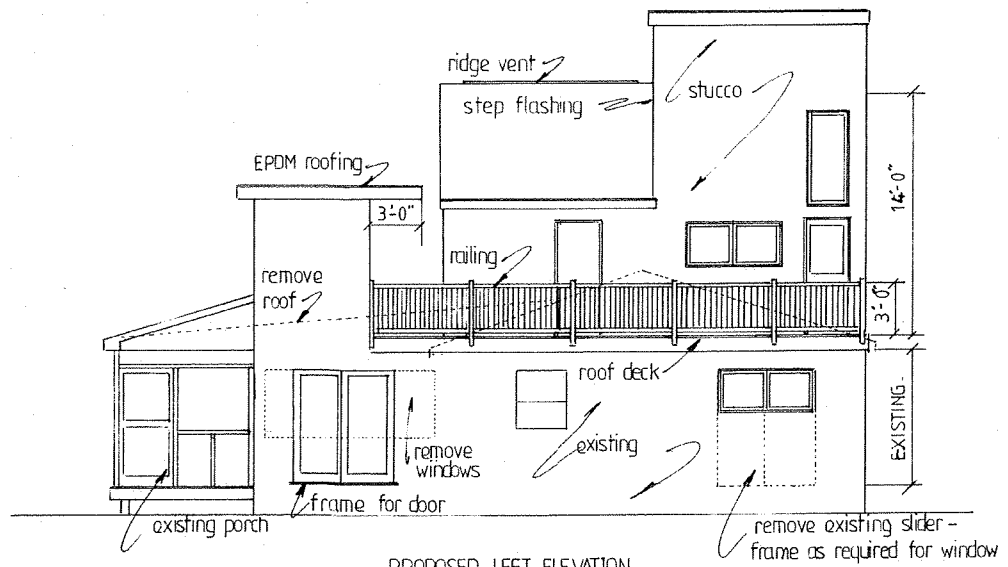
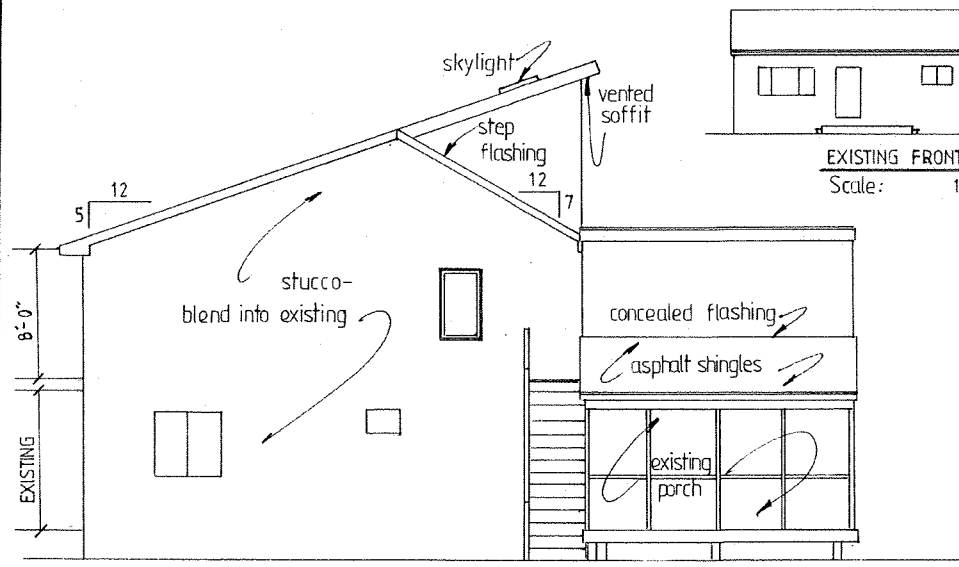


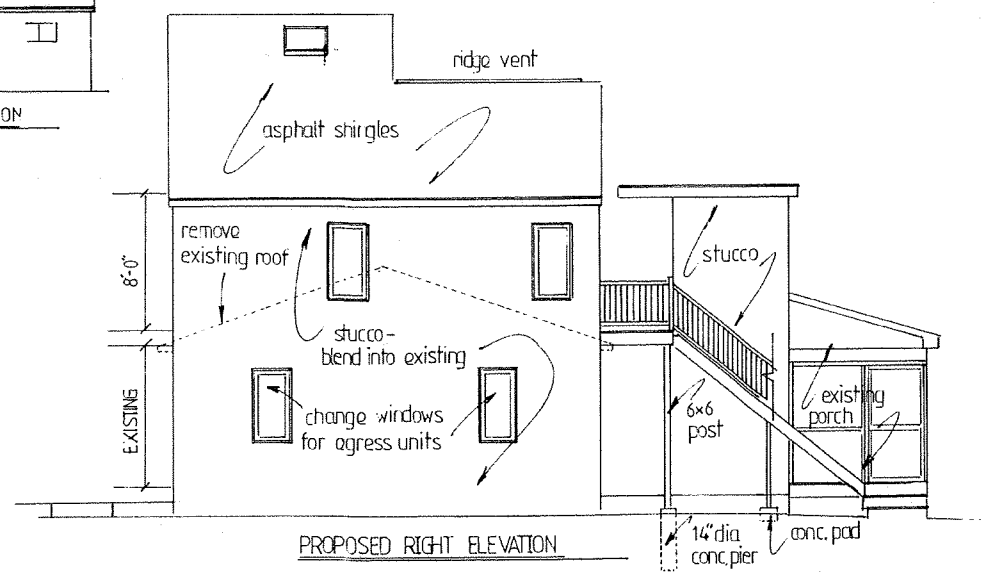
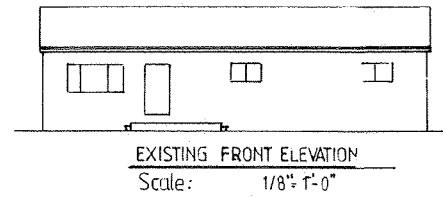
PROPOSED FRONT ELEVATION



PROPOSED LEFT ELEVATION

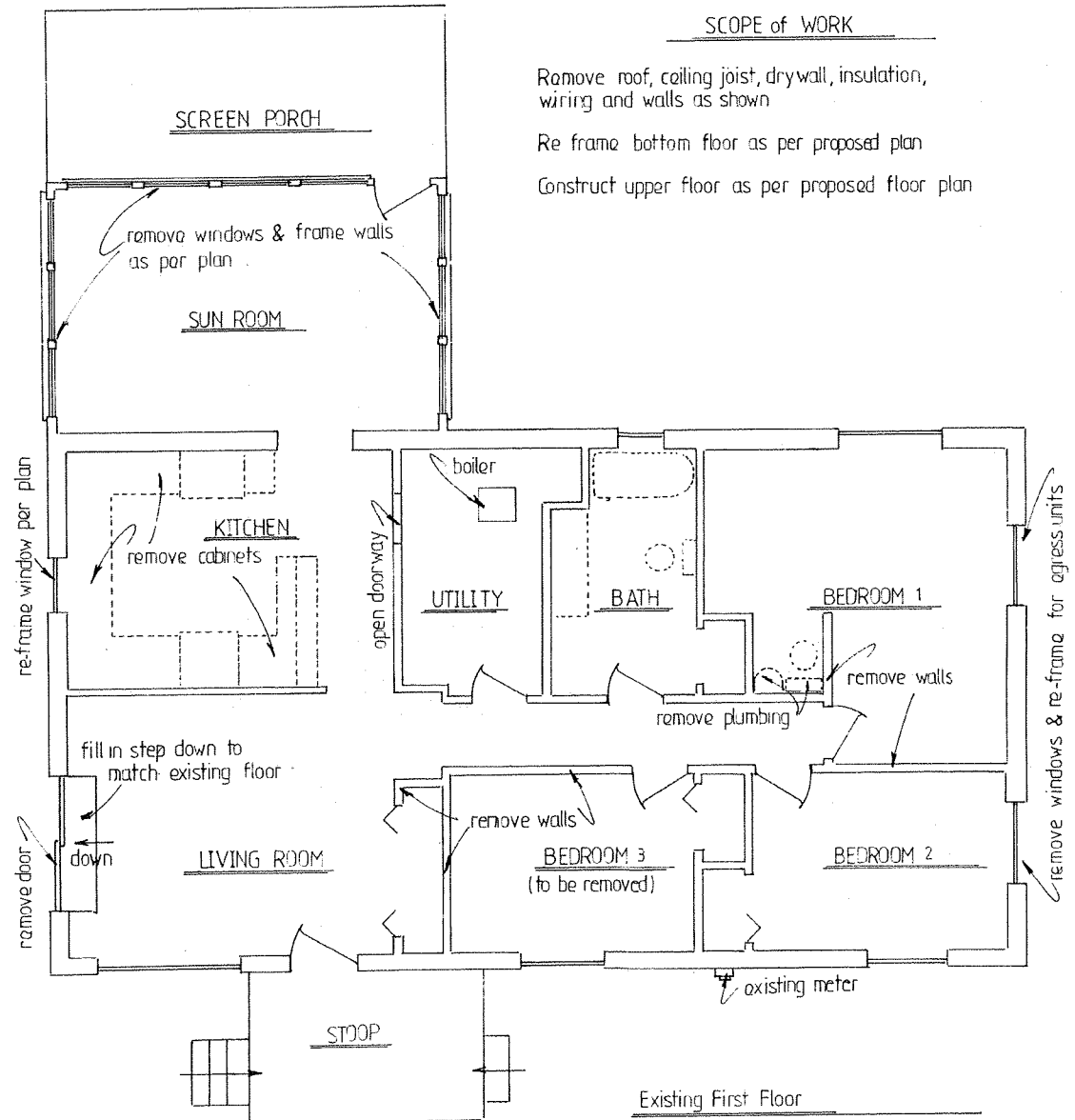


PROPOSED REAR ELEVATION



PROPOSED RIGHT ELEVATION

<p>FRED E. BUCK DESIGNS</p>	PROPOSED RENOVATION/ADDITION	
	SCALE: 3/16" = 1'-0"	DRAWN: BUCK
	DATE: 12 - 21 - 21	1/7
	ANTHONY MOLINA 14 SPRUCE AVE NEWBURGH NY ELE'ATIONS	
		jbb

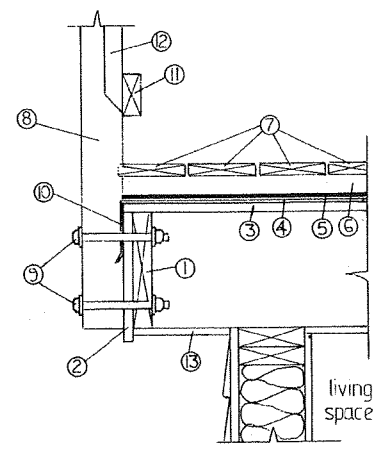


SCOPE of WORK

Remove roof, ceiling joist, drywall, insulation, wiring and walls as shown

Re frame bottom floor as per proposed plan

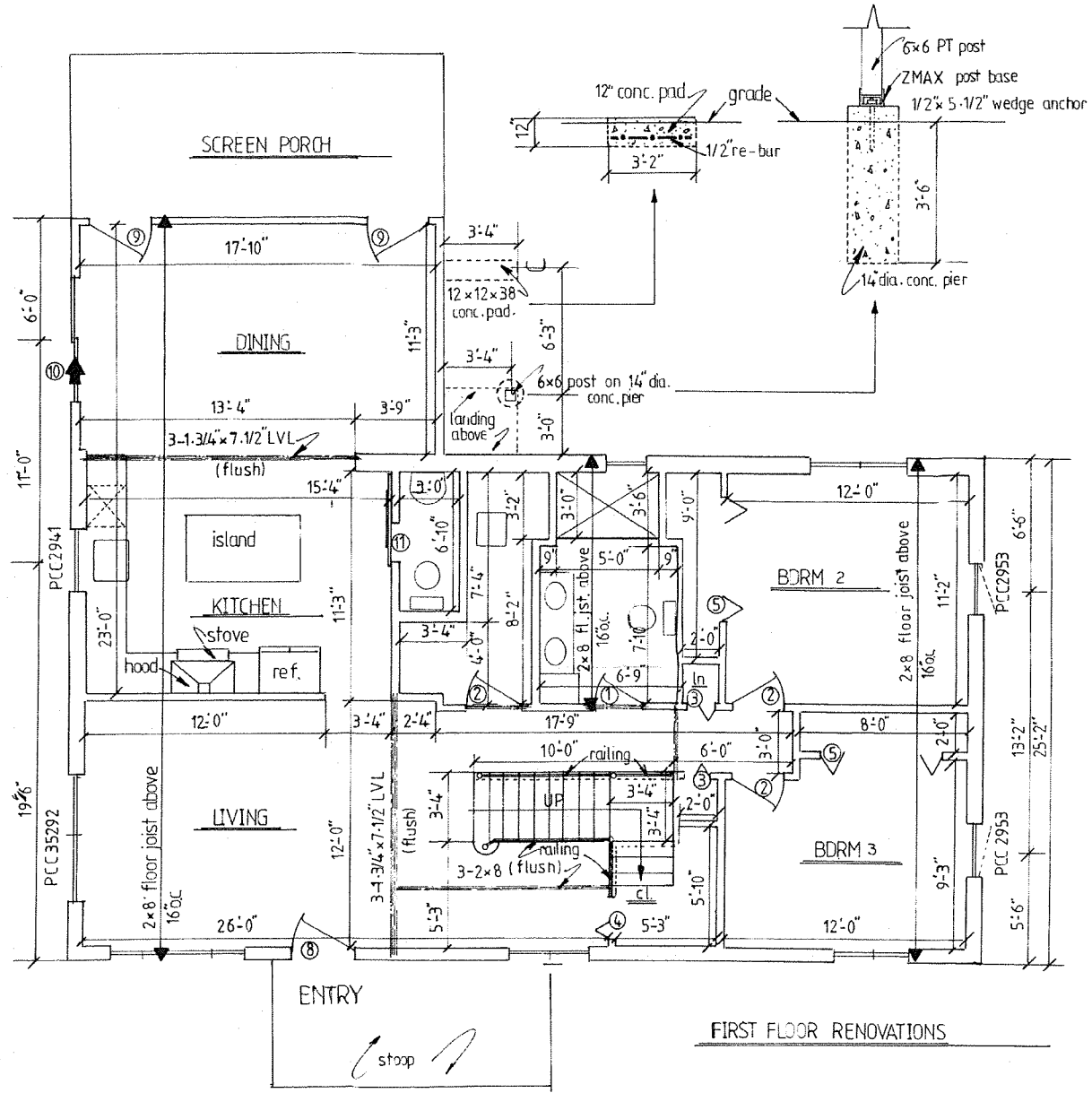
Construct upper floor as per proposed floor plan



EPDM APPLICATION - D4
Scale 1-1/2" = 1'-0"

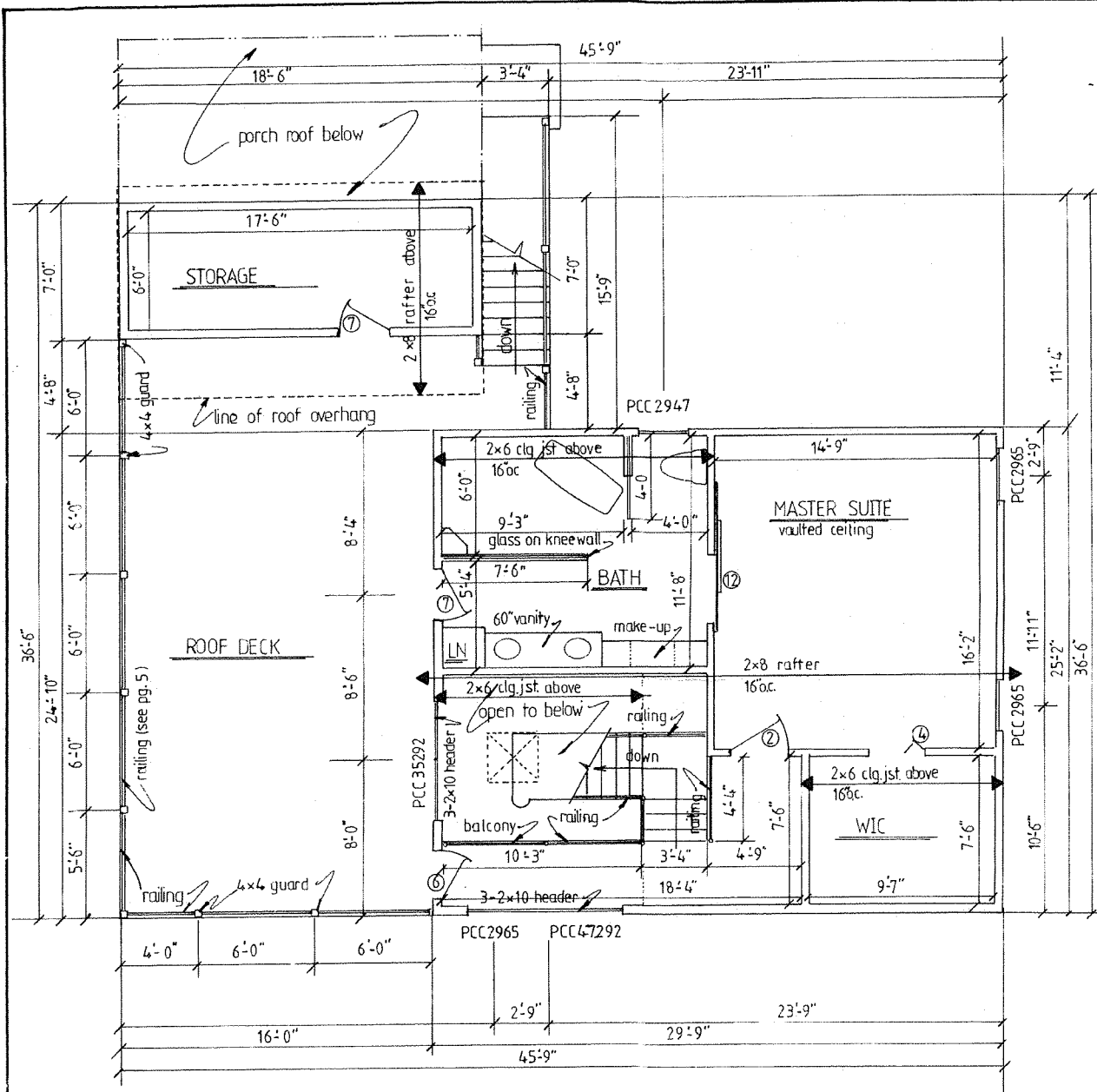
- ① 2x8 band
- ② Facia board (1x10)
- ③ 3/4 T & G OSB
- ④ 1/4 sanded plywood
- ⑤ EPDM roofing membrane - sloped 1/8" per ft.
- ⑥ 2x4 sleepers (on EPDM strips)
- ⑦ 5/4 x 6 deck boards
- ⑧ 4x4 guard
- ⑨ 1/2" thru bolt
- ⑩ Flashing
- ⑪ 2x4 rail
- ⑫ 2x2 balluster 4" oc max.
- ⑬ Soffit

<p>FRED E. BUCK DESIGNS</p>	PROPOSED RENOVATION/ADDITION	
	SCALE: 1/4" = 1'-0"	DRAWN: BUCK
	DATE: 12-21-21	
	ANTHONY MOLINA 14 SPRUCE AVE. NEWBURGH, N.Y.	
EXISTING FLOOR PLAN		jbb



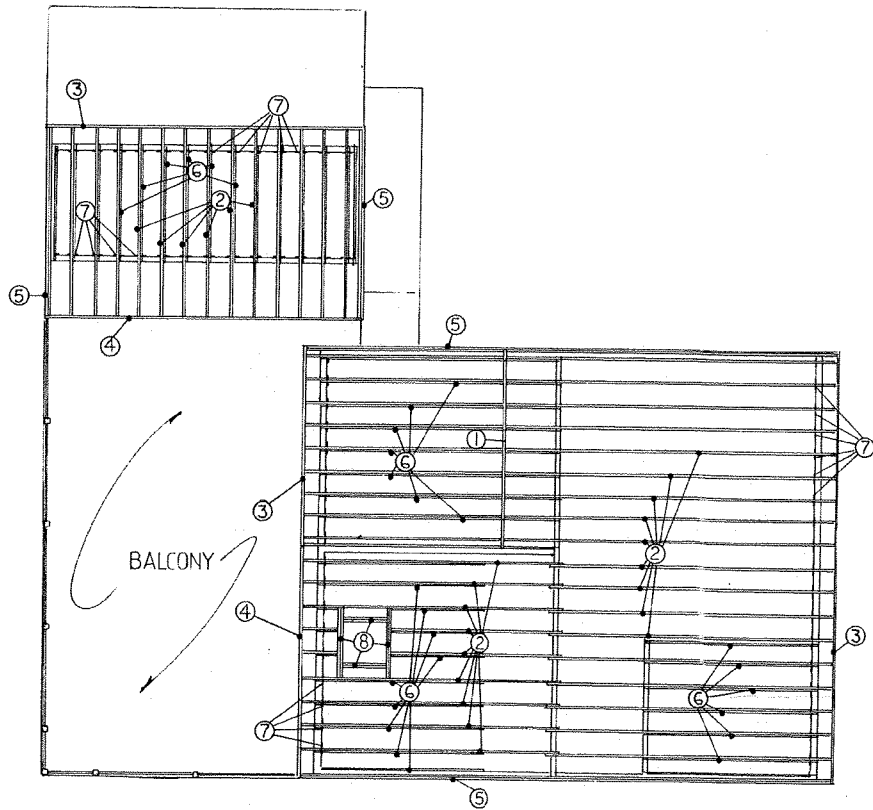
DOOR SCHEDULE				
MARK	QUAN	SIZE	TYPE	STYLE
1	1	2'-0" x 6'-8"	SWING	6 PANEL
2	4	2'-6" x "	"	"
3	2	1'-6" x "	BI-FOLD	"
4	2	2'-6" x "	"	"
5	2	6'-0" x "	"	"
6	1	2'-6" x "	EXTERIOR	9 LITE
7	2	" x "	"	6 PANEL
8	1	3'-0" x "	ENTRY	FULL LITE
9	2	" x "	EXTERIOR	SLIDER
10	1	6'-0" x "	"	"
11	1	2'-0" x "	BARN DOOR	"
12	1	3'-0" x "	"	"

 FRED E. BUCK DESIGNS	PROPOSED RENOVATION/ADDITION	
	SCALE:	DRAWN: BUCK
	DATE:	
	ANTHONY MOLINA 14 SPRUCE AVE., NEWBURGH, NY	
FIRST FLOOR	jbb	3 7



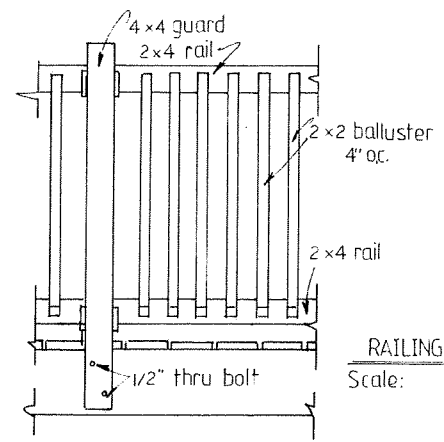
NOTE
 2-2x10 header above all openings in addition envelope unless noted otherwise

 FRED E. BUCK DESIGNS	PROPOSED RENOVATION/ADDITION	
	SCALE:	DRAWN: BUCK
	DATE:	ANTHONY MOLINA
	14 SPRUCE AVE, NEWBURGH, N.Y.	4/7
SECOND FLOOR ADDITION		jbb

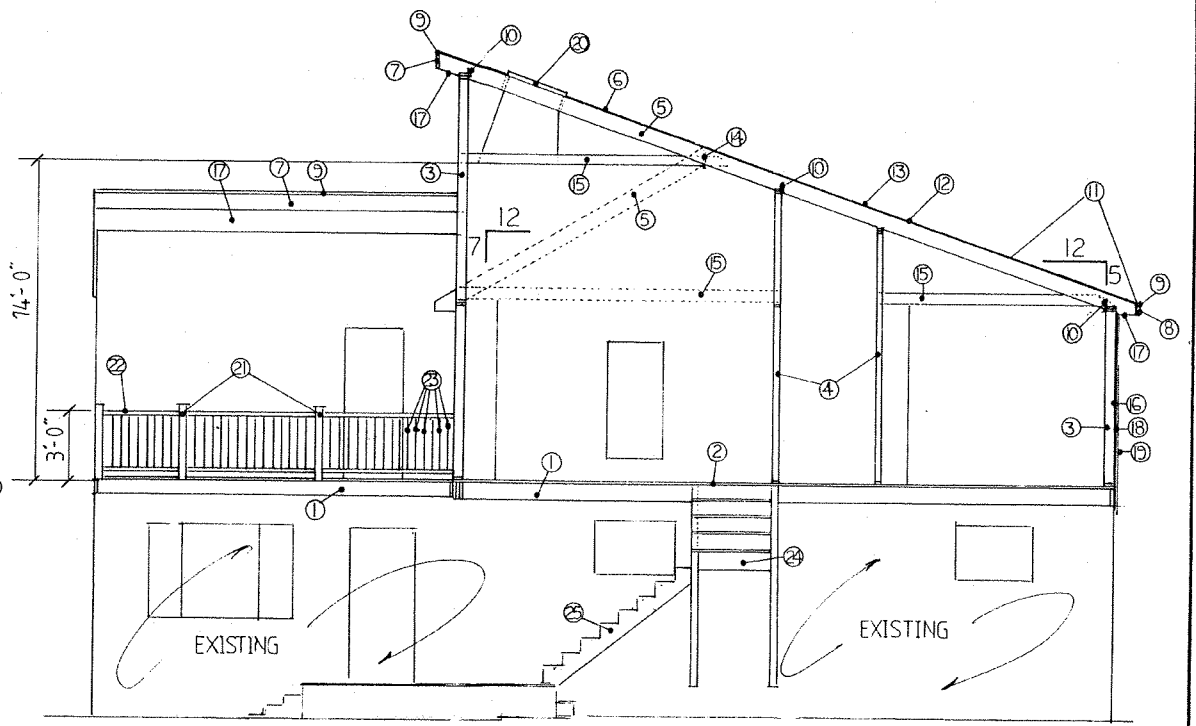


Roofing Layout (w/ clg. jst.)
Scale: 3/16" = 1'-0"

- ① 2x10 ridge
- ② 2x8 rafter 16" oc
- ③ 2x6 fascia board
- ④ 2x10 fascia board
- ⑤ 1x6 rake
- ⑥ 2x6 ceiling joist
- ⑦ Hurricane clip
- ⑧ 2- 2x8 headers



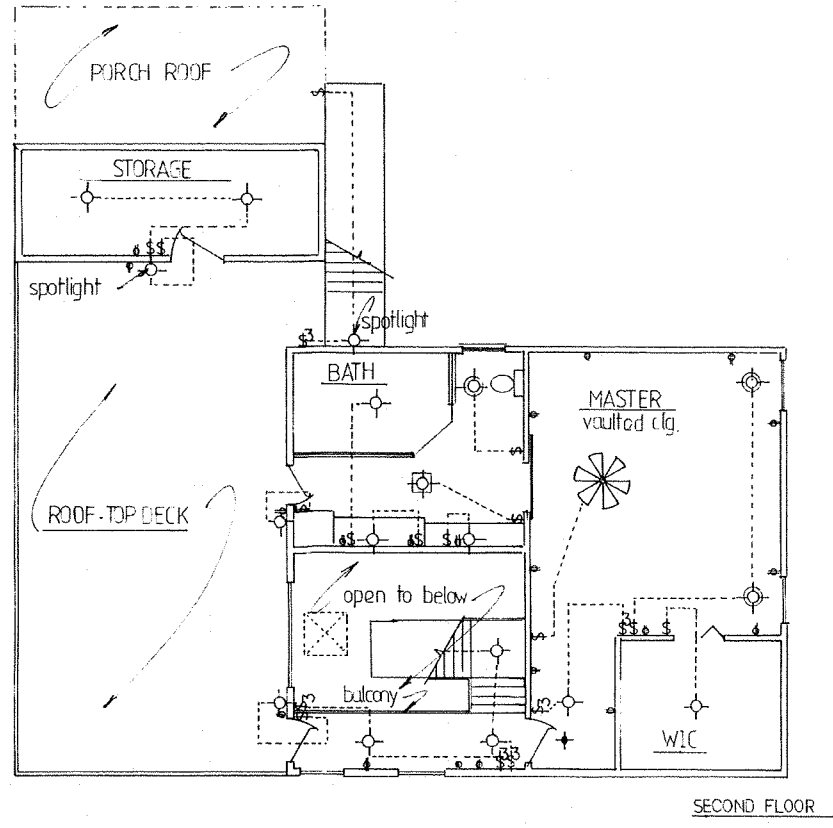
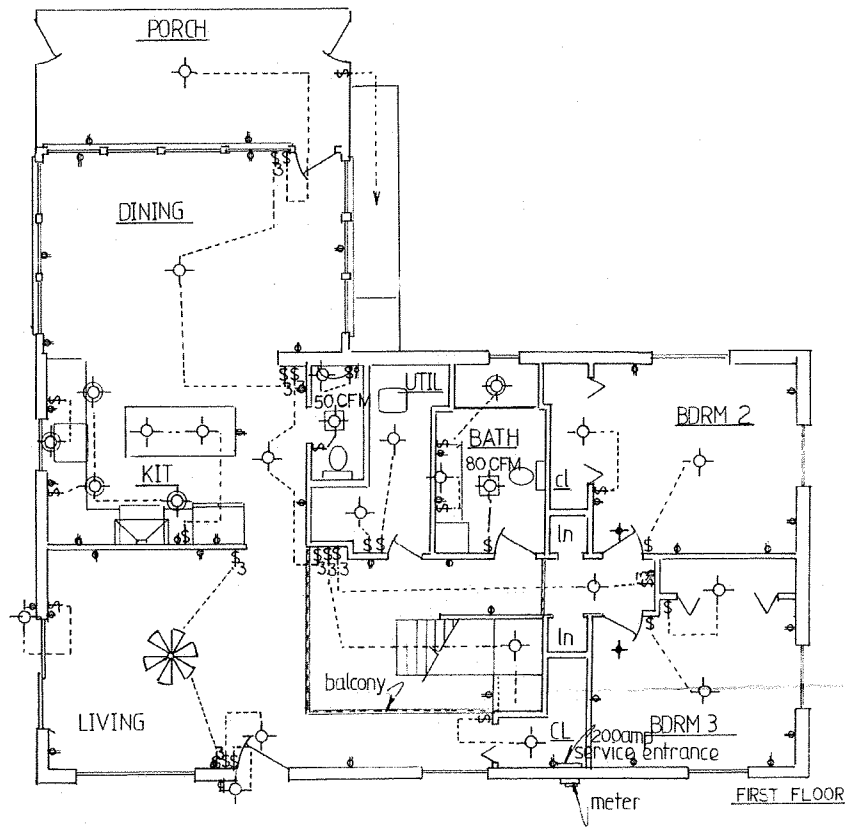
RAILING DETAIL
Scale: 1" = 1'-0"



Section

- ⑨ 2x8 floor joist
- ⑩ 3/4 T&G OSB
- ⑪ 2x6 frame wall (typ)
- ⑫ 2x4 frame wall (typ)
- ⑬ 2x8 rafter 16" oc
- ⑭ 7/16 OSB
- ⑮ 2x10 fascia
- ⑯ 2x6 fascia
- ⑰ Drip edge
- ⑱ Hurricane clip
- ⑲ Ice shield
- ⑳ Felt
- ㉑ Shingles
- ㉒ 2x10 ridge
- ㉓ 2x6 ceiling joist
- ㉔ 7/16 OSB
- ㉕ Vented soffit
- ㉖ House wrap
- ㉗ Siding
- ㉘ 30x30 skylight
- ㉙ Guard 6'-0" oc
- ㉚ Handrail
- ㉛ Ballusters 4" oc max.
- ㉜ Landing
- ㉝ Stairs

<p>FRED E. BUCK DESIGNS</p>	PROPOSED RENOVATION/ADDITION	
	SCALE: 1/4" = 1'-0"	DRAWN: BUCK
	DATE: 12-21-21	
	ANTHONY MOLINA 14 SPRUCE AVE., NEWBURGH, NY.	
SECTION		5/7 jbb



LEGEND

- receptacle
- ⌘ single pole switch
- ⌘ three-way switch
- ⊕ LED lighting
- ⊕ 6" recessed
- ⊕ exhaust fan/light
- ⊕ smoke detector
- ⊕ smoke/carbon
- ⊕ 5-speed fan

ELECTRICAL DIAGRAM

Scale: 3/16" = 1'-0"

<p>FRED E. BUCK DESIGNS</p>	PROPOSED RENOVATION/ADDITION	
	SCALE: 3/16" = 1'-0"	DRAWN: BUCK
	DATE: 12-21-21	ANTHONY MOLINA 14 SPRUCE AVE, NEWBURGH, NY
ELECTRICAL	jbb	6/7

GENERAL NOTES

DIVISION 1 - GENERAL CONDITIONS:

CODES: ALL WORK SHALL COMPLY WITH THE 2020 N.Y.S. UNIFORM FIRE PREVENTION AND BUILDING CODE, LOCAL BUILDING CODES, NATIONAL BOARD OF FIRE UNDERWRITERS CODE AND TO THE REQUIREMENTS OF THE BOARD OF HEALTH & N.Y.S. ENERGY CONSERVATION CODE. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODE OR REFERENCE STANDARD REQUIREMENTS AND THE DETAILS OF THESE DRAWINGS, THE MORE STRINGENT PROVISIONS/REQUIREMENTS SHALL PREVAIL.

MATERIALS: ALL MATERIAL SHALL BE NEW AND BE THE BEST PROCURABLE AS OUTLINED. ALL MANUFACTURED MATERIAL, COMPONENTS, FASTENERS, AND ASSEMBLIES SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE PROVISIONS OF THE RESIDENTIAL BUILDING CODES OF NEW YORK. SUBSTITUTIONS MADE FOR STRUCTURAL MATERIALS SPECIFIED BY NAME MAY BE MADE ONLY IF APPROVED BY ENGINEER.

DIVISION 2 - SITE WORK: N/A

FOOTINGS: IF SOIL CONDITIONS ARE QUESTIONABLE, THE CONTRACTOR SHALL CONSULT A SOILS ENGINEER FOR PROPER FOOTING DESIGN. THIS PLAN IS BASED ON A MINIMUM SOIL BEARING CAPACITY OF 3000 PSF.

FINISHED GRADING: FINISHED GRADING SHALL BE PERFORMED AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.

DIVISION 3 - CONCRETE: N/A

ALL CONCRETE SHALL BE MINIMUM 3,000LB. STRENGTH AT 28 DAYS CURE TIME (UNLESS NOTED OTHERWISE) READY MIXED CONFORMING TO ASTM C34. MEASURING, MIXING, TRANSPORTATION AND THE PLACING OF CONCRETE SHALL CONFORM TO ACT 304. CONCRETE SHALL HAVE A MIXING AGGREGATE SIZE OF 1 1/2", A MAXIMUM SLUMP OF 4", A MINIMUM CEMENT OF 4,701LBS., AND AIR ENTRAINING OF 4-12% FOR USE IN FOOTING AND WALLS. CONCRETE FOR INTERIOR SLABS SHALL HAVE SHALL HAVE A MINIMUM AGGREGATE SIZE OF 1/2", A SLUMP OF 4" AND A MINIMUM OF 3,000LBS. AND AIR ENTRAINING OF 4-12%.

FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED SOIL. FOOTINGS AND SLAB SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND. CONCRETE, WHEN PLACED, SHALL HAVE A TEMPERATURE OF BETWEEN 30 DEGREES AND 90 DEGREES FAHRENHEIT. TEMPERATURE OF CONCRETE DURING TRANSPORTATION AND MIXING SHALL NEVER BE LOWER THAN 40 DEGREES FAHRENHEIT. CONTRACTOR SHALL MAINTAIN A MINIMUM TEMPERATURE OF 30 DEGREES FOR THREE (3) DAYS AND ABOVE 32 DEGREES FOR AN ADDITIONAL FOURTEEN (14) DAYS FOLLOWING PLACEMENT. DURING HOT WEATHER WHERE TEMPERATURES ARE ABOVE 80 DEGREES FAHRENHEIT, THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS FOR HOT WEATHER CONCRETE WORK AS DESCRIBED IN THE ACT 305R SPECIFICATIONS TO MINIMIZE TEMPERATURE AND SHRINKAGE CRACKING OF CONCRETE. WELD STEEL REINFORCEMENT FOR CONCRETE SHALL BE MANUFACTURED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACT 318R, ACT 315R, AND ACT SP-66. REINFORCEMENT SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A613, GRADE 40 STEEL MAY BE BENT IN THE FIELD. LAP STRENGTH SHALL BE EIGHTEEN (18) INCHES MINIMUM.

ALL CONCRETE REINFORCEMENT SHALL BE PLACED ACCURATELY AND SUPPORTED TO ENSURE REQUIRED CLEARANCES AS FOLLOWS:

CONCRETE DEPOSITED AGAINST EARTH	3" MINIMUM
FORMED CONCRETE AGAINST EARTH	2" MINIMUM
EXTERIOR FACES OF WALLS	2" MINIMUM
INTERIOR FACES OF WALLS	1" MINIMUM
TO TOP OF SLAB GRADE	1" MINIMUM

DIVISION 4 - FRAMING:

- ALL FRAMING MATERIAL SHALL BE OF GOOD GRADE CONSTRUCTION LUMBER HAVING A MINIMUM BENDING STRESS OF 1200 PSI.
- FRAMING TO BE LEVEL, PLUMB AND SECURELY NAILLED.
- ALL FLUSH HEADERS TO BE CONNECTED WITH GALVANIZED JOIST HANGERS. ALL FLUSH BEAMS TO BE CONNECTED WITH HEAVY DUTY JOIST HANGERS.
- DOUBLE ALL FLOOR JOISTS UNDER PARTITION WALLS PARALLEL TO FRAMING.
- ALL BEAMS, GIRDERS AND HEADERS WITH A CLEAR SPAN BEYOND 9'6" TO BE CONSTRUCTED OF DOUGLAS FIR #2 OR BETTER.
- ALL STUDS, JOISTS AND RAFTERS TO BE SPACED 16"OC UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL BLOCKING AND BRIDGING AS REQUIRED BY CODE. INTERIOR BEARING WALLS SHALL RECEIVE ONE (1) ROW OF SOLID BLOCKING CATS INSTALLED EQUALLY.
- RIDGE BEAM SHALL BE ONE SIZE LARGER THAN RAFTERS SHOWN ON STRUCTURAL PLAN UNLESS NOTED OTHERWISE.
- COLLAR TIES REQUIRED SHALL BE INSTALLED 4"OC MAXIMUM AND 1/3 DISTANCE BETWEEN BOTTOM OF RIDGE AND TOP OF BEARING PLATE.
- SILL PLATE IN CONTACT WITH CONCRETE SHALL BE #2 OR BETTER 1" (25CCA) SO. YELLOW PINE.
- ALL VAULTED AND/OR CATHEDRAL RAFTERS AND ROOF TRUSSES SHALL BE ATTACHED TO BEARING PLATE WITH GALVANIZED HURRICANE CLIPS.
- IF A WOOD DECK IS PROVIDED, ALL STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED LUMBER.

JOIST HANGERS: JOIST HANGERS SHALL BE GALVANIZED STEEL OR IRON, SIZED TO FIT THE SUPPORTED MEMBER AND OF SUFFICIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, AND FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED. ALL JOIST HANGERS, BRACKETS, HURRICANE CLIPS, POST BASE AND CAPS, BOLTS, LAGS AND FASTENERS SHALL BE GALVANIZED.

DIVISION 5 - SUBFLOORING:

- ALL PLYWOOD AND/OR OSB SUBFLOORING TO BE GLUED AND SCREWED TO FRAMING MEMBERS.
- APPLY SUBFLOORING DIRECTLY TO FRAMING MEMBERS WITH 1 1/4" COURSE SCREW 6"OC AN ALL PANEL EDGES & 10"OC AT ALL INTERMEDIATE PLANES.
- PLYWOOD UNDERLAYMENT (3/8" THICK MAX.) OVER SUBFLOOR SCREWED 6"OC ON ALL PANEL EDGES & 8" AT ALL INTERMEDIATE PLANES.

DIVISION 6 - ROOFING:

- ALL TRUSSES SHALL BE NYS APPROVED AND CERTIFIED BY MANUFACTURER.
- ALL ROOFING SHALL BE A MINIMUM 30 YR. ASPHALT SHINGLE/ROLLED ROOFING UNLESS OTHERWISE NOTED.
- ICE & WATER SHIELD SHALL BE INSTALLED MINIMUM 3" FROM FACIA DRIP EDGE, IN ALL VALLEYS AND VERTICAL SECTIONS. APPLIED ICE SHIELD SHALL EXTEND MINIMUM 2" INTO INTERIOR MEASURED FROM EXTERIOR WALL.
- GALVANIZED FLASHING TO BE USED ON ALL ROOF APPLICATIONS AS REQUIRED.
- ALL VALLEYS AND ROOF SECTIONS TO BE SUPPORTED.
- ALL ROOFING TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- RIDGE VENT AND PROPER ATTIC VENTILATION SHALL BE INSTALLED.
- METAL ROOFING REQUIRES MANUFACTURERS PARTS LIST AND SPECIFICATIONS. CONTRACTOR SHALL FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS AS SUPPLIED.

DIVISION 7 - INSULATION:

- ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH THE NYS ENERGY CONSERVATION CODE AS PER ATTACHED RESCHECK COMPLIANCE CERTIFICATE.
- ALL DOORS, WINDOWS, UTILITY SERVICES AND OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, ORN OTHERWISE SEALED.
- PLUMBING AND ELECTRICAL HOLES IN FRAMING MEMBERS SHALL BE SEALED AND INSULATED.
- ATTIC STAIR OPENINGS SHALL BE SEALED AND INSULATED WITH A MATERIAL HAVING AN R FACTOR EQUAL TO ATTIC INSULATION.

DIVISION 8 - WINDOWS & DOORS:

WINDOWS: ALL WINDOWS SHALL MEET THE MINIMUM REQUIREMENTS FOR LIGHT, VENTILATION AND EGRESS AS INDICATED ON PLANS. ALL WINDOWS SHALL BE OF SUFFICIENT CONSTRUCTION SO AS TO MEET THE NYS ENERGY CONSERVATION CODE.

INTERIOR DOORS: ALL INTERIOR DOORS SHALL COME COMPLETE WITH HARDWARE. A CLASS "C" SELF-CLOSING FIRE RATED DOOR SHALL BE FURNISHED AND INSTALLED BETWEEN GARAGE AND HOUSE. ALL EXTERIOR DOORS SHALL MEET THE MINIMUM REQUIREMENTS OF THE NYS ENERGY CONSERVATION CODE WHERE APPLICABLE.

DIVISION 9 - ELECTRICAL:

ALL ELECTRICAL WORK SHALL BE DONE IN STRICT CONFORMANCE AND APPROVED BY THE NATIONAL BOARD OF FIRE UNDERWRITERS. A MINIMUM OF 200 AMP SERVICE AS REQUIRED TO BE INSTALLED IN NEW RESIDENTIAL CONSTRUCTION. SMOKE DETECTORS SHALL BE "HARD WIRED" CONNECTED IN SERIES AND INSTALLED ONE (1) ON EACH FLOOR AND ONE (1) IN EACH DESIGNATED BEDROOM. ONE (1) CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON EACH FLOOR.

DIVISION 10 - PLUMBING:

PLUMBER/CONTRACTOR SHALL DESIGN, FURNISH AND INSTALL ALL DRAINS, VENTS AND WATER SUPPLY IN ACCORDANCE WITH ALL PREVAILING CODES. PLUMBER/CONTRACTOR SHALL TEST ALL WATER SUPPLY AND DRAIN, WASTE AND VENT PIPING IN ACCORDANCE WITH ALL CODES.

DIVISION 11 - MECHANICAL:

HEATING CONTRACTOR SHALL DESIGN, FURNISH AND INSTALL A HEATING SYSTEM WHICH MEETS THE NYS ENERGY CONSERVATION CODE AND CAN PROVIDE AND MAINTAIN A MINIMUM INTERIOR TEMPERATURE OF 72 DEGREES FAHRENHEIT WITH AN OUTDOOR TEMPERATURE OF 0 DEGREES FAHRENHEIT. AS PER SECTION 7814-15(4) ALL HOT WATER PIPING IN UNHEATED SPACES SHALL RECEIVE A MINIMUM OF 1" INSULATION. ALL PIPES AND VENTS PASSING THRU ROOF SHALL BE MADE WATERTIGHT.

TABLE: R3011.2(2) CLIMATE & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED mph	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE				ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZZARD	
			WEATHERING DEPTH	FROST LINE	TERMINAL DECAY	WIPPER DESIGN			
55psf	115	C	SEVERE	4'0"	MOD	MOD	1	3" MIN.	FEMA map

BUILDING STATEMENT

THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY, OR REVIEWED BY THE UNDERSIGNED ARCHITECT AND/OR ENGINEER, TO THE BEST OF THE UNDERSIGNEDS INFORMATION, KNOWLEDGE AND BELIEF. THESE DRAWINGS AND SPECIFICATIONS MEET OR EXCEED THE MINIMUM REQUIREMENTS IF THE RESIDENTIAL BUILDING CODE OF NYS, THE ENERGY CONSERVATION CONSTRUCTION CODE OF NYS, AND LOCAL CODES AND ORDINANCES IN EFFECT. THE ARCHITECT/ENGINEER SHALL BE CONTACTED IMMEDIATELY IF CONDITIONS ARE FOUND TO BE DIFFERENT THAN THOSE INDICATED ON THESE DRAWINGS TO DETERMINE IF CHANGES MAY BE REQUIRED.

TITLE VIII - NEW YORK STATE EDUCATION LAW

UNAUTHORIZED CHANGES, ADDITIONS, ALTERATIONS, MODIFICATIONS OR REPRODUCTIONS OF THESE DRAWINGS BEARING THE SEAL OF THE ARCHITECT/ENGINEER IS A VIOLATION OF THE NYS EDUCATION LAW (TITLE VIII, ARTICLE 147, SECTION 69.3). ONLY COPIES OF THE ORIGINAL DRAWING WITH THE SIGNED STAMP AND/OR SEAL OF THE ARCHITECT/ENGINEER SHALL BE CONSIDERED VALID COPIES FOR CONSTRUCTION. THESE PLANS ARE THE PROPERTY OF FRED E. BUCK. ANY USE OR REPRODUCTION, IN WHOLE OR PART, WITHOUT WRITTEN CONSENT OF FRED E. BUCK IS PROHIBITED. ANY PERSON OR CORPORATION USING PLANS WITHOUT CONSENT WILL BE RESPONSIBLE TO COMPENSATE FRED E. BUCK.

BEFORE YOU DIG OR BLAST

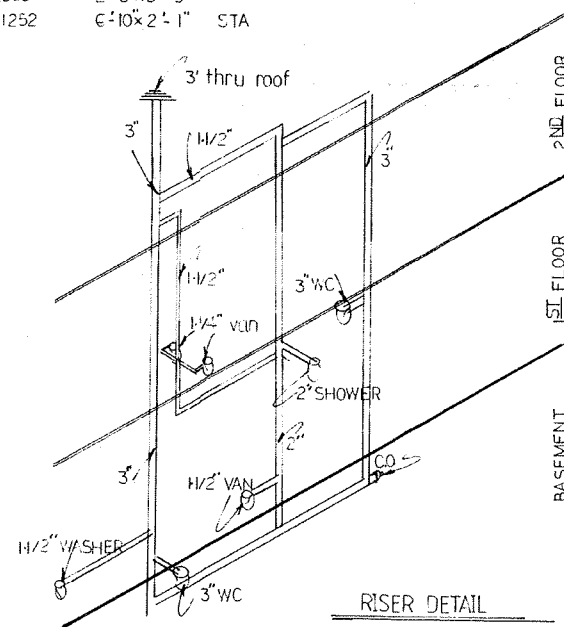
CALL US TOLL FREE
1-800-562-7962
NY industrial code rule 763 requires no less than two (2) workdays notice but not more than 10 days notice

LIGHT & VENTILATION

LOCATION	LIGHT		VENTILATION	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
KITCHEN	8 %	8 %	4 %	4 %
DINING	8 %	60 %	4 %	30 %
LIVING ROOM	8 %	38 %	4 %	19 %
BATH	8 %	8.4 %	4 %	4.2 %
BDRM 2	8 %	17 %	4 %	8.5 %
BDRM 3	8 %	17 %	4 %	8.5 %
MASTER BATH	8 %	18 %	4 %	9 %
MASTER	8 %	9.5 %	4 %	4.75 %
	%	%	%	%
	%	%	%	%
	%	%	%	%
	%	%	%	%

ALL WINDOWS SHOWN ON THESE DRAWINGS ARE DUAL GLAZED, VINYL CLAD, LOW-E, DOUBLE HUNG UNITS (UNLESS NOTED OTHERWISE) AND SHALL BE INSTALLED AND SEALED AS PER ALL REQUIREMENTS OF THE N.Y.S. CONSERVATION & ENERGY CODE. ALL OTHER GLAZINGS SHOWN MEET THE MINIMUM REQUIREMENTS OF THE N.Y.S. CONSERVATION & ENERGY CODE. ALL EGRESS WINDOWS MEET OR EXCEED ALL REQUIREMENTS OF SECTION R310 OF THE 2020 BUILDING CODE OF N.Y.S.

- PCC 2947 2'-5 1/2" x 3'-11" PELLA CASEMENT
- PCC 2965 2'-5 1/2" x 5'-5"
- PCC 41252 6'-10" x 2'-1" STA



ENGINEERING
Lou DuBois
8 Cook Lane
Paw Paltz, New York
12561
(845) 224-7102



PROPOSED RENOVATION/ADDITION

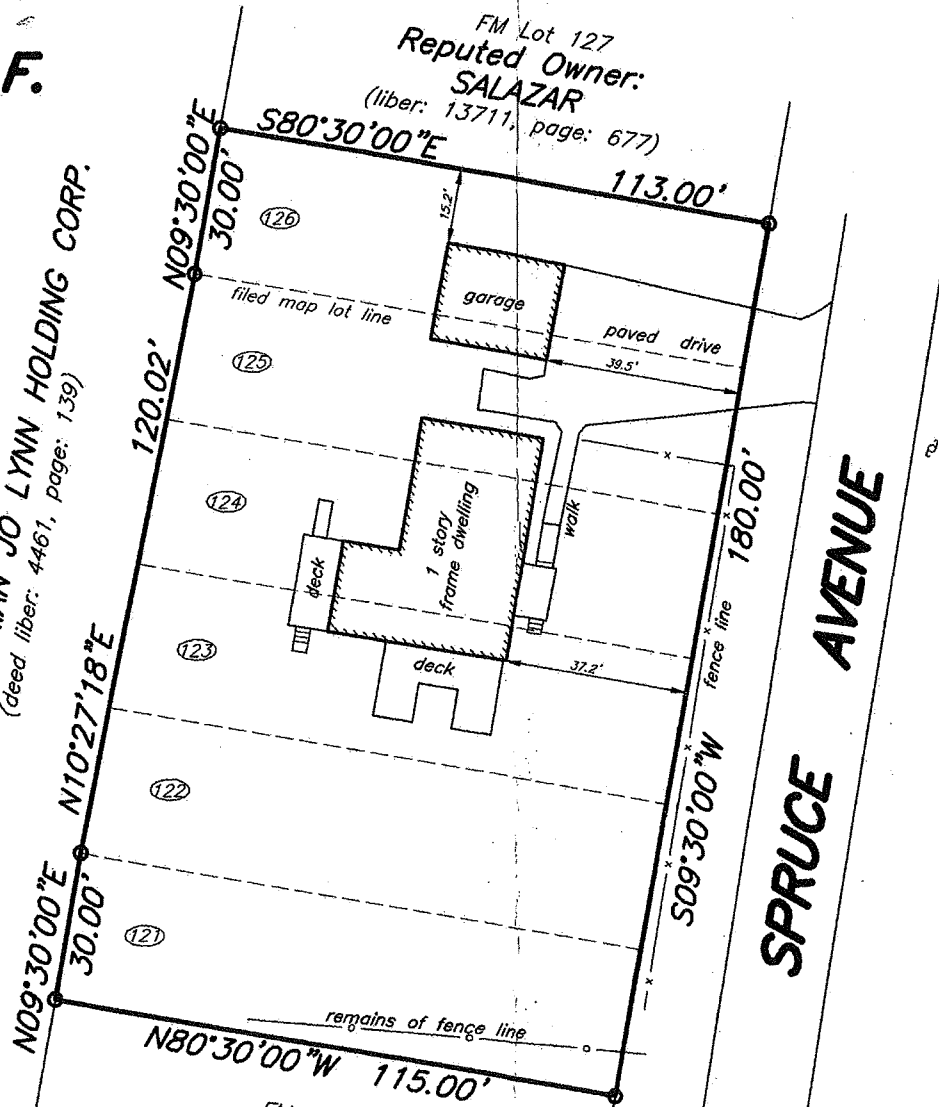
SCALE: _____ DRAWN: BUCK
DATE: 12-21-21
ANTHONY MOLINA
14 SPRUCE AVE., NEWBURGH, NY
7/7

jbb



AREA= 20,520 S.F.
 = 0.471± acres

Reputed Owner: **BRIAN JO LYNN HOLDING CORP.**
 (deed liber: 4461, page: 139)



NOTES:

SUBJECT to any easements, rights-of-ways, and/or agreements that the utility companies may have.
 SUBJECT to such facts disclosed by an accurate, up-to-date title search.
 OFFSETS shown hereon are not to be used for construction purposes and/or fence installation.

REFERENCES:

TAX MAP DATA:
 Section: 71
 Block: 6
 Lot: 16

Deed Liber: 14189, Page: 308

Being Lots 121 through 126 as shown on a map entitled "Newburgh Terrace"; said map filed in the Orange County Clerk's office on 8 October 1907 as map number 994.

Survey of Property for
MOLINA
 located in the
 Town of Newburgh
 Orange County - New York

I hereby certify to:
 -Anthony Molina;

that this mapping is based on a field survey performed on the date indicated hereon, deeds and/or maps obtained from the County Clerk's office, and is correct and accurate to the best of my knowledge.

Howard W. Weeden

Howard W. Weeden, P.L.S., P.C. NYS Lic. No. 049967

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, sub-division 2, of the New York State Education Law.

FM Lot 120
 Reputed Owner:
CASTRO-RODRIGUEZ
 (liber: 14979, page: 1858)

Certifications indicated hereon signify that the survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person(s) for whom the survey is prepared, and on his/her behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or their subsequent owners.

scale: 1" = 30' date: 9 Dec. 2021 file no.: 21-531

HOWARD W. WEEDEN, PLS., PC

PROFESSIONAL LAND SURVEYING

62 Main Street, Walden, N.Y. 12586

tel.: (845) 778-7643

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