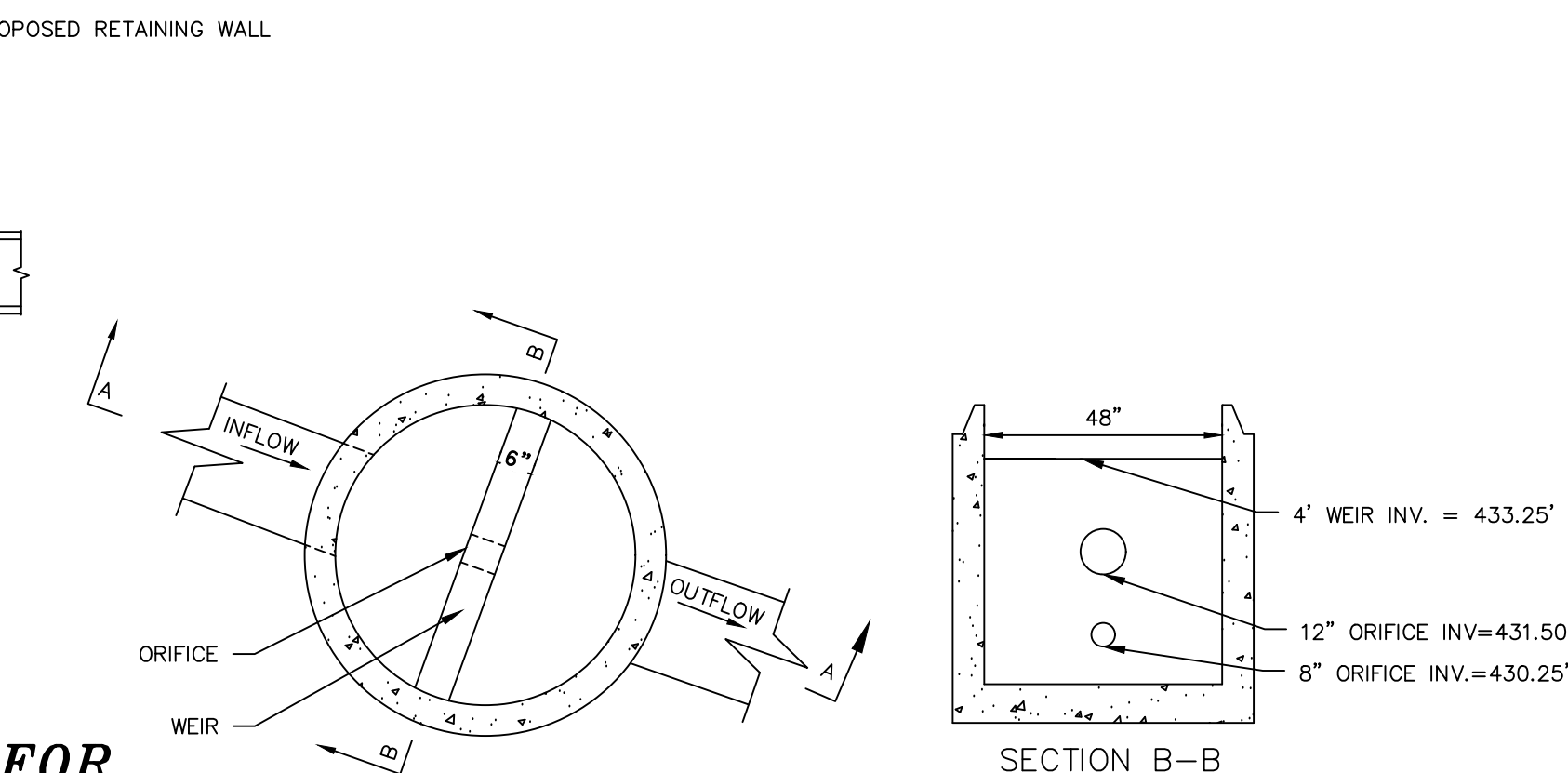
- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONESHOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6\" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12\" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

**NOTES FOR CONSTRUCTION EQUIPMENT**

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- FULL 36\" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2894 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



**DMH 1 OUTLET CONTROL STRUCTURE DRAINAGE MANHOLE DETAIL**

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**LANC & TULLY**  
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 Goshen, N.Y. 10924  
 (845) 294-3700

CONSTRUCTION DETAILS 3  
 PREPARED FOR

**MKJC REALTY, LLC**  
 TOWN OF NEWBURGH  
 ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023  
 Revision:  
 JULY 5, 2023  
 AUGUST 23, 2023  
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Drawn By: JQ  
 Checked By: N.T.S.  
 Scale: 35 - 3 - 3.22  
 Tax Map No.:  
 Drawing No.: C3D  
 B- 23 - 0107 - 01

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