

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
PATRICK J. HINES
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100 fax: (845) 567-3232

e-mail: mheny@mhepc.com

Principal Emeritus: RICHARD D. McGOEY, P.E. (NY & PA) WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

# TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT: O'BRIEN/GREENSHIRE SUBDIVISION

PROJECT NO.: 20-05

PROJECT LOCATION: SECTION 11, BLOCK 1, LOT 92.42

REVIEW DATE: 29 JULY 2020 MEETING DATE: 6 AUGUST 2020

PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES

- 1. Existing structure on lot #1 does not meet the required front yard setback in the R-1 Zone. ZBA approval for the front yard setback on lot #1 is required. Pre-existing nonconforming protections are lost upon subdivision of the parcel.
- 2. A wetlands validation block should be added to the plans and signed by the appropriate surveyor and NYSDEC official.
- **3.** The subsurface sanitary sewer disposal system design is for a 3-bedroom maximum house. Sheet C-1 identifies the proposed structure as a 3-bedroom home.

Respectfully submitted,

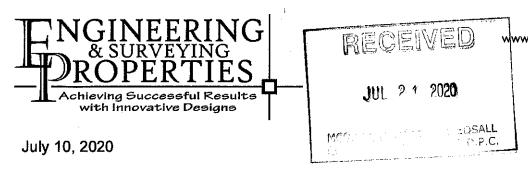
McGoey, Hauser and Edsall Consulting Engineers, D.P.C.

Patrick J. Hines
Principal

PJH/dns

Member

ACEC



www.EngineeringPropertiesPC.com 71 Clinton Street Montgomery, NY 12549 phone: (845) 457-7727

fax: (845) 457-1899

Town of Newburgh Planning Board 308 Gardnertown Road Newburah, NY 12550

ATTN: John Ewasutyn, Chairman

**APPLICATION #2020-05** RE:

> O'BRIEN SUBDIVISION TAX LOT # 11-1-92.42

Dear Mr. Ewasutyn:

Please find attached 14 copies of the Revised Subdivision Plan for the O'Brien Subdivision. The plans have been revised per a comment letter prepared by Mcgoey, Hauser and Edsall Consulting Engineers D.P.C. dated May 7, 2020. Below is a comment by comment response;

- 1 The NYSDEC Federal Juristional Freshwater Wetlands NB-32 has been delineated by NYSDEC personnel and survey located. The 100 foot adjacent wetland buffer has been added to the O'Brien Subdivision plan.
- 2. A title search has been performed to confirm the lands were conveyed to Ester O'Brien from Ronald and Pamela Tatum in Deed Liber 11614, Page 445 and plans have been updated accordingly.
- 3. Note #9 on sheet C-1 stipulates that a stakeout of the proposed dwelling, well and septic system with a plot plan submitted to the Building Department is required prior to receiving a building permit.
- 4. The topo in the wetland areas is shown and is flat.
- 5. The Revised Subdivision Plan for the O'Brien Subdivision is being copied to the Highway Superintendent so that comments on the driveway location may be received.
- 6. A boundary survey and topographic mapping plan signed by the surveyor of record has been included as part of the plan set.
- 7. The lowest sewerable and finished floor elevations have been shown on the subdivision system design.

If you have any additional questions and/or comments, please don't hesitate to contact this office.

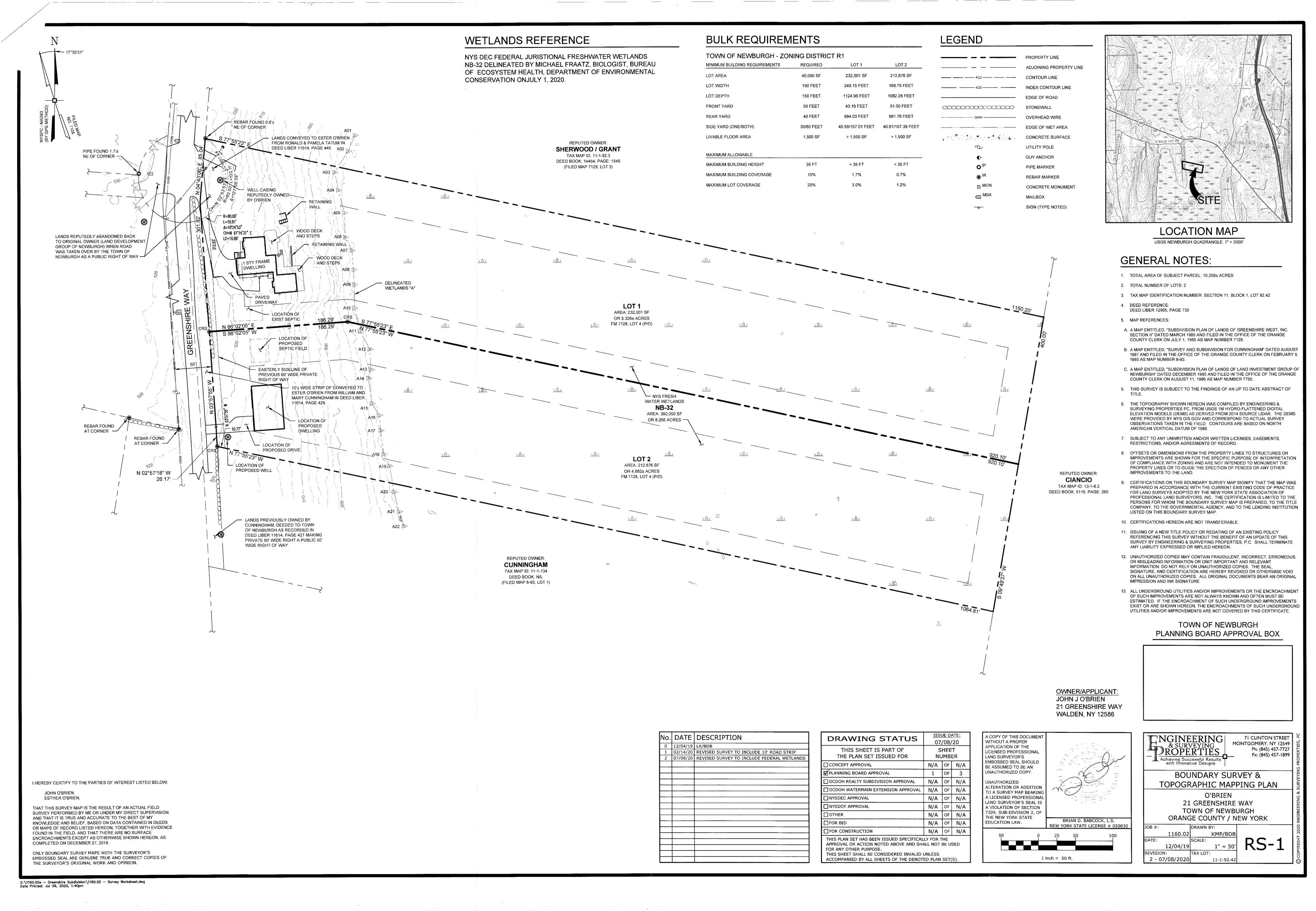
Sincerely,

Engineering & Surveying Properties, PC

Ross Winglovitz, P.E.

Principal

CC: Mark Hall, Town of Newburgh Highway Superintendent



## PERCOLATION TEST RESULTS

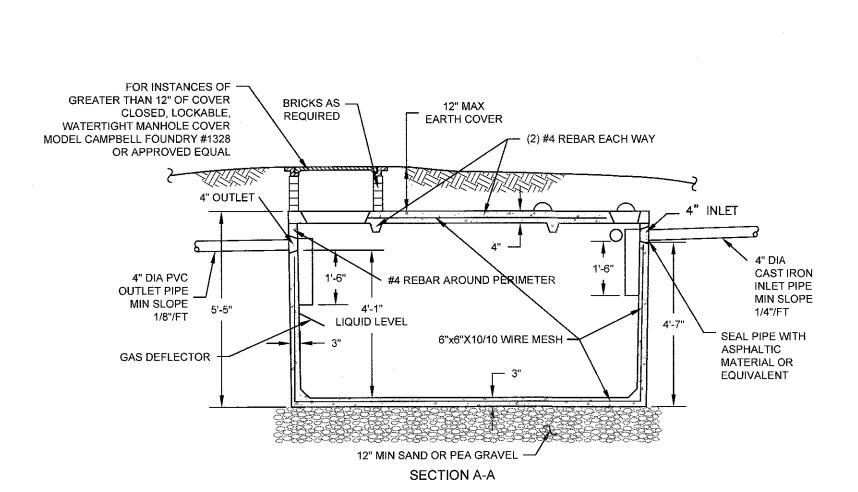
LOT#	PERC HOLE #	PERC HOLE DEPTH	PERC HOLE DIA	TIME	PERCOLATION TEST RUNS STOPWATCH USED FOR ALL TESTS (TIME FOR 1" DROP IN WATER LEVEL)			STABLIZED RATE
2	06/02/20 PT-1		10"	FINISH				
				START	STOPWATCH	USED FOR TIME	D INTERVALS	34 MIN
				TIME	00:24:11	00:33:37	00:33:49	
2	06/02/20 PT-2	24"	10"	FINISH				
				START	STOPWATCH	USED FOR TIME	D INTERVALS	24 MIN
				TIME	00:18:53	00:23:09	00:23:19	

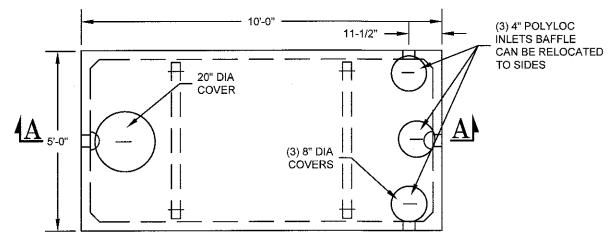
## DEEP TEST HOLE RESULTS

LOT#	TEST HOLE#	DATE	DEPTH	DESCRIPTION
2	TP 1	06/02/20	0"-6" 6"-16" 16"-96"	TOPSOIL AND ORGANIC MATERIAL BROWN, SANDY, SILTY LOAM WITH SOME COBBLE SOME MEDIUM SIZED ROCK PRESENT @ 48" NO BEDROCK, NO GROUNDWATER, NO MOTTLING
2	TP 2	06/02/20	0"-8" 8"-96"	TOPSOIL AND ORGANIC MATERIAL BROWN, SANDY, SILTY LOAM WITH SOME COBBLE NO BEDROCK, NO GROUNDWATER, NO MOTTLING

## SEPTIC SYSTEM DESIGN SCHEDULE

			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,				
LOT #	STABILIZE PERC RATE (min)	PROPOSED BEDROOMS	FLOW RATE (GPD)	APPLICATION RATE (GPD/Sq. ft.)	REQUIRED AREA (Sq. ft.)	REQUIRED ABSORPTION FIELD LENGTH (ft) (ELJEN)	PROPOSED ABSORPTION FIELD LENGTH (ft)
2	34	3	330	0.50	660	110	4 LATERALS @ 28 LF = 112 28 TOTAL ELJEN MATS

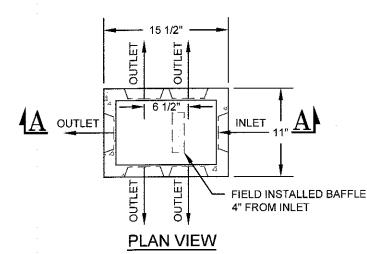


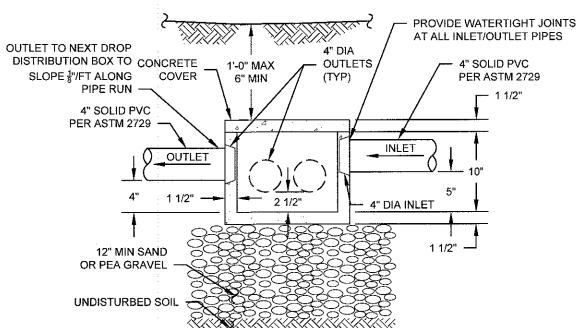


1. PRECAST CONC. SEPTIC TANK AS MFG. BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL ST 1250, OR APPROVED EQUAL.

- 2. CONCRETE 4,000 PSI AT 28 DAYS.
- 3. REINFORCEMENT 6" x 6" x 10 GA WIRE MESH.
- 4. SECTIONS TO BE SEALED WITH BUTYL RUBBER BASE CEMENT.
- 5. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK, OR ANY PUMPING OR DOSING CHAMBER,
- TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- 6. SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED

1250 GAL SEPTIC TANK SCALE: NTS (FOR 4-BEDROOM HOUSE)

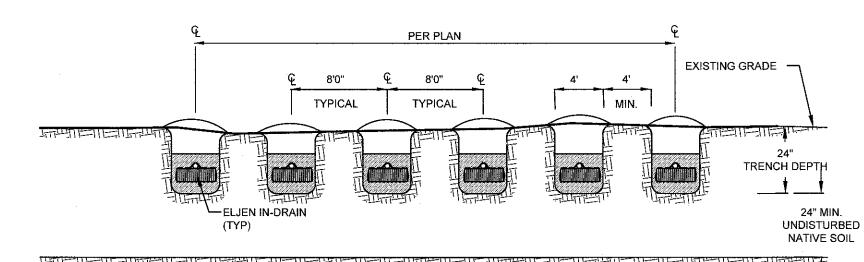




- 1. DROP BOX AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC.
- MINIMUM CONCRETE STRENGTH 4,000 PSI AT 28 DAYS

- 7. DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT

### 6 HOLE DROP DISTRIBUTION BOX



A-A - TILE FIELD OR GROUNDWATER **ABSORPTION TRENCH** 

WITH ELJEN SYSTEM

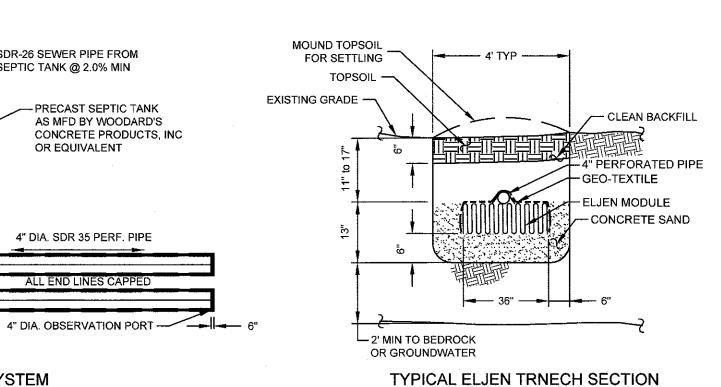
- SDR-26 SEWER PIPE FROM

SEPTIC TANK @ 2.0% MIN

PRECAST SEPTIC TANK

4" DIA. SDR 35 PERF. PIPE

AS MFD BY WOODARD'S CONCRETE PRODUCTS, INC.



ABSORPTION TILE FIELD OVERALL PLAN

- 1. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM THE HOUSE.
- 2. THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION
- 3. GARBAGE GRINDERS AND/OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS ARE NOT PERMITTED WITHOUT THE SYSTEM BEING REDESIGNED AND REAPPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- 4. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF THE TILE FIELDS
- 5. SWIMMING POOLS, DRIVEWAYS AND/OR STRUCTURES THAT MAY COMPACT THE SOIL ARE NOT TO BE CONSTRUCTED
- 6. ASPHALTIC SEALS SHALL BE MAINTAINED BETWEEN THE SEPTIC TANK, AND ALL PIPES AND COVERS.

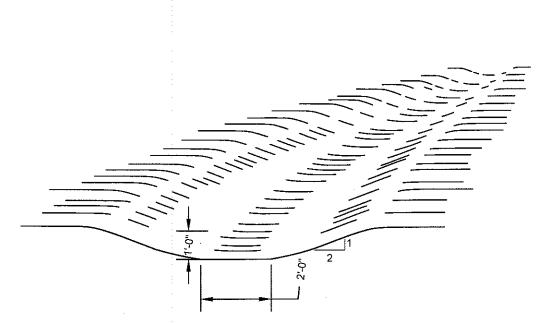
<u>PLAN VIEW</u> ELJEN IN-DRAIN SYSTEM

7. NO TRENCHES TO BE INSTALLED IN WET SOIL.

DISTRIBUTION BOX WITH ADJUSTABLE -OUTLET LEVELERS AND INLET BAFFLES

**ELJEN IN-DRAINS -**

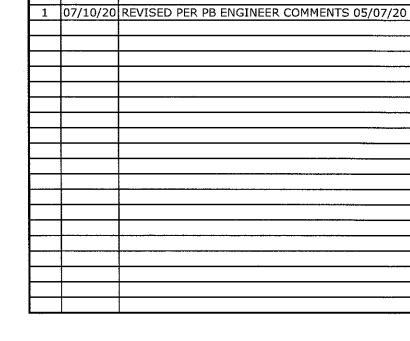
- 8. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
- 9. GROUT ALL PIPE PENETRATIONS INTO AND OUT OF ANY DISTRIBUTION OR DROP BOX.
- 10. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE PUBLICATION "INDIVIDUAL RESIDENTIAL WASTEWATER TREATMENT SYSTEMS, DESIGN HANDBOOK", LATEST EDITION, AND APPENDIX 75-A OF THE NEW YORK STATE DEPARTMENT OF HEALTH.
- 11. ABSORPTION TRENCH PIPE TO BE CAPPED AT END.
- 12. ABSORPTION SYSTEM TO BE LOCATED A MINIMUM DISTANCE OF 20 FEET FROM ANY DWELLING UNIT.
- 13. SEPTIC TANK JOINTS MUST BE SEALED AND TESTED FOR WATERTIGHTNESS.
- 14. PROVIDE 30" OF SOLID PIPE PRIOR TO START OF PERFORATED ABSORPTION PIPE AND BE BACKFILLED WITH NATIVE
- 15. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE DWELLING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- 16. DROP BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- 17. HEAVY EQUIPMENT SHLL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO TO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF ABSORPTION CAPACITY OF THE SOIL ON SHICH THE DESIGN WAS BASED.



### CHANNEL CROSS-SECTION

### CONSTRUCTION SPECIFICATIONS

- 1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY
- 2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL
- 3. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE
- 4. FILL SHALL BE COMPACTED AS NEEDED IN CONSTRUCTION TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETED WATERWAY.
- 5. WATERWAY SHALL BE SEEDED AND STABILIZED JUTE OR EXCELSIOR MATTING



No. DATE DESCRIPTION

DRAWING STATUS	ISSUE DATE: 07/10/20		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
CONCEPT APPROVAL	N/A	OF	N/A
PLANNING BOARD APPROVAL	3	OF	3
OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐FOR BID	N/A	OF	N/A
FOR CONSTRUCTION	N/A	OF	N/A
THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).			

COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE ENGINEER'S SIGNATURE AND AN ORIGINAL STAMP IN RED OR BLUE INK SHALL BE CONSIDERED INVALID.  UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE	CE CONTROL OF THE SECOND CONTROL OF THE SECO
EDUCATION LAW.	ROSS WINGLOVITZ, P.E. NEW YORK LICENSE # 071701
0 1	2 3

ORIGINAL SCALE IN INCHES

TOWN OF NEWBURGH PLANNING BOARD APPROVAL BOX

Call Before You Dig

Respect The Marks

Dig With Care

■ Wait The Required Time

Confirm Utility Response

800-962-7962

www.digsafelynewyork.com

71 CLINTON STREET MONTGOMERY, NY 12549 Ph: (845) 457-7727 Fx: (845) 457-1899 Achieving Successful Results SOIL TESTING RESULTS & DETAILS O'BRIEN SUBDIVISION

21 GREENSHIRE WAY TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK

AS NOTED

11-1-92.42

Z:\1160.02 — Greenshire Subdivision\Subdivision Plan.dwg Date Printed: Jul 10, 2020, 12:38pm

