

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
PATRICK J. HINES
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

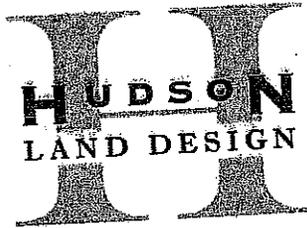
PROJECT: ROCKWOOD DRIVE SUBDIVISION
PROJECT NO.: 2011-19
PROJECT LOCATION: SECTION 75, BLOCK1, LOT 36.2
REVIEW DATE: 28 JUNE 2018
MEETING DATE: 5 JULY 2018
PROJECT REPRESENTATIVE: HUDSON LAND DESIGN

1. This project received conditional Final Approval from the Planning Board in December of 2013. Since that time the Applicant's representatives have been addressing conditions of final approval. Numerous specific conditions of approval were identified in the resolution. The approval for the project has lapsed and extensions were not received in a timely manner. Project is before the Board for re-approval of the exact subdivision approved in December of 2013. We would recommend the Applicant's representative identify to the Board status of each of the approvals required. Any approval resolution should include all previous conditions identified. Upon completion of each specific approval it is requested the Applicant's representative send a complete package addressing each item with backup data including approvals, bond acceptance, sign-off letters as appropriate. Upon receipt of the complete package this office will review each of the specific conditions for compliance with the resolution.

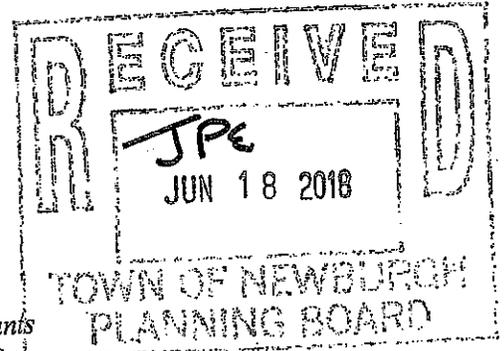
Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal
PJH/kbw



Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com



June 18, 2018

Chairman Ewasutyn & Planning Board Members
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: Rockwood Drive subdivision (Town Project #2011-19)
Tax ID: 75-1-36.2

Dear Chairman Ewasutyn & Planning Board Members:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has enclosed 4 copies of the full plan set and 10 copies of the Subdivision Plat for the above referenced project. The project received conditional final approval from your Board in December of 2013. We are in the final stages of getting the legal/drainage documents approved, which has taken much more time than initially anticipated and as a result the approval from you Board has expired, and we need to appear to request reapproval since we are now close to having everything wrapped up. The resolution of approval from 2013 is attached, and below is a brief summary of the status of each condition noted in the approval:

Conditions to be Satisfied

1. *The plans shall not be signed until receipt of a letter from the Planning Board Engineer certifying that the plans have been modified in accordance with his memo of December 3, 2013.*

Status: We believe all of the items noted in the memo have been satisfied – a copy of the bond estimate is attached for reference.

2. *This approval is conditioned upon the Town Board creating a drainage district and upon acceptance of dedication of the re-tention/detention ponds and drainage structures proposed to be offered for dedication to the Town. The applicant shall appear before the town board and request delivery of a report to the planning board expressing its willingness and comments on the concept of creating such district. The*

plat will not be signed or released for filing, however, until such district is created. In the event the Town is unwilling to accept such facilities for dedication, an alternative mechanism, satisfactory to the Planning Board, providing for future maintenance of those facilities shall be proposed.

Status: It is our understanding that the drainage district formation via the Town Board is nearly complete.

- 3. This approval is subject to review and approval of the driveway locations by the Town of Newburgh Highway Superintendent in substantially the same location and configuration as shown on the plans.*

Status: We have not received any comments from the Town Highway Superintendent regarding the location and configuration of the proposed driveways.

- 4. The applicant shall deliver to the Town drainage easements authorizing the conveyance of storm water from Lots 7 and 8 in order that it may drain freely to the storm water management facility.. The easement shall run to the Town, shall be in form suitable for recording and shall be satisfactory to the Town Attorney. The easement shall authorize the Town to enter onto the burdened property in order to repair and maintain the drain-age-way.*

Status: All required easements have been provided to the Town Attorney.

- 5. Construction of all storm water improvements identified on the plans (including storm water management facilities and the drainage swale along Rockwood Drive) must be completed before any driveways are built and before any building permits for a habitable structure are issued.*

Status: Noted – All stormwater improvements will be completed prior to the construction of any driveways or issuance of building permits.

- 6. Clearing limit areas shall be clearly marked in the field (with protective fencing) before commencement of any site work. The areas so marked shall provide sufficient area to protect the root systems of the trees to be protected. If these limits are violated, the developer or lot owner shall be required to provide additional or replacement landscaping of equivalent basal area.*

Status: Noted – clearing limits shall be clearly marked in the field prior to any site work being commenced.

- 7. Common Driveway Easement and Maintenance Agreements, satisfactory to the Planning Board Attorney, must be submitted and approved before the plans are signed. Those instruments (3) must be recorded as a condition of this approval.*

Status: Noted – all required easements and agreements have been provided to the Town Attorney and will be recorded with all other required plans and documents.

8. *The proposed houses shown on the plat depict construction at or very near the edge of the allowable building envelope for these lots. Therefore, the possibility of mis-location of a foundation in the field resulting in nonconformity is extremely high. In order to minimize this possibility the applicant has agreed that a survey of the proposed foundation stakes in the field shall be conducted and a copy delivered to the building de-partment before any excavation or pouring of concrete is con-ducted. This offer is hereby made a specific condition of this approval.*

Status: Noted -- surveys of proposed foundation stakes shall be provided to the building department before any further work is conducted on the lots.

9. *This subdivision contains more than ten lots and requires archi-tectural review board approval. However, the applicant has no specific housing designs in mind at this time. Section 185-59 (E) of the Code of Ordinances of the Town of Newburgh provides, in such cases, that ARB-review may be deferred until building permit application, and that the Building Department is empowered, at that time, to refer any building permit application to the Planning Board for ARB approval if the specific proposal for that lot does not meet the requirements and the specific cri-teria of §185-59 (E). Therefore, no building permit shall be is-sued for any lot not meeting the requirements and the specific criteria of §185-59 (E) of the Code.*

Status: Noted – the developer of the lots shall comply with said condition as necessary.

10. *Prior to the signing of plans or issuance of a building permit, the applicant shall deliver a performance security to the Town Clerk, pursuant to Section 157-10 (B) of the Code of Ordinanc-es of the Town of Newburgh, in order to guarantee to the town that the applicant will faithfully cause to be constructed and completed the required public storm water improvements shown on the plans. The performance security shall be in an amount set by the Town Board and shall be satisfactory to the Town Board and Town Attorney as to form, sufficiency, manner of execution and surety. A period of three (3) years shall be set forth in the document of surety within which required improve-ments must be completed. An inspection fee in an amount in accordance with Section 104-2 (A)(8) shall also be paid to the Town prior to signing of the plans. A separate inspection fee in an amount in accordance with Section 104-2 (A)(8) shall also be submitted and deposited in an escrow account to cover the cost of the Town's periodic inspection of the erosion control measures to be implemented by the applicant.*

Status: Noted – a copy of the bond estimate calculation is attached for reference.

11. *Appropriate offer(s) of dedication, in duplicate, executed and acknowledged by the owner of the property affected, in form suitable for filing in the Orange County Clerk's Office and the Town Clerk's Office for all such lands as are shown on the plans to be so offered. The offer shall include a metes and bounds description of said parcel(s). The documents shall be in form suitable for recording and shall be satisfactory to the Town Attorney.*

Status: Noted – all required legal instruments have been provided to the Town Attorney.

12. *The Planning Board has determined, based upon the present and anticipated future need for park and recreational facilities in the Town [as calculated from projected population growth to which this subdivision will contribute], that parklands should be created as a condition of approval of this subdivision. However, because parks of size adequate to meet the Town's requirements cannot be properly located on the subdivision plat, the Planning Board, pursuant to Section 163-20 (F) of the Subdivision Regulations of the Town of Newburgh, and Section 277 (4) of the Town Law of the State of New York, requires that the applicant deliver payment, by cashier's check or certified check drawn to the order of the Town of Newburgh, a fee of \$2,000 for each new lot created in this subdivision, bringing the total due to \$20,000 (see Chapter 104, Fees [§104-2 (A)(9)]). Said sum shall be paid to the Town in full before the plans are signed.*

Status: Noted – the Applicant shall deliver the required fee to the Town prior to the plans being signed.

General Conditions

This approval is conditioned upon the applicant submitting all necessary copies of the plans to be signed, including mylars when required, to the Town of Newburgh Building Department. A full set of the plans to be signed shall simultaneously be submitted to the Planning Board Engineer. The plans shall not be signed until the Planning Board Engineer has reported to the Chair that all conditions of this resolution required to be satisfied before the plans can be signed have, in fact, been satisfied.

This approval is further conditioned upon the applicant delivering (prior to signing of the plat) proof, in writing, that all fees—engineering, planning, legal and otherwise—in regard to this project have been fully paid. The final plat shall not be signed until proof, satisfactory to the Chair, has been presented showing that all such fees have been paid and escrow deposits made.

A FAILURE to comply with the general conditions immediately above in a timely manner shall result, without further action, in a lapsing of this approval.

Status: Noted – and the reason why we have requested to reappear for consideration of reapproval.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,



Jon D. Bodendorf, P.E.
Principal

cc: John Page, Jr.

| | |
|-----------------------------|---|
| PROJECT INFORMATION: | |
| PARCEL OWNER: | JPJR HOLDINGS, 1456 ROUTE 55, LAGRANGEVILLE, NY 12540 |
| ENGINEER OF RECORD: | HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508 |
| SURVEYOR OF RECORD: | THOMAS CERCHIARA, L.S. 176 MAIN STREET, BEACON NY 12508 |
| PROJECT LOCATION: | NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE AND ROCKWOOD DRIVE |
| TAX PARCEL ID: | 75-1-36.2 |
| PARCEL AREA: | ±8.8-ACRE |
| ZONING DISTRICT: | R3 (RESIDENTIAL) ZONING DISTRICT |
| TOTAL PROPOSED LOTS: | ELEVEN |
| POTABLE WATER SUPPLY: | TOWN OF NEWBURGH WATER |
| SEWAGE DISPOSAL: | CITY OF NEWBURGH SEWER |

JPJR HOLDINGS, LLC

MAJOR RESIDENTIAL SUBDIVISION

CHESTNUT LANE AND ROCKWOOD DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

PARCEL INFORMATION:

TAX ID: 75-1-36.2
TOTAL LOT AREA: ±8.8 ACRES
R3 ZONING DISTRICT

DRAINAGE DISTRICT NOTE:

LOTS #1 THROUGH #11 ARE LOCATED WITHIN THE BOUNDARIES OF THE JPJR HOLDINGS, LLC SUBDIVISION DRAINAGE DISTRICT OF THE TOWN OF NEWBURGH (THE LIMITS OF THE SUBDIVISION ARE EQUAL TO THE LIMITS OF THE DRAINAGE DISTRICT), AND ARE SUBJECT TO ANNUAL BENEFIT ASSESSMENT FOR THE COSTS OF MAINTENANCE, REPAIR AND REPLACEMENT OF THE DRAINAGE DISTRICT FACILITIES AND IMPROVEMENTS, INSURANCE AND ADMINISTRATION. THE TOWN BOARD OF THE TOWN OF NEWBURGH HAS AUTHORITY TO REGULATE THE CONSTRUCTION OF ALL PRIVATE DRAINS AND STORM SEWERS IN THE DRAINAGE DISTRICT, AND TO PRESCRIBE THE MANNER IN WHICH STORM SEWER CONNECTIONS SHALL BE MADE.

BUILDING PERMIT NOTE:

NO BUILDING PERMIT SHALL BE ISSUED UNTIL STORMWATER IMPROVEMENTS IDENTIFIED ON THE PLANS, INCLUDING STORMWATER MANAGEMENT FACILITIES AND THE DRAINAGE SWALE ALONG ROCKWOOD DRIVE, HAVE BEEN INSTALLED.

SCHEDULE OF REGULATIONS (R3 RESIDENTIAL ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

| PARAMETER | REQUIREMENT | LOT #1 | LOT #2 | LOT #3 | LOT #4 | LOT #5 | LOT #6 | LOT #7 | LOT #8 | LOT #9 | LOT #10 | LOT #11 |
|--|------------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| LOT AREA: | 12,500 SQUARE FEET MIN | 22,179 S.F. | 16,274 S.F. | 15,505 S.F. | 30,553 S.F. | 16,522 S.F. | 17,423 S.F. | 29,919 S.F. | 46,618 S.F. | 23,664 S.F. | 39,499 S.F. | 91,411 S.F. |
| LOT WIDTH: | 85 FEET MINIMUM | 133.5 FEET | 108.5 FEET | 98 FEET | 133.3 FEET | 110 FEET | 100 FEET | 154 FEET | 250 FEET | 135 FEET | 205 FEET | 313 FEET |
| LOT DEPTH: | 100 FEET MINIMUM | 111 FEET | 150 FEET | 150 FEET | 167.1 FEET | 150 FEET | 144.5 FEET | 151 FEET | 133 FEET | 128 FEET | 104 FEET | 230 FEET |
| YARD SETBACKS (RESIDENTIAL USE) | | | | | | | | | | | | |
| FRONT YARD: | 40 FEET MINIMUM | 58.5 FEET | 64.3 FEET | 64.8 FEET | 67.4 FEET | 55 FEET | 55 FEET | 40 FEET | 44.6 FEET | 44.7 FEET | 40 FEET | 40 FEET |
| SIDE YARD: | 15 FEET MINIMUM | 30.9 FEET | 20.9 FEET | 17.4 FEET | 28.4 FEET | 19 FEET | 15.5 FEET | 45.5 FEET | 52.3 FEET | 29.4 FEET | 64.3 FEET | 95.7 FEET |
| BOTH SIDE YARDS: | 30 FEET MINIMUM | 83.5 FEET | 58.4 FEET | 53.1 FEET | 86.3 FEET | 60 FEET | 64.6 FEET | 109 FEET | 199.6 FEET | 99.1 FEET | 164 FEET | 300.9 FEET |
| REAR YARD: | 40 FEET MINIMUM | 40 FEET | 55.7 FEET | 55.2 FEET | 76.9 FEET | 65.2 FEET | 62.5 FEET | 81.4 FEET | 80.6 FEET | 53.3 FEET | 65.4 FEET | 168.2 FEET |
| BUILDING COVERAGE: | MAX 15% | 4% | 11% | 11% | 4.5% | 12% | 11% | 3% | 3.5% | 6% | 3.5% | 1.5% |
| MAXIMUM BUILDING HEIGHT: | 35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET | <35 FEET |
| LOT SURFACE COVERAGE: | 30% | 12% | 21% | 21% | 23% | 21% | 19% | 9% | 10% | 11% | 18% | 3% |
| HABITABLE FLOOR AREA: | 900 SQUARE FEET | >800 S.F. | >900 S.F. |
| BUILDABLE AREA: | 3,750 SQUARE FEET | 3,850 S.F. | 5,490 S.F. | 5,125 S.F. | 8,890 S.F. | 3,850 S.F. | 3,830 S.F. | 5,549 S.F. | 5,769 S.F. | 4,470 S.F. | 4,755 S.F. | 5,300 S.F. |

THE STORMWATER MANAGEMENT PARCEL IS 35,541 SQ FT IN AREA.

DRAWING INDEX

- SHEET 1: COVER SHEET
- SHEET 2: EXISTING CONDITIONS PLAN
- SHEET 3: SUBDIVISION PLAT
- SHEET 4: GRADING AND UTILITY PLAN
- SHEET 5: EROSION AND SEDIMENT CONTROL PLAN
- SHEET 6: SITE AND EROSION & SEDIMENT CONTROL DETAILS
- SHEET 7: STORMWATER DETAILS
- SHEET 8: WATER AND SEWER DETAILS



AREA MAP SCALE: 1" = 400'

SITE SPECIFIC NOTES:

1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE ACTUAL LOCATIONS OF THE GAS, WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL CONTACT THE TOWN OF NEWBURGH WATER AND SEWER DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
3. THE PROPOSED LOTS SHALL BE SERVED BY THE TOWN OF NEWBURGH MUNICIPAL WATER AND CITY OF NEWBURGH MUNICIPAL SEWER SERVICES.
4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF NEWBURGH WATER DEPARTMENT REQUIREMENTS.
5. ROCKWOOD DRIVE LANE CLOSURE FOR SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS.
6. ELECTRIC SERVICE FOR THE PROPOSED HOUSES SHALL BE UNDERGROUND (IF AVAILABLE), OR CONNECTED TO THE NEAREST OVERHEAD CONNECTION POINT.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
8. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, AS REQUIRED. THE TYPES OF PUMPS AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE TOWN OF NEWBURGH BUILDING DEPARTMENT.

OWNER:
JPJR HOLDINGS, LLC
1456 ROUTE 55
LAGRANGEVILLE, NY 12540

APPLICANT:
JOHN PAGE JR.
1456 ROUTE 55
LAGRANGEVILLE, NY 12540

PROJECT ENGINEER:



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926
F: 845-440-6637

PROJECT SURVEYOR:

TEC LAND SURVEYING
PROFESSIONAL LAND SURVEYOR P.L.L.C.
176 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-445-6590
F: 845-445-6591

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HERON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THE PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE.

JOHN PAGE JR. DATE

| DRAWN BY: | CHECKED BY: | JOB NO.: | 2010:028 |
|------------|-------------|-------------------------------|----------|
| REVISIONS: | | | |
| NO. | DATE | DESCRIPTION | BY |
| 1 | 4/18/13 | TOWN COMMENTS & ZONING CHANGE | JDB |
| 2 | 8/8/13 | TOWN COMMENTS | JDB |
| 3 | 9/5/13 | TOWN COMMENTS | JDB |
| 4 | 12/4/13 | FINAL COMMENTS | JDB |

COVER SHEET
JPJR HOLDINGS, LLC

NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE & ROCKWOOD DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 75-1-36.2
SCALE: AS NOTED
MAY 1, 2011



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

SHEET: 1 OF 8

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS PREPARED BY TEC LAND SURVEYING P.C. AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED APRIL 14, 2011. UNITED STATES GEOLOGICAL SURVEY NGVD 1929 DATUM USED FOR THE SURVEY.

THOMAS E. CERCHIARA, JR., NYSLS #050732
OWNER OF THE RECORDS OF RAYMOND E. HEINSMAN PROFESSIONAL LAND SURVEYOR P.L.L.C.

SEAL

MAP REFERENCES:

1. REFERENCE IS HEREBY MADE TO A SURVEY ENTITLED "SURVEY OF PROPERTY PREPARED FOR JPJR HOLDINGS LLC," AS PREPARED BY THOMAS CERCHIARA, L.S., DATED APRIL 14, 2011. ALL EXISTING FEATURES AS SHOWN ON THE PARCEL WERE TAKEN FROM THE SURVEY MAP.
2. 2' CONTOUR TOPOGRAPHIC INFORMATION TAKEN FROM ORANGE COUNTY AERIAL TOPOGRAPHIC MAPS.

JPJR HOLDINGS SUBDIVISION

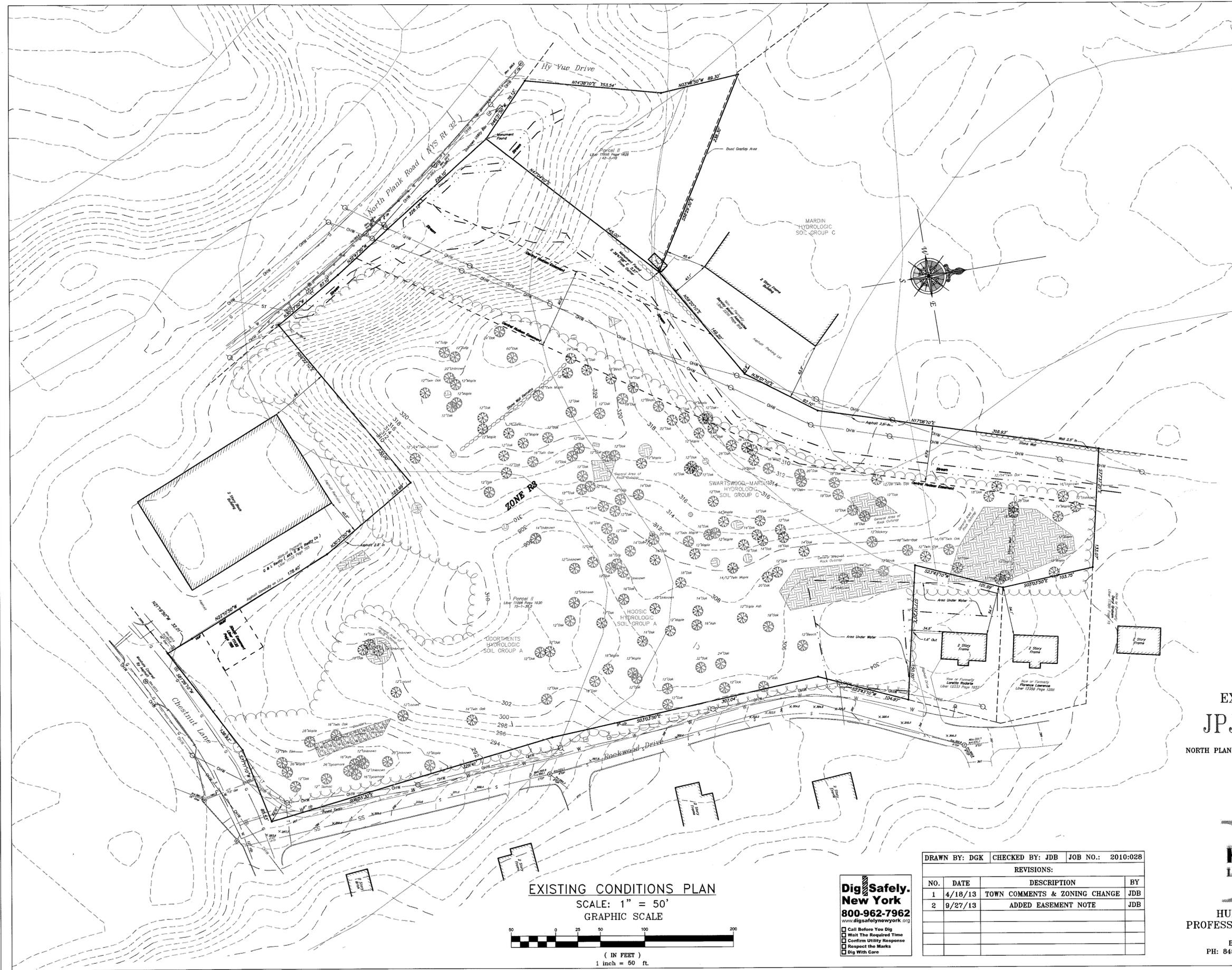
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF NEWBURGH, NEW YORK, ON THE

DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

CHAIRMAN





LEGEND

| | |
|--|-----------------------------|
| | EXISTING TREE |
| | EXISTING SEWER |
| | EXISTING UTILITY POLE |
| | EXISTING FIRE HYDRANT |
| | EXISTING GAS VALVE |
| | EXISTING DRAINAGE STRUCTURE |
| | EXISTING ROCK OUTCROP |
| | EXISTING TELEPHONE BOX |
| | EXISTING WATER VALVE |
| | EXISTING TREE LINE |
| | EXISTING GAS PIPE |
| | EXISTING DRAIN PIPE |
| | EXISTING SEWER PIPE |
| | EXISTING WATER LINE |
| | EXISTING F.M. LOT LINE |
| | EXISTING ADJOINER LINE |
| | EXISTING PROPERTY LINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | EXISTING OVERHEAD WIRE |
| | EXISTING BUILDING |

EXISTING WELL NOTES:
 1. THERE ARE NO EXISTING WELLS WITHIN 200' OF THE PROPERTY.

EASEMENT NOTE:
 1. PER FILED MAP #3658, THE CENTRAL HUDSON EASEMENT IS AT LEAST PARTIALLY A DRAINAGE EASEMENT. THE EXISTING DRAINAGE COURSE/STREAM THAT RUNS GENERALLY ALONG THE WESTERN PROPERTY LINE SHALL NOT BE ALTERED AS A RESULT OF THE PROPOSED DEVELOPMENT.

OWNER'S CONSENT:
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREOF STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THE PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE.

JOHN PAGE JR. _____ DATE _____

**EXISTING CONDITIONS PLAN
 JPJR HOLDINGS, LLC**

NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE & ROCKWOOD DRIVE
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK
 TAX ID: 75-1-36.2
 SCALE: 1" = 50'
 MAY 1, 2011

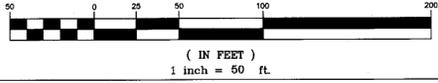


SEAL
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 174 MAIN STREET
 BEACON, NEW YORK 12508
 PH: 845-440-6928 F: 845-440-6837

SHEET: 2 OF 8

EXISTING CONDITIONS PLAN
 SCALE: 1" = 50'
 GRAPHIC SCALE



Dig Safely. New York
 800-962-7962
 www.digsafelynewyork.org
 Call Before You Dig
 Wait The Required Time
 Confirm Utility Response
 Respect the Marks
 Dig With Care

| DRAWN BY: DGK | CHECKED BY: JDB | JOB NO.: 2010-028 | |
|---------------|-----------------|-------------------------------|-----|
| REVISIONS: | | | |
| NO. | DATE | DESCRIPTION | BY |
| 1 | 4/18/13 | TOWN COMMENTS & ZONING CHANGE | JDB |
| 2 | 9/27/13 | ADDED EASEMENT NOTE | JDB |
| | | | |
| | | | |

COMMON DRIVEWAY NOTE:

FOR ALL PROPOSED COMMON DRIVEWAYS, THE DRIVEWAYS ARE TO BE CONSTRUCTED AS DEPICTED ON THESE PLANS. FOR EACH COMMON DRIVEWAY, SHOULD DEVELOPMENT OF THE LOT THAT IS CLOSER TO ROCKWOOD DRIVE OCCUR BEFORE THE LOT THAT IS FURTHER AWAY, THE DRIVEWAY MUST BE CONSTRUCTED A MINIMUM OF 25' BEYOND THE COMMON PORTION OF THE DRIVEWAY TO FACILITATE FUTURE CONSTRUCTION ACTIVITIES.

HOUSE CONSTRUCTION NOTE:

PRIOR TO CONSTRUCTION OF ANY HOUSE, A PLOT PLAN MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. ONCE APPROVED, THE FOUNDATION MUST BE STAKED BY A LICENSED LAND SURVEYOR TO ENSURE THAT ALL MINIMUM SETBACK DIMENSIONS ARE MAINTAINED DURING CONSTRUCTION.

BUILDING PERMIT NOTE:

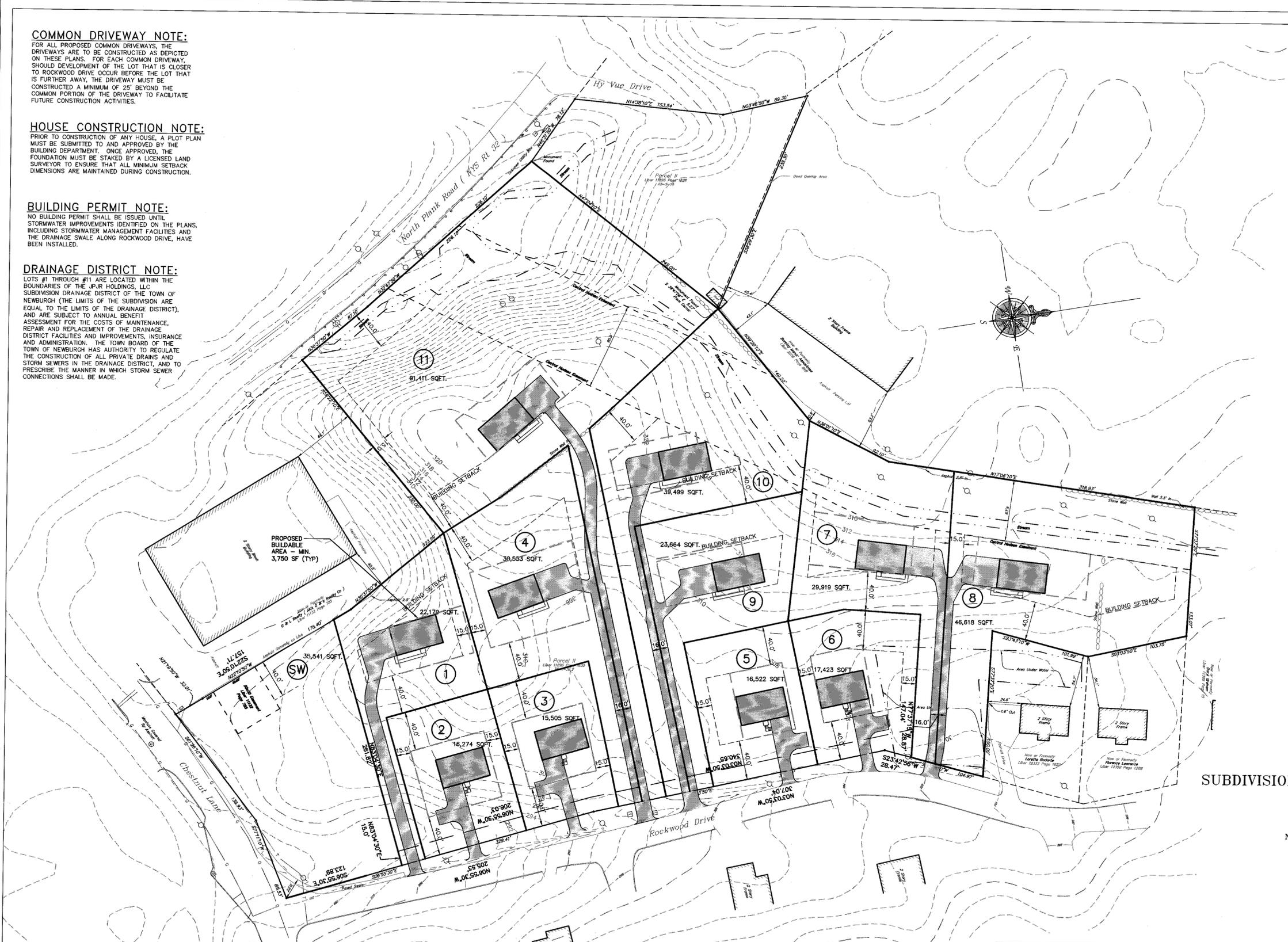
NO BUILDING PERMIT SHALL BE ISSUED UNTIL STORMWATER IMPROVEMENTS IDENTIFIED ON THE PLANS, INCLUDING STORMWATER MANAGEMENT FACILITIES AND THE DRAINAGE SWALE ALONG ROCKWOOD DRIVE, HAVE BEEN INSTALLED.

DRAINAGE DISTRICT NOTE:

LOTS #1 THROUGH #11 ARE LOCATED WITHIN THE BOUNDARIES OF THE JPR HOLDINGS, LLC SUBDIVISION DRAINAGE DISTRICT OF THE TOWN OF NEWBURGH (THE LIMITS OF THE SUBDIVISION ARE EQUAL TO THE LIMITS OF THE DRAINAGE DISTRICT), AND ARE SUBJECT TO ANNUAL BENEFIT ASSESSMENT FOR THE COSTS OF MAINTENANCE, REPAIR AND REPLACEMENT OF THE DRAINAGE DISTRICT FACILITIES AND IMPROVEMENTS, INSURANCE AND ADMINISTRATION. THE TOWN BOARD OF THE TOWN OF NEWBURGH HAS AUTHORITY TO REGULATE THE CONSTRUCTION OF ALL PRIVATE DRAINS AND STORM SEWERS IN THE DRAINAGE DISTRICT, AND TO PRESCRIBE THE MANNER IN WHICH STORM SEWER CONNECTIONS SHALL BE MADE.

LEGEND

- EXISTING TREE
- EXISTING SEWER
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING DRAINAGE STRUCTURE
- EXISTING ROCK OUTCROP
- EXISTING TELEPHONE BOX
- EXISTING WATER VALVE
- EXISTING TREE LINE
- EXISTING GAS PIPE
- EXISTING DRAIN PIPE
- EXISTING SEWER PIPE
- EXISTING WATER LINE
- EXISTING F.M. LOT LINE
- EXISTING ADJOINER LINE
- EXISTING PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING BUILDING
- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- BUILDABLE AREA
- PROPOSED EASEMENT LINE
- ZONING LINE



OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THE PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE.

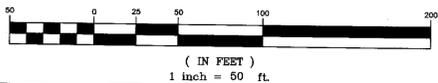
JOHN PAGE JR. _____ DATE _____

**SUBDIVISION PLAT & DRAINAGE DISTRICT BOUNDARY
JPJR HOLDINGS, LLC**

NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE & ROCKWOOD DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 75-1-36.2
SCALE: 1" = 50'
MAY 1, 2011

SUBDIVISION PLAT

SCALE: 1" = 50'
GRAPHIC SCALE



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- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-------------------------------|-----|
| 1 | 4/18/13 | TOWN COMMENTS & ZONING CHANGE | JDB |
| 2 | 8/8/13 | TOWN COMMENTS | JDB |
| 3 | 9/5/13 | TOWN COMMENTS | JDB |
| 4 | 12/4/13 | FINAL COMMENTS | JDB |



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6837



SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

BUILDING PERMIT NOTE:

NO BUILDING PERMIT SHALL BE ISSUED UNTIL STORMWATER IMPROVEMENTS IDENTIFIED ON THE PLANS, INCLUDING STORMWATER MANAGEMENT FACILITIES AND THE DRAINAGE SWALE ALONG ROCKWOOD DRIVE, HAVE BEEN INSTALLED.

DRAINAGE DISTRICT NOTE:

LOTS #1 THROUGH #11 ARE LOCATED WITHIN THE BOUNDARIES OF THE JPJR HOLDINGS, LLC SUBDIVISION DRAINAGE DISTRICT OF THE TOWN OF NEWBURGH (THE LIMITS OF THE SUBDIVISION ARE EQUAL TO THE LIMITS OF THE DRAINAGE DISTRICT), AND ARE SUBJECT TO ANNUAL BENEFIT ASSESSMENT FOR THE COSTS OF MAINTENANCE, REPAIR AND REPLACEMENT OF THE DRAINAGE DISTRICT FACILITIES AND IMPROVEMENTS. INSURANCE AND ADMINISTRATION: THE TOWN BOARD OF THE TOWN OF NEWBURGH HAS AUTHORITY TO REGULATE THE CONSTRUCTION OF ALL PRIVATE DRAINS AND STORM SEWERS IN THE DRAINAGE DISTRICT, AND TO PRESCRIBE THE MANNER IN WHICH STORM SEWER CONNECTIONS SHALL BE MADE.

LEGEND

- EXISTING TREE
- EXISTING SEWER
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING DRAINAGE STRUCTURE
- EXISTING ROCK OUTCROP
- EXISTING TELEPHONE BOX
- EXISTING WATER VALVE
- EXISTING TREE LINE
- EXISTING GAS PIPE
- EXISTING DRAIN PIPE
- EXISTING SEWER PIPE
- EXISTING WATER LINE
- EXISTING F.M. LOT LINE
- EXISTING ADJOINER LINE
- EXISTING PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING BUILDING
- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- PROPOSED EASEMENT LINE
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED ROOF LEADER PIPE
- PROPOSED FOOTING/UNDER DRAIN PIPE
- PROPOSED EASEMENT LINE
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED SILT FENCE
- PROPOSED WATER SHUT OFF
- PROPOSED SEWER CLEAN OUT
- PROPOSED YARD DRAIN WITH INLET PROTECTION
- IMPERVIOUS SURFACE
- PROPOSED RIP RAP
- PROPOSED INFILTRATION BASIN

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREOF STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THE PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE.

JOHN PAGE JR. _____ DATE _____

**GRADING AND UTILITY PLAN
JPJR HOLDINGS, LLC**

NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE & ROCKWOOD DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 75-1-36.2
SCALE: 1" = 50'
MAY 1, 2011

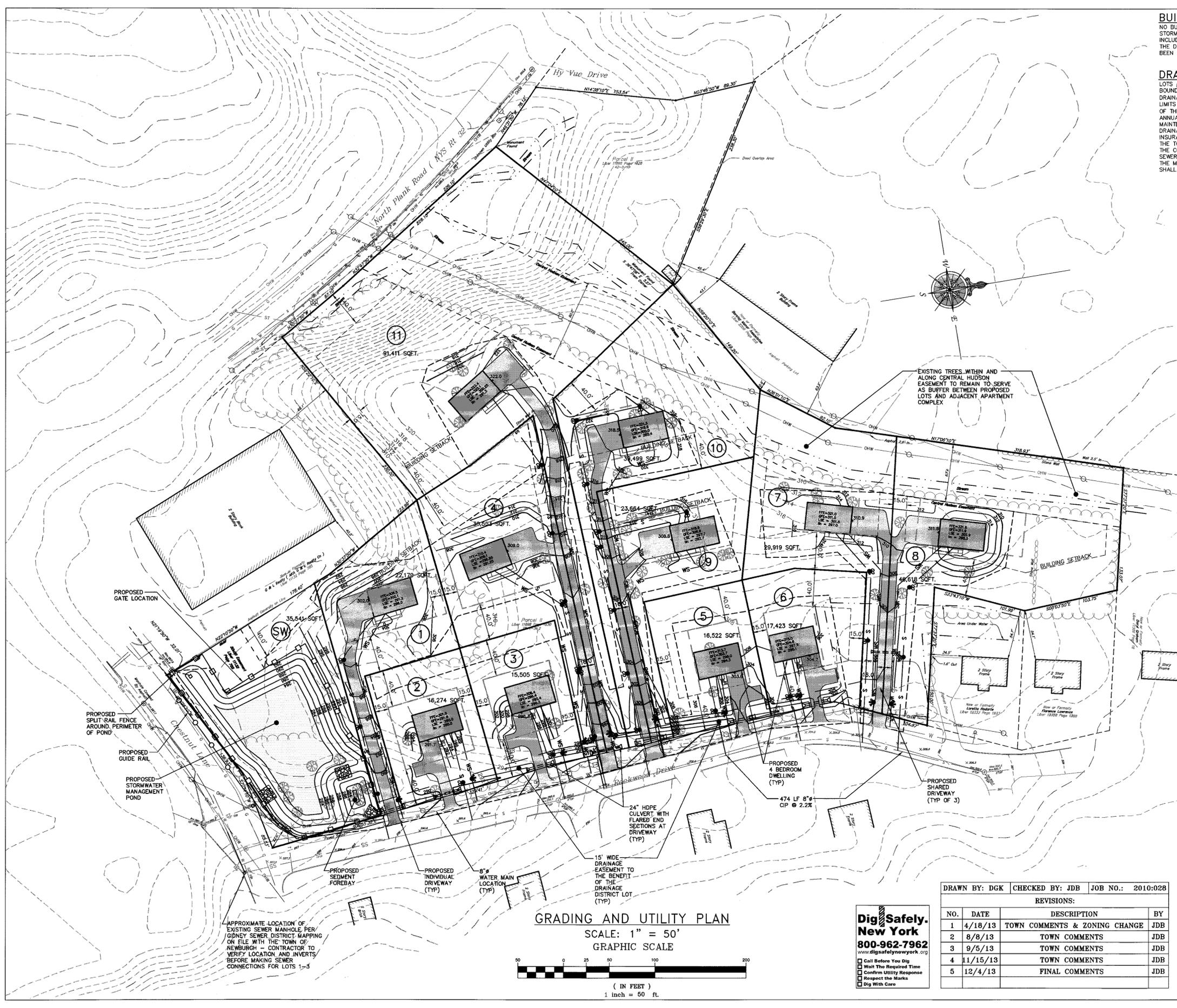


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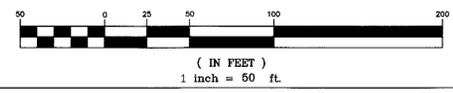
SEAL
JOHN D. HODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

SHEET: 4 OF 8



GRADING AND UTILITY PLAN

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GRAPHIC SCALE



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| 4 | 11/15/13 | TOWN COMMENTS | JDB |
| 5 | 12/4/13 | FINAL COMMENTS | JDB |

APPROXIMATE LOCATION OF EXISTING SEWER MANHOLE PER GIDNEY SEWER DISTRICT MAPING ON FILE WITH THE TOWN OF NEWBURGH - CONTRACTOR TO VERIFY LOCATION AND INVERTS BEFORE MAKING SEWER CONNECTIONS FOR LOTS 1-3

EXISTING TREES WITHIN AND ALONG CENTRAL HUDSON EASEMENT TO REMAIN TO SERVE AS BUFFER BETWEEN PROPOSED LOTS AND ADJACENT APARTMENT COMPLEX

15' WIDE DRAINAGE EASEMENT TO THE BENEFIT OF THE DRAINAGE DISTRICT LOT (TYP)

474 LF 8" CIP @ 2.2%

PROPOSED SHARED DRIVEWAY (TYP OF 3)

24" HDPE CULVERT WITH FLARED END SECTIONS AT DRIVEWAY (TYP)

PROPOSED INDIVIDUAL DRIVEWAY (TYP)

PROPOSED SEWAGE FOREBAY

PROPOSED STORMWATER MANAGEMENT POND

PROPOSED SPLIT-RAIL FENCE AROUND PERIMETER OF POND

PROPOSED GATE LOCATION

TYPICAL CONSTRUCTION PHASING FOR EACH LOT:

- IF LOTS ARE TO BE BUILT BY DIFFERENT CONTRACTORS, THEN EACH CONTRACTOR IS RESPONSIBLE FOR SECURING HIS OWN NOI FOR HIS RESPECTIVE LOT(S).
- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
- ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED HOUSE AND DRIVEWAY LOCATION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
- CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
- INSTALL SILT FENCE AS SHOWN ON THIS PLAN.
- PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- COMMENCE GRADING ACTIVITIES WITHIN LOT AS OUTLINED WITHIN THE PLAN SET. DO NOT CONSTRUCT INFILTRATION BASIN, OR BIORETENTION AREAS AT THIS TIME.
- INSTALL WATER AND SEWER SERVICE CONNECTIONS TO MAINS BENEATH ROCKWOOD DRIVE.
- FINAL GRADE LOT AND SEED AND MULCH FOR STABILIZATION.
- CONSTRUCT DRIVEWAY AND DWELLING (SEE NOTE 12).
- CONSTRUCTION OF THE SWALE ALONG ROCKWOOD DRIVE MUST BE COMPLETED BEFORE A BUILDING PERMIT IS ISSUED FOR LOT 7 OR LOT 8. THE SWALE MUST BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OF THE PROPOSED DRIVEWAYS FOR THE SUBDIVISION.
- EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED.
- REMOVE EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.

EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
- THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE TOWN MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR SELECTIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS. THE NOTICE OF INTENT (NOI) MAY NEED TO BE UPDATED AS A RESULT OF THE CHANGES.
- THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
- THE OWNER SHALL FILE A NOI WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND A NOTICE OF TERMINATION (NOT) WITH THE NYSDEC FOLLOWING CONSTRUCTION ACTIVITIES.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE CITY AND QUALIFIED PROFESSIONAL.
- UPON COMPLETION OF CONSTRUCTION, THE PARCEL OWNER(S) SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED QUARTERLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE OWNER(S) SHALL MAINTAIN A RECORD OF INSPECTION AND MAINTENANCE REPORTS AT THE SITE. REFER TO THE SWPPP FOR INSPECTION REQUIREMENTS AND FUTURE MAINTENANCE.

LEGEND

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- PROPOSED SPOT GRADE
- PROPOSED SILT FENCE
- PROPOSED PHASE LINE
- IMPERVIOUS SURFACE
- PROPOSED RIP RAP
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET
- PROPOSED STONE CHECK DAM

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THE PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE.

JOHN PAGE JR. _____ DATE _____

**EROSION AND SEDIMENT CONTROL PLAN
JPJR HOLDINGS, LLC**

NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE & ROCKWOOD DRIVE
TOWN OF NEWBURGH
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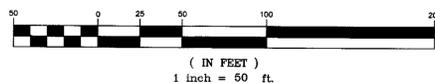
SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

SHEET: 5 OF 8



EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 50'
GRAPHIC SCALE

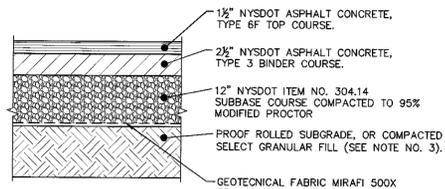


DRAWN BY: DGK CHECKED BY: JDB JOB NO.: 2010-028

| REVISIONS: | | | |
|------------|---------|-------------------------------|-----|
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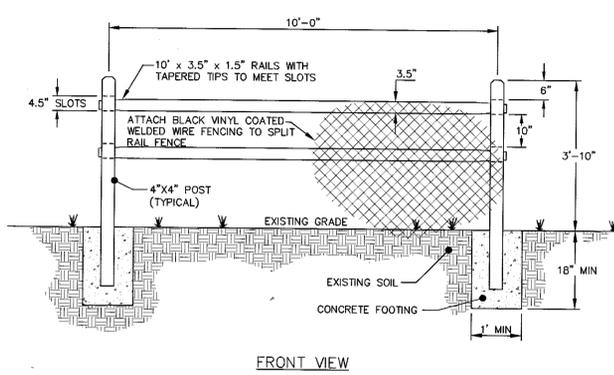
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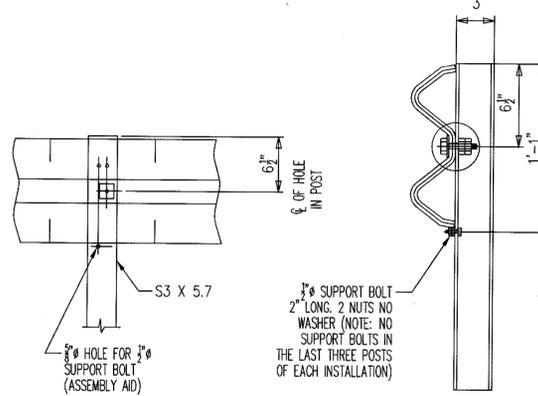
- NOTES:**
- MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002.
 - TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
 - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

DRIVEWAY SECTION DETAIL
NOT TO SCALE



- NOTES:**
- ALL WOOD FOR SPLIT RAIL FENCE TO BE PRESSURE TREATED.
 - END POST SHALL BE TERMINAL POST.
 - SPLIT RAIL FENCE TO HAVE BLACK VINYL COATED MESH FENCING ALONG IT.

SPLIT RAIL FENCE DETAIL
NOT TO SCALE



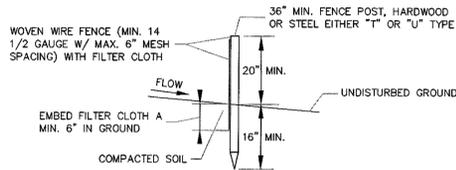
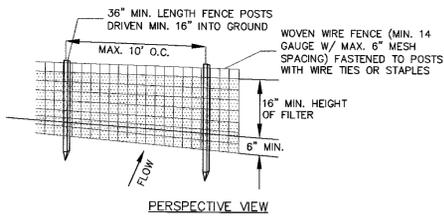
BEAM MOUNTING

NYSDOT W-BEAM GUIDE RAIL DETAIL
NOT TO SCALE

- NOTE:**
- REFER TO SECTION 606 OF NYSDOT STANDARD SPECIFICATIONS FOR ADDITIONAL INFORMATION AND DETAILS.

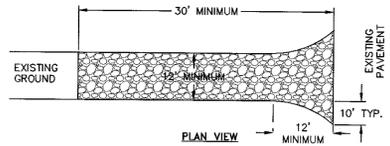
TYPICAL RUN DETAIL
NOT TO SCALE

EROSION AND SEDIMENT CONTROL DETAILS



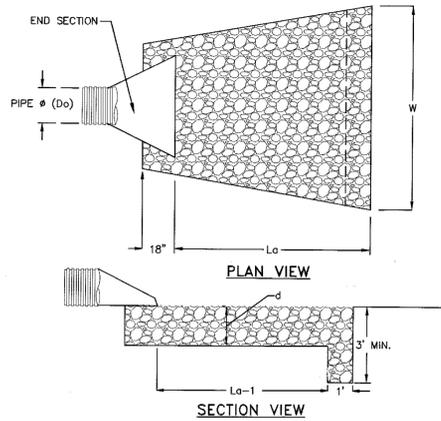
- NOTES:**
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAF 100X, STABILINKA T140N OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTEX, ENVROFENCE OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE FILTER CLOTH.

SILT FENCE DETAIL
NOT TO SCALE



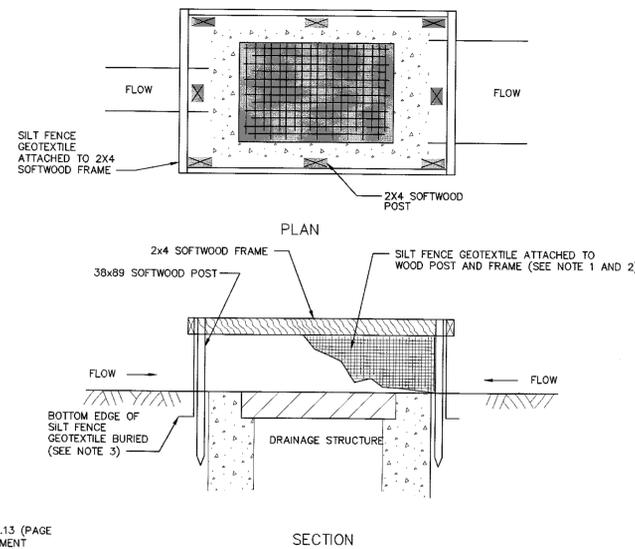
- NOTES:**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 30 FEET FOR A SINGLE RESIDENCE LOT.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



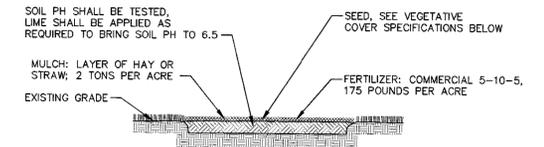
- NOTES:**
- SIZING INFORMATION TAKEN FROM FIGURE 5B.12 (PAGE 5B.25) AND/OR FIGURE 5B.13 (PAGE 5B.26) OF THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", 2005 EDITION.
 - RIPRAP SHALL BE COMPOSED OF A WELL-GRADED MIXTURE OF STONE SIZE SO THAT 50% OF THE PIECES SHALL BE LARGER, BY WEIGHT, THAN THE SPECIFIED #50. THE LARGEST STONE SIZE SHALL BE 1.5 TIMES #50.
 - THE MINIMUM THICKNESS OF THE RIPRAP LAYER SHALL BE 1.5 TIMES THE MAXIMUM STONE DIAMETER FOR #50 OF 15 INCHES OR LESS; AND 1.2 TIMES THE MAXIMUM STONE SIZE FOR #50 GREATER THAN 15 INCHES.
 - A LAYER OF FILTER FABRIC (THICKNESS 20-60 MILS, GRAB STRENGTH 90-120 LBS. SHALL CONFORM TO ASTM D-1777 AND ASTM D-1682) SHALL BE PLACED BETWEEN THE RIPRAP AND THE UNDERLYING SOIL SURFACE. FILTER FABRIC SHALL HAVE A MINIMUM 1' OVERLAP AT ALL SEAMS.

ROCK OUTLET PROTECTION DETAIL
NOT TO SCALE



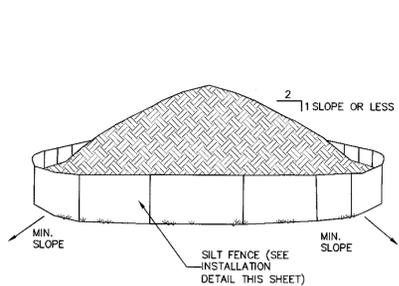
- NOTES:**
- SILT FENCE SHALL BE ONE CONTINUOUS PIECE TO ELIMINATE SEAMS.
 - SPACE SILT FENCE POSTS EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET. DRIVE POSTS A MINIMUM OF 16" INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
 - SILT FENCE GEOTEXTILE SHALL BE EMBEDDED A MINIMUM OF 6" AND BACKFILLED. GEOTEXTILE SHALL BE SECURELY FASTENED TO POSTS AND FRAME.
 - SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.

TEMPORARY CATCH BASIN INLET PROTECTION DETAIL
NOT TO SCALE



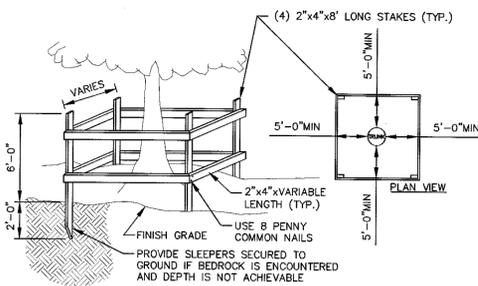
- NOTES:**
- TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.
 - SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:
65% KENTUCKY BLUE GRASS BLEND 114 POUNDS PER ACRE
20% PERENNIAL RYEGRASS 35 POUNDS PER ACRE
15% FINE FESCUE 26 POUNDS PER ACRE
20% FINE FESCUE 175 POUNDS PER ACRE
 - SEED MIXTURE FOR USE IN SHADY AREAS:
80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS 138 POUNDS PER ACRE
20% FINE FESCUE 37 POUNDS PER ACRE
175 POUNDS PER ACRE
 - SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.
 - TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20% TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

TOPSOIL, SEED AND MULCH DETAIL
NOT TO SCALE



- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE



- NOTES:**
- TREES TO REMAIN NOTED ON EXISTING CONDITIONS PLAN.
 - NOT ALL TREES TO REMAIN REQUIRE PROTECTION. TREE PROTECTION TO BE UTILIZED ON TREES WHERE CONSTRUCTION TRAFFIC WOULD COMPACT THE ROOT ZONE OF THE TREE.

TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HERON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HERON AND TO THE FILING OF THE PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE.

JOHN PAGE JR. DATE

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|----------------|-----|
| 1 | 12/4/13 | FINAL COMMENTS | JDB |
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SITE AND EROSION & SEDIMENT CONTROL DETAILS
JPJR HOLDINGS, LLC

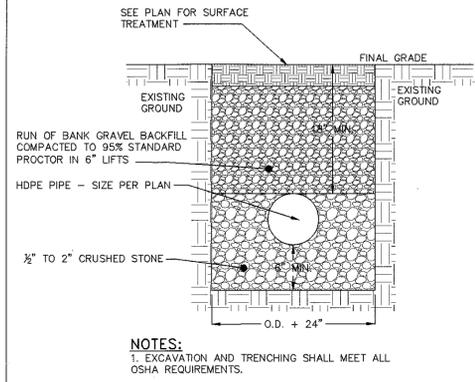
NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE & ROCKWOOD DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 75-1-36.2
SCALE: AS NOTED
MAY 1, 2011



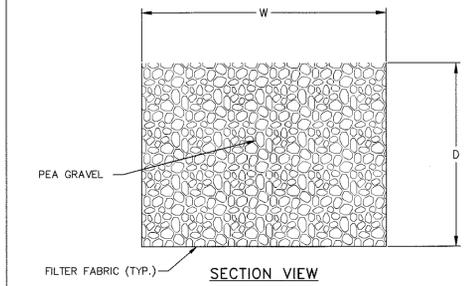
HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

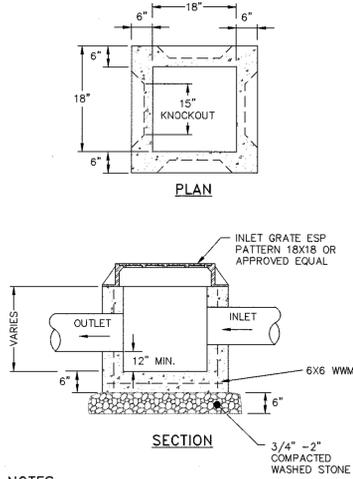


STORMWATER PIPE IN TRENCH DETAIL
NOT TO SCALE



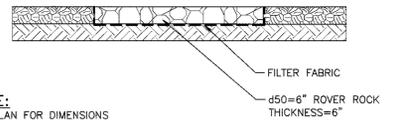
- NOTES:
- SEE PLANS FOR LENGTH AND TABLE BELOW FOR REQUIRED WIDTH AND DEPTH.
 - APPROXIMATELY 6" OF THE TOP OF THE STONE DIAPHRAGM CAN BE DECORATIVE STONE.

PEA-GRAVEL DIAPHRAGM DETAIL
NOT TO SCALE



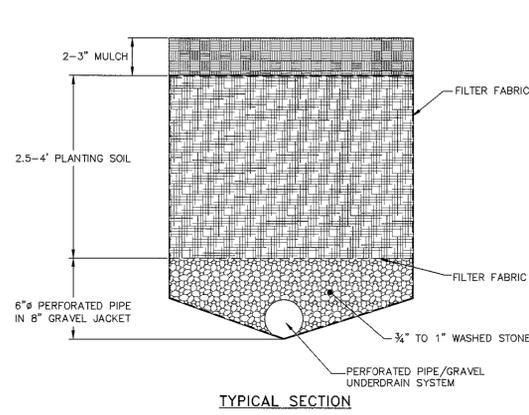
- NOTES:
- YARD INLET BASINS SHALL BE PRE CAST REINFORCED CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND SHALL BE IN CONFORMANCE WITH ASTM 478-68. WALLS AND BASE SHALL BE ONE PIECE CONSTRUCTION. YARD INLET BASIN SHOWN BY EXPANDED SUPPLY PRODUCTS (ESP), 3330 ROUTE 9, COLD SPRING, NY (845) 285-3771.
 - BACKFILL USING SELECT MATERIAL, COMPACTED IN 6" LIFTS.
 - SUMP SHALL BE 12".
 - FRAMES AND GRATES SHALL BE SET IN A FULL BED OF MORTAR.

PRE-CAST CONCRETE YARD INLET DETAIL
NOT TO SCALE



- NOTE:
SEE PLAN FOR DIMENSIONS

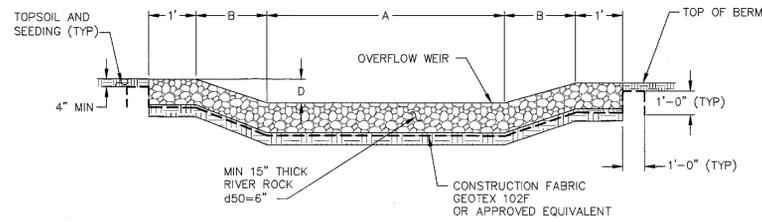
ROOF LEADER ENERGY DISSIPATER DETAIL
NOT TO SCALE



TYPICAL BIORETENTION/RAIN GARDEN DETAIL
NOT TO SCALE

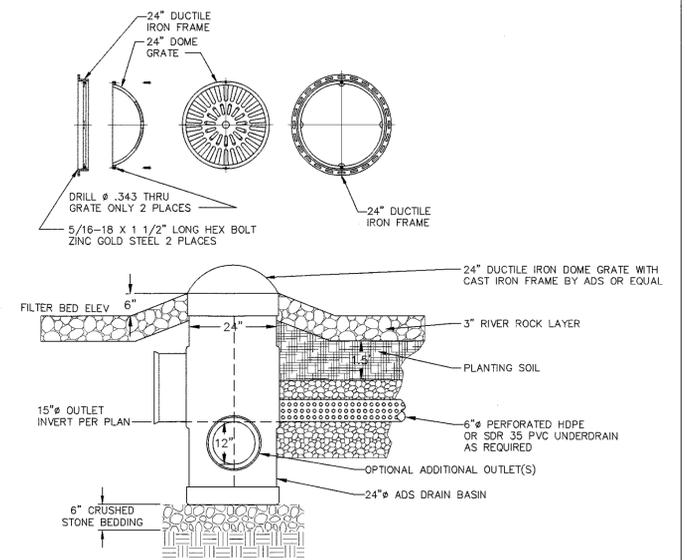
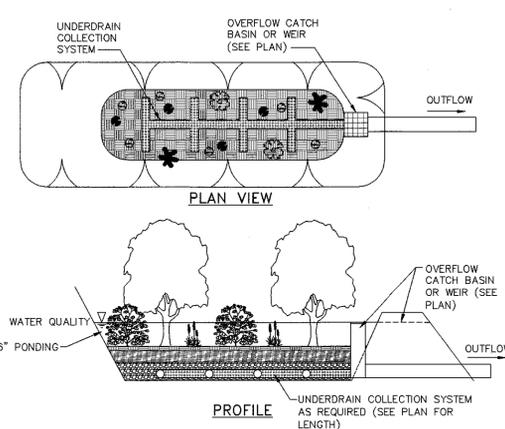
- NOTES:
- NO RUNOFF IS TO ENTER THE BIORETENTION AREA UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
 - LANDSCAPING TO BE PROVIDED BY THE PROJECT LANDSCAPE ARCHITECT AND AS FOLLOWS:
 - NATIVE PLANT SPECIES SHOULD BE SPECIFIED BASED ON SPECIFIED ZONE OF HYDRIC TOLERANCE
 - SELECTIONS OF TREES WITH AN UNDERSTORY OF SHRUBS AND HERBACEOUS MATERIALS SHOULD BE PROVIDED.
 - WOODY VEGETATION SHOULD NOT BE SPECIFIED AT INFLOW LOCATIONS.
 - TREES SHOULD BE PLANTED PRIMARILY ALONG THE PERIMETER OF THE FACILITY.
 - A TREE DENSITY OF 1 TREE PER 100 SQUARE FEET IS RECOMMENDED, AND SHRUBS/HERBACEOUS VEGETATION SHOULD GENERALLY BE PLANTED AT HIGHER DENSITIES (FIVE FEET ON CENTER AND 2.5 FEET ON CENTER, RESPECTIVELY).
 - SEE PLAN FOR PRETREATMENT.
 - UNDERDRAINS ARE REQUIRED IN SOLS WITH HYDROLOGIC SOIL GROUP C & D. HYDROLOGIC SOIL GROUPS A & B DO NOT REQUIRE UNDERDRAINS.

TYPICAL BIORETENTION/RAIN GARDEN DETAIL
NOT TO SCALE

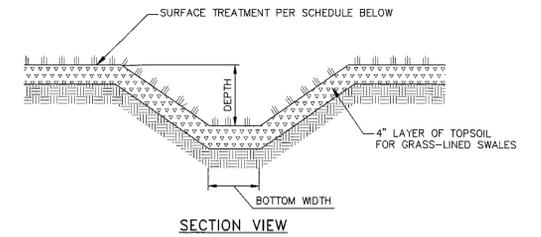


- NOTES:
- RIP RAP OUTLET PROTECTION SHALL BE 15" OF LIGHT STONE FILLING. STONE FILLING SIZE 450=6". RIVER ROCK CAN BE SUBSTITUTED FOR ANGULAR STONE.

EMERGENCY WEIR OVERFLOW DETAIL
NOT TO SCALE



ADS DRAIN BASIN OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE



- NOTES:
- MINIMUM 1' DEPTH AND 1' WIDTH FOR ALL SWALES.
 - SWALE SHALL BE SEEDDED WITH FAST GERMINATING RYE 15 TO 25 POUNDS PER 1,000 SQUARE FEET AND MULCHED.

SWALE DETAIL
NOT TO SCALE

STORMWATER DETAILS
JPJR HOLDINGS, LLC

NORTH PLANK ROAD (NYS RTE 52), CHESTNUT LANE & ROCKWOOD DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 75-1-36.2
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JOHN PAGE JR. DATE

| DRAWN BY: DGK | CHECKED BY: JDB | JOB NO.: 2010-028 | |
|---------------|-----------------|-------------------------------|-----|
| REVISIONS: | | | |
| NO. | DATE | DESCRIPTION | BY |
| 1 | 4/18/13 | TOWN COMMENTS & ZONING CHANGE | JDB |
| 2 | 11/15/13 | FINAL COMMENTS | JDB |
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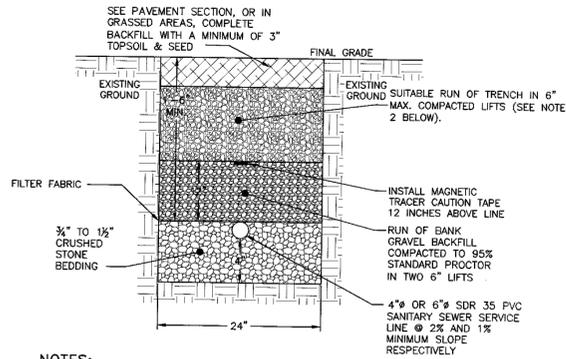


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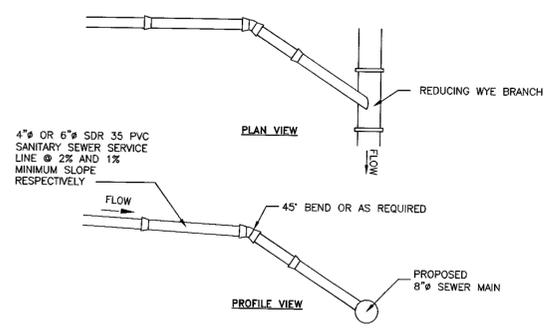
SEAL
JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOEHLER, P.E.
NYS LICENSE NO. 082716

SANITARY SEWER DETAILS



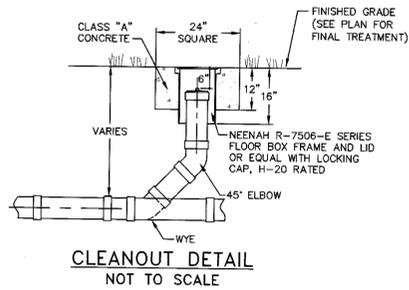
- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

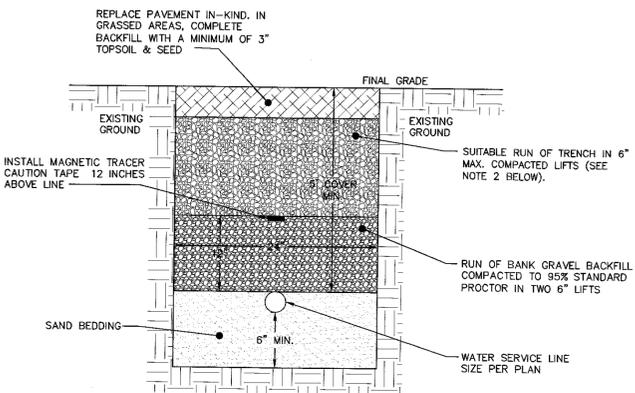


CLEANOUT DETAIL
NOT TO SCALE

TOWN SEWER SYSTEM NOTES

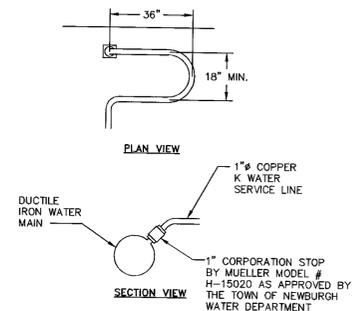
1. CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
2. ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
3. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.

WATER DETAILS



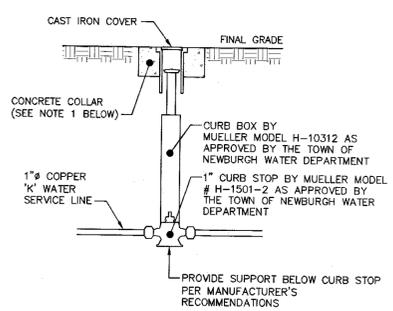
- NOTES:**
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
 2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
 3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.

WATER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



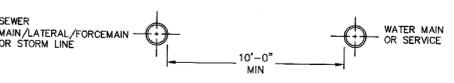
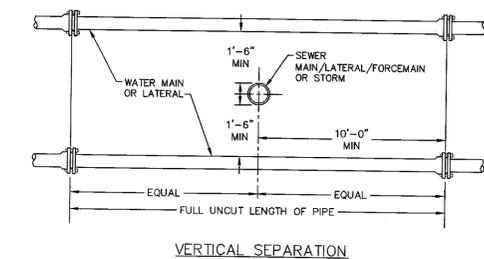
- NOTES:**
1. A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
 2. CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
 3. WATER SERVICE LINE TO HAVE A 'GOOSENECK' NEAR CORPORATION STOP.
 4. CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.

WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



- NOTES:**
1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.
 2. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.
 3. AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.

WATER SHUT-OFF VALVE DETAIL
NOT TO SCALE



- NOTE:**
1. NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH. CONCRETE ENCASEMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

WATER LINE SEPARATION DETAIL
NOT TO SCALE

TOWN WATER SYSTEM NOTES

1. CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
2. ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATEST REVISION FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
3. THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
4. ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-94 OR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
5. ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
6. TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL TAPPING VALVE SHALL BE RESILIENT WEDGE GATE VALVE CONSTRUCTION CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
7. ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020 FOR 1/2 AND 1 INCH SIZES, AND MUELLER H-15000 OR B-25000 FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2 FOR 1/2 AND 1 INCH SIZES, AND MUELLER B-25204 FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10312 FOR 1/2 AND 1 INCH SIZES, AND MUELLER H-10310 FOR 1-1/2 AND 2 INCH SIZES.
8. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
9. THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
10. THRUST RESTRAINT SHALL BE PROVIDED BY THE RODS AND RETAINER GLANDS. THE LENGTH OF RESTRAINED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DIPPA STANDARDS.
11. PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
12. DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 - YEAR OF LATEST REVISION STANDARDS.
13. ALL WATER MAINS SHALL BE 8", CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.

WATER AND SEWER DETAILS
JPJR HOLDINGS, LLC

NORTH PLANK ROAD (NYS RTE 62), CHESTNUT LANE & ROCKWOOD DRIVE
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK
TAX ID: 75-1-36.2
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JOHN PAGE JR. DATE

| DRAWN BY: DGK | CHECKED BY: JDB | JOB NO.: 2010-028 | |
|---------------|-----------------|-------------------|----|
| REVISIONS: | | | |
| NO. | DATE | DESCRIPTION | BY |
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