



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: NPA SITE PLAN
PROJECT NO.: 17-03
PROJECT LOCATION: SECTION 89, BLOCK 1, LOT 80.1 & 80.2
REVIEW DATE: 9 MAY 2025
MEETING DATE: 15 MAY 2025
PROJECT REPRESENTATIVE: LANGAN ENGINEERS – BILL SPARKMAN

1. Orange County referral was completed on 4 March 2025. A local determination was recommended by County Planning.
2. Project is before the Planning Board for a Public Hearing. Any substantive comments received from the Public Hearing should be addressed.
3. The SWPPP submitted as revised is acceptable to this office. A municipal authorization is required prior to applying for coverage under NYSDEC Stormwater Construction Permit. Stormwater Construction Permit must be received prior to stamping of the plans.
4. NYSDOT conceptual approval for the access drive is required. No building permits should be issued until NYSDOT permit is received.
5. Final sign off from the NYCDEP should be received related to the proximity of the project to the Catskill Aqueduct.
6. Security for stormwater and landscaping is required. Inspection fees for the same must be posted. Approval of the security and inspection fees requires Town Board approval.
7. Status of approval of the subsurface sanitary sewer disposal system by the Orange County Health Department should be addressed.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kmm

A handwritten signature in blue ink, appearing to read 'Michael W. Weeks'.

Michael W. Weeks, P.E.
Principal

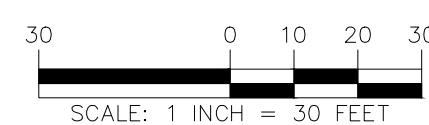
NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

NYS ROUTE 747, NEWBURGH, ORANGE COUNTY, NY.



SCALE 1/8" = 1'-0"



OCCUPANCY:
BUILDING GROSS SF

WALK-IN COOLER	495 SF
DELI AREA-STORAGE-ELECTRICAL-GAS METER	320 SF
REGISTER	276 SF
HC BATH	80 SF
PUBLIC AREA	1,263 SF
TOTAL:	2,248 SF



ANTHONY SOTTILE, P.E.

SS DR. PORT CHARLOTTE FL 33952	Drawing Title:
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Project: NEW GAS STATION

LOCATION MAP

LAW ARTICLE 143 FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED P.E. OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING P.E. OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

[illegible]

OWNER:

Chiu, D.Y.: KM

scale:

oted

Date: _____

-02-2025

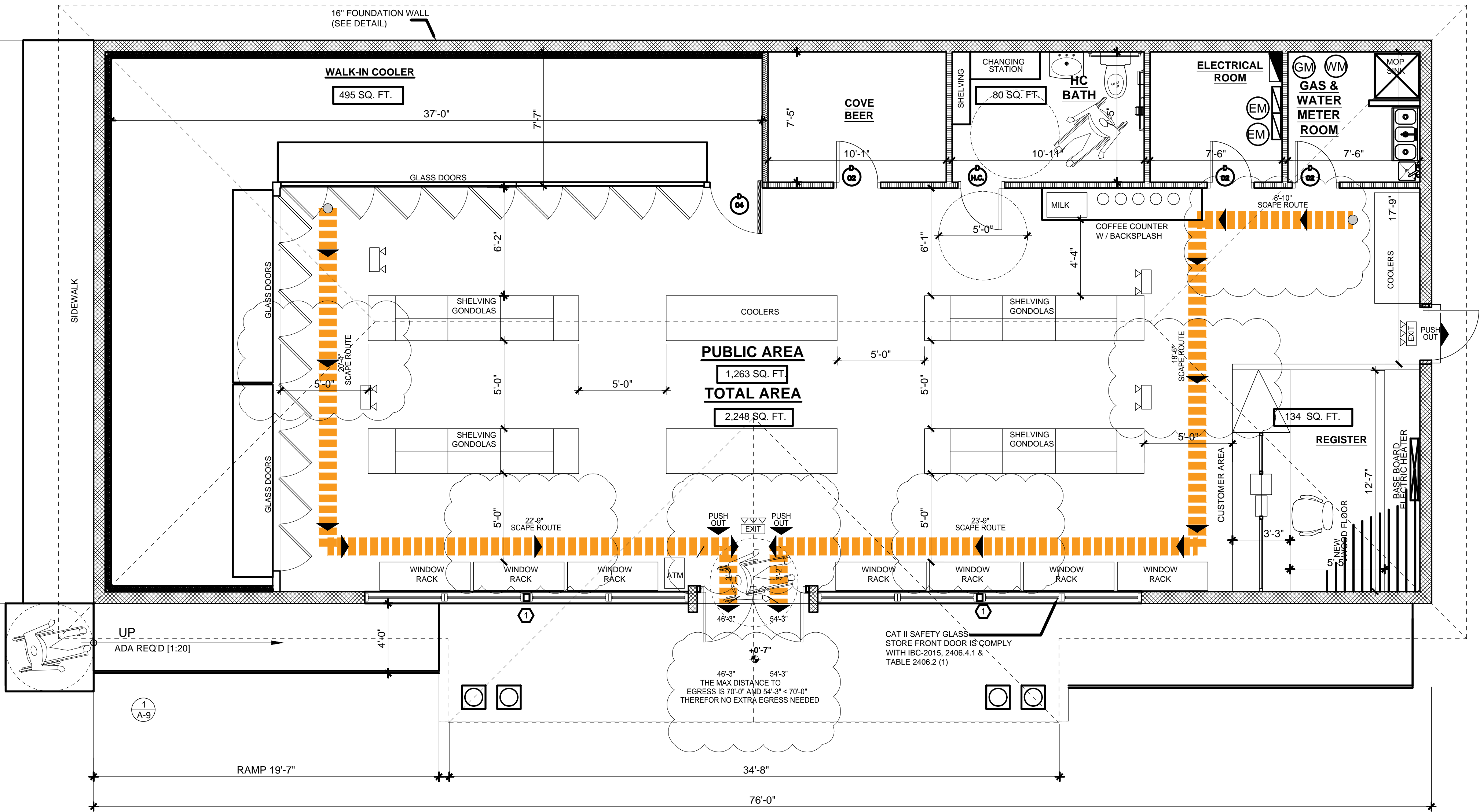
A Drawing Number:

A-001

26 MILL PLAIN ROAD, DAMBURY CT 06811

80.1-80.2

BLOCK -1 LOT 80.1-80.2



PROPOSED FLOOR PLAN

SCALE 1/4" = 1'-0"

CHAPTER 8 OF THE IBC FOR INTERIOR FINISHES.

803.1.1 INTERIOR WALL AND CEILING FINISH MATERIALS
INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.

CLASS A: = FLAME SPREAD INDEX 0-25; SMOKE-DEVELOPED INDEX 0-450.
CLASS B: = FLAME SPREAD INDEX 26-75; SMOKE-DEVELOPED INDEX 0-450.
CLASS C: = FLAME SPREAD INDEX 76-200; SMOKE-DEVELOPED INDEX 0-450.

EXCEPTION: MATERIALS TESTED IN ACCORDANCE WITH SECTION 803.1.2.

OCCUPANCY: BUILDING GROSS SF

WALK-IN COOLER	495 SF
DELI AREA-STORAGE-ELECTRICAL-GAS METER	320 SF
REGISTER	276 SF
HC BATH	80 SF
PUBLIC AREA	1,263 SF
TOTAL:	2,248 SF

LEGEND:

	16" RETAINING / EXTERIOR WALL
	EXTERIOR WALL
	NEW INTERIOR WALL. (2"x4" STEEL STUDS @16 O.C.) WITH 1/2" SHEETROCK EACH SIDE)
	EXISTING EXTERIOR WALL TO BE DEMOLISHED
	BATTERY PACK W/3 - 25 WATTS LAMPS / WITH EXIT SIGNS REQUIRED AT ALL EXITS.
	EMERGENCY LIGHTNING

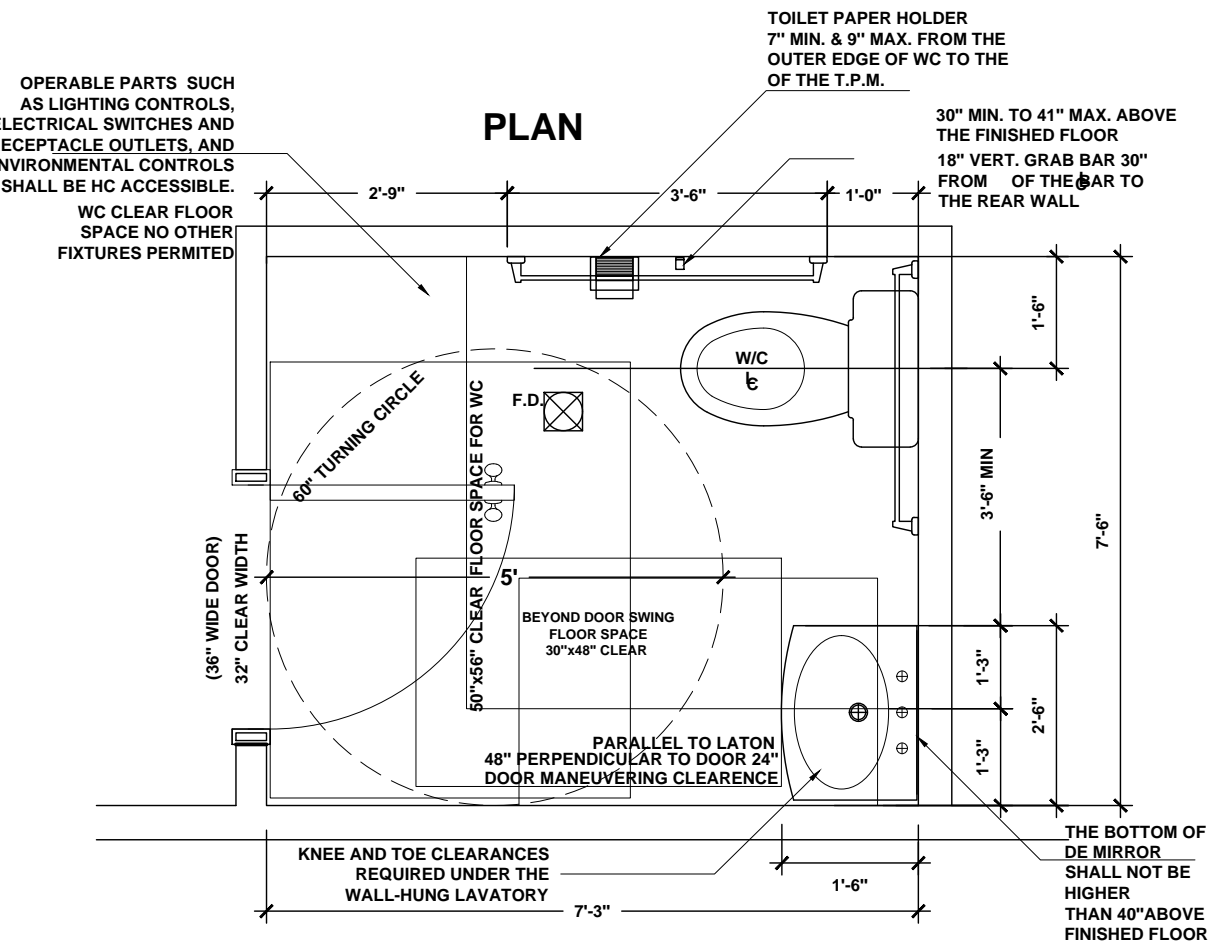
WINDOW SCHEDULE					
MARK	DESCRIPTION	SIZE		SIZE (R.O.)	
		W	H	W	H
1	FIXED GLASS (Cat II Safety Glass)	37"	54"	38"	55"
2	FIXED GLASS (Cat II Safety Glass)	22"	54"	23"	55"
3	FIXED GLASS (Cat II Safety Glass)	(2) 36"	24"	37"	25"
4	FIXED GLASS (Cat II Safety Glass)	48 1/8"	54"	49 1/8"	55"

DOOR SCHEDULE					
MARK	DESCRIPTION	SIZE			MATERIAL
		W	H	T	
M	STORE FRONT DOOR	(2) 3'-0"	6'-8"	1 3/4"	GLASS METAL
M	S.C DOOR	2'-8"	6'-8"	1 3/4"	METAL METAL
M	GLASS DOOR	2'-8"	6'-8"	1 3/8"	WOOD WOOD

CONSTRUCTION NOTES

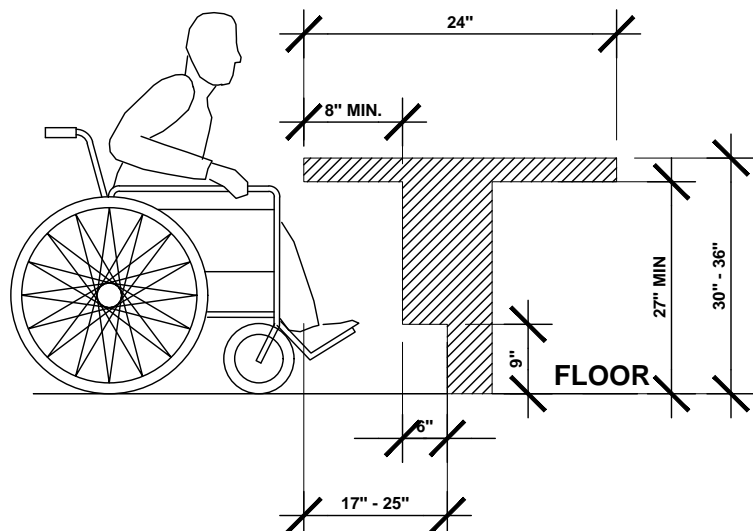
AS APPLICABLE

- 1.- ALL WORK AND MATERIAL TO CONFORM WITH THE TOWN OF KINGSTON CODES AND REGULATIONS.
- 2.- UPON REQUEST, THE CITY WATER DEPARTMENT SHALL LOCATE EXISTING WATER MAINS AND SERVICES BUT SHALL NOT GUARANTEE LOCATIONS.
- 3.- PROVIDE DESIGNED RETAINING WALLS ON ALL SLOPES EXCEEDING ONE (1) FOOT VERTICAL ON TWO (2) FEET HORIZONTAL.
- 4.- UNDERGROUND ELECTRIC SHALL BE ENCASED IN RIGID CASING A MIN. OF SIX FEET (2-4-4) ACROSS ALL WATER MAINS.
- 5.- THE BUILDER SHALL FURNISH AND INSTALL 6" PERFORATED PIPE ENCASED IN CRUSHED STONE IN BACK OF CURB WHEREVER DIRECTED BY ENGINEER.
- 6.- THE COUNTY & CITY HIGHWAY DEPARTMENT SHALL REGULATE AND ORDER WHAT OBSTRUCTIONS MUST BE REMOVED BY BUILDER FOR SIGHT DISTANCE.
- 7.- THE APPLICANT/CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH ALL RULES AND REGULATIONS OF THE TOWN OF KINGSTON WATER DISTRICT.
- 8.- THE CONTRACTOR SHALL REQUIRE TO BACKFILL UTILITY TRENCHES IN THE PUBLIC RIGHT OF WAY WITH 50 PSI CONTROLLED DENSITY BACKFILL (K-CRETE).
- 9.- THE APPLICANT/CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL/DISPOSAL OF EXISTING SUBSURFACE STRUCTURE (I.E. OIL TANKS, SEPTIC FIELDS, ETC.). THEIR CONTENTS AND REMEDIAL MEASURES THAT MAY BE REQUIRED.
- 10.- IT SHALL BE THE RESPONSIBILITY OF APPLICANT/CONTRACTOR TO CALL IN CODE 53. NO WORK SHALL BE COMMENCE UNTIL A CODE 53 FIELD MARK OUT HAS BEEN PERFORMED.
- 11.- ON AND OFF SITE TRAFFIC IMPROVEMENTS TO COMPLY WITH THE LATEST M.U.T.C.D.
- 12.- BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. DISCONNECT EXISTING UTILITIES WHERE APPROPRIATE.
- 13.- ALL EXCAVATION SHALL BE BACKFILLED WITH CLEAN EARTH AND COMPACTED TO 95% PROCTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING AND SHALL SUBMIT SUCH REPORTS AND VERIFICATION TO ENGINEER OF RECORD.
- 14.- ALL UNSUITABLE MATERIAL, CONSTRUCTION DEBRIS, ETC SHALL BE PROPERLY REMOVED & DISPOSED OFF SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES & LAWS.
- 15.- CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF ALL BEAMS COLUMNS, FOUNDATIONS, WALLS, SIDEWALKS TANKS, ETC. TO REMAIN.
- 16.- NO WORK TO BEGIN WITHOUT ALL NECESSARY PERMITS AND APPROVALS.
- 17.- LIGHTING FIXTURES SHALL BE DIRECTED SO AS NOT TO SHINE ON NEIGHBORING PROPERTIES.
- 18.- LOCATION OF ALL EXISTING AND PROPOSED SERVICES SHOWN ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, DEMOLITION OR EXCAVATION.
- 19.- REFER TO PUMP AND TANK PLANS FOR ADDITIONAL INFORMATION REGARDING HEAVY VEHICULAR TRAFFIC AND OPERATION WITHIN THE TANK-UTILITY AREA.



HANDICAPPED BATHROOM

NOT TO SCALE



HANDICAP ACCESS DETAIL

NOT TO SCALE



ANTHONY SOTTILE, P.E.

CONSULTING ENGINEER DESIGN - PLANNING & STRUCTURAL ENGINEERING

Drawing Title:

Project: NEW GAS STATION

ISSUES / REVISIONS
Date Title
4.23.25 ESCAPE ROUTE

OWNER: SNK PETROLEUM WHOLESALERS INC.

26 MILL PLAIN ROAD, DAMBURY CT 06811

OWNER:

Chkd. By: RM

Scale:

As Noted

Date:

MAY-02-2025

Drawing Number:

A-002

