

### TOWN OF NEWBURGH **PLANNING BOARD TECHNICAL REVIEW COMMENTS**

PROJECT NAME: **RT ORCHARDS SUBDIVISION** PROJECT NO.: 22-28 **PROJECT LOCATION:** SECTION 7, BLOCK 1, LOT 26.1/N. OF COLANDREA RD & E. OF FROZEN RIDGE RD **REVIEW DATE: 22 NOVEMBER 2022 MEETING DATE: 1 DECEMBER 2022** PROJECT REPRESENTATIVE: **COLLIERS ENGINEERING & DESIGN CT, PC** 

- 1. The status of Colandrea Road as a private roadway should be addressed. Any extensions of private roadways require construction of the private roadway to current Town of Newburgh Private Road Specifications.
- 2. Information pertaining to the existing farm road, requirements for access through the existing farm road should be provided.
- 3. The Septic Note #11 should be modified that an As Built Map and certification must be submitted to the Town of Newburgh Building Department prior to issuance of a Certificate of Occupancy.
- 4. Orange County Planning submission is required as project is located within an AG District.
- 5. Notes pertaining to abandonment of an existing well should be identified in compliance with applicable standards.
- 6. Grading and silt fence extend off the site in the vicinity of the existing farm road.
- 7. The applicant's representative are requested to address whether the subdivision was previously utilized as an orchard. Health Department requirements for all former orchard use would apply.

Respectfully submitted,

MHE Engineering, D.P.C.

Pater & Alenes

Patrick J. Hines Principal PJH/kbw

### **NEW YORK OFFICE**

845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE 33 Airport Center Drive, Suite 202, New Windsor, NY 12553

111 Wheatfield Drive, Suite 1, Milford, PA 18337 570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

### TOWN OF NEWBURGH PLANNING BOARD

APPLICATION PACKAGE for SUBDIVISIONS, SITE PLANS, LOT LINE CHANGES And SPECIAL EXCEPTION USE PERMITS

**Procedures and Requirements** 

July 2013

TOWN OF NEWBURGH PLANNING BOARD 308 GARDNERTOWN ROAD NEWBURGH, NEW YORK 12550 (845) 564-7804 fax: (845) 564-7802 planningboard@hvc.rr.com

### TO WHOM IT MAY CONCERN:

This package of information and forms is provided at assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of FOURTEEN (14) sets of FOLDED PLANS for a major or minor subdivision or a site plan must be submitted with a COMPLETED application, and FIFTEEN (15) sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a LONG FORM OR FULL EAF for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a NARRATIVE of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions). Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman Town of Newburgh Planning Board

### TOWN OF NEWBURGH APPLICATION FOR SUBDIVISION/SITE PLAN REVIEW

### RETURN TO: Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, New York 12550

### DATE RECEIVED: \_\_\_\_\_ TOWN FILE NO:\_\_\_\_\_ (Application fee returnable with this application)

### 1. Title of Subdivision/Site Plan (Project name): RT Orchards Subdivision

### 2. Owner of Lands to be reviewed:

Name	Richard Lawrence
Address	5 N End Road
	Newburgh, NY 12550
Phone	(914) 805-0396

### **3.** Applicant Information (If different than owner):

Name	Giovanna Ward and Tradelle Ward		
Address	7 Vineyard Lane Apt 118		
	Newburgh, NY 12550		
Phone	(845) 742-6274		
Representative Colliers Engineering & Design CT, PC			
Phone	(845) 564-4495		
Fax	NA		
Email	cory.robinson@collierseng.com		

### 4. Subdivision/Site Plan prepared by:

Name	Colliers Engineering & Design CT, PC
Address	555 Hudson Valley Avenue, Suite 101
	New Windsor, NY 12553
Phone/Fax	(845) 564-4495

### 5. Location of lands to be reviewed:

Section 7, Block 1, Lot 26.1, Town of Newburgh, North of Colandrea Rd and ±2100' East of Frozen Ridge Rd.

6.	Zone	AR	Fire District	MiddleHope
	Acreage	80.28	School District	Marlboro Central

7. Tax Map: Section \_\_\_\_7 Block \_\_\_1 Lot \_\_\_\_26.1

	Number of existi	ing lots <u>1</u> Number of proposed lots <u>2</u>
	Lot line change	Minor subdivision to create a new 2 acre parcel from a parent 80.28 acre parcel
Site plan review Develop new 2-acre lot with a single family 4-bedroom residential dwelling		
	Clearing and gra	ading <u>Necessary grading to accommodate dwelling and driveway</u>
	Other	Project to have on-site SSDS and reuse an existing on-site well

# PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

- **10.** The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature _	Cay D. Rehm	Title Civil Engineer
Date: _	11/14/22	

**<u>NOTE:</u>** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

### TOWN OF NEWBURGH PLANNING BOARD

RT Orchards Subdivision

### **PROJECT NAME**

### CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

- 1. X Environmental Assessment Form As Required
- 2.\_\_X Proxy Statement
- 3.<u>X</u> Application Fees
- 4. X Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

- 1. X Name and address of applicant
- 2. X Name and address of owner (if different from applicant)
- 3. X Subdivision or Site Plan and Location
- 4. <u>X</u> Tax Map Data (Section-Block-Lot)
- 5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
- 6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
- 7.<u>N/A</u> Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
- 8. X Date of plan preparation and/or plan revisions
- 9. X Scale the plan is drawn to (Max 1" = 100')
- **10.** X North Arrow pointing generally up

- 11. X Surveyor, s Certification
- 12.<u>X</u> Surveyor's seal and signature
- 13.<u>X</u> Name of adjoining owners
- 14. X \_\_\_\_\_\_ Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements (None within 100' of proposed development)
- 15.<u>N/A</u> Flood plain boundaries
- 16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
- 17. X Metes and bounds of all lots
- 18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
- **19.** X Show existing or proposed easements (note restrictions)
- **20.** X Right-of-way width and Rights of Access and Utility Placement
- 21. <u>N/A</u> Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
- 22. X Lot area (in sq. ft. for each lot less than 2 acres)
- 23. X Number of lots including residual lot
- 24. X Show any existing waterways
- 25. <u>N/A</u> A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
- 26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
- 27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
- 28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
- **29.** X Show topographical data with 2 or 5 ft. contours on initial submission

- 30. <u>X</u> Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31.<u>N/A</u> If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- **32.** X Number of acres to be cleared or timber harvested
- 33. X Estimated or known cubic yards of material to be excavated and removed from the site
- 34. X Estimated or known cubic yards of fill required
- 35. X The amount of grading expected or known to be required to bring the site to readiness
- 36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- 37. <u>N/A</u> Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- 38.\_\_\_\_List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

Colliers Engineering & Design CT, PC **Bv:** (Cory D. Robinson, P.E.)

**Licensed Professional** 

Date: \_\_\_\_\_11/14/22

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

**Prepared** (insert date):

### STATEMENT TO APPLICANTS

### **RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW**

The Town of Newburgh Clearing and Grading Control Law requires a separate <u>permit</u> for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may by exempt from the permit application, public hearing, fee and bonding requirements of the law <u>provided</u> the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you many be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

### FEE LAW SUMMARY

### PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

### FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Giovanna Ward
APPLICANT'S NAME (printed)

**APPLICANTS SIGNATURE** 

10/2022

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

### PROXY

(OWNER), DEPOSES AND SAYS	THAT HE/SHE			
RESIDES AT 5 N End Rd, Newburgh				
IN THE COUNTY OFOrange				
AND STATE OF New York				
AND THAT HE/SHE IS THE OWNER IN FEE OF	Block 1, Lot 26.1			
WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING				
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH				
PLANNING BOARD AND Colliers Engineering & Design CT, PC	IS AUTHORIZED			
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.				

DATED: \_///10/22\_

Giovanna Ward

Tradelle Ward

Rhad	Gamene
- Challe	SIGNATURE

UWNERS SIGNATURE

Richard Lawrence **OWNERS NAME** (printed)

NAMES OF ADDITIONAL REPRESENTATIVES

WITNESS' SIGNATURE

WITNESS' NAME (printed)

### PLANNING BOARD DISCLAIMER STATEMENT TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

11 10 202

Giovanna Ward APPLICANT'S NAME (printed)

**APPLICANT'S SIGNATURE** 

### DISCLOSURE ADDENDUM STATEMENT TO APPLICATION, PETITION AND REQUEST

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

\_\_\_\_\_ NONE

\_\_\_\_ NAME, ADDRESS, RELATIONSHIP OR INTEREST (financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

\_\_\_\_\_X

TOWN BOARD
PLANNING BOARD
ZONING BOARD OF APPEALS
ZONING ENFORCEMENT OFFICER
BUILDING INSPECTOR
OTHER

Giovanna Ward **INDIVIDUAL APPLICANT** 

CORPORATE OR PARTNERSHIP APPLICANT

BY: \_\_\_\_

(Pres.) (Partner) (Vice-Pres.) (Sec.) (Treas.)

### **AGRICULTURAL NOTE**

# (Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (B) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

### AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant:	Giovanna Ward	

7 Vineyard Lane Apt 118, Newburgh, NY 12550

Description of the proposed project: Project proposes a minor subdivision to create a new 2.0 acre parcel

from a parent 80.28 acre parcel and development of a single family residential dwelling, along with the construction of an on-site septic system. Project to reuse existing well.

Location of the proposed project:

Section 7, Block 1, Lot 26.1, Town of Newburgh, North of Colandrea Rd and ±2100' East of Frozen Ridge Rd.

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: <u>See attached</u>.

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

**APPLICANT'S SIGNATURE** 

11/10/2022

DATE

Owners of land within the Orange County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property:

Chadwick J Shao & Jeong Eun Um 373 Candlestick Hill Rd Newburgh NY 12550 SBL 6-1-57

Raymond Bianco & Marjorie Bianco 37 Colandrea Rd Newburgh NY 12550 SBL 6-1-66.21

Lawrence Realty Co Inc 39 Colandrea Rd Newburgh NY 12550 SBL 6-1-66.32

Corey Rheal & Marci Rheal 345 Candlestick Hill Rd Newburgh NY 12550 SBL 7-1-39.3

Genie Industrial Supply Inc. 117 South Clark St Newburgh NY 12550 SBL 7-1-39.4

Salvatore Prestigiacomo & Danielle Prestigiacomo 1263 Allen Dr Seaford NY 11783 SBL 7-1-49.2

Rita Alexander & Steven Alexander 7 Manzo Rd Newburgh NY 12550 SBL 7-1-27

Marion E Sgro Asset Protection Trust 103 Lattintown Rd Newburgh NY 12550 SBL 7-1-29

Edward J Mills, Jr & John A Mills 110 Merritt La Newburgh NY 12550 SBL 7-1-28.1

Barbara M Alfano 103 Merritt Ln Newburgh NY 12550 SBL 7-1-28.2 Teresa V Roberts & Glenroy Barrett 111 Merritt Ln Newburgh NY 12550 SBL 7-1-26.2

Kathy A Cosman Qualified 132 Colandrea Rd Ext Newburgh NY 12550 SBL 7-1-25.22

Amanda Lee Cosman 122 Colandrea Rd Ext Newburgh NY 12550 SBL 7-1-25.1

### **ARCHITECTURAL REVIEW**

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

### ARCHITECTURAL REVIEW FORM TOWN OF NEWBURGH PLANNING BOARD

DATE:
NAME OF PROJECT:
The applicant is to submit in writing the following items prior to signing of the site
plans.
EXTERIOR FINISH (skin of the building):
Type (steel, wood, block, split block, etc.)
COLOR OF THE EXTERIOR OF BUILDING
ACCENT TRIM:
Location:
Color:
Type (material):
PARAPET (all roof top mechanicals are to be screened on all four sides):
DOOF
ROOF:
Type (gabled, flat, etc.):
Material (shingles, metal, tar & sand, etc.):
Color:

/

	Color (also trim if different):
	Type:
DOOR	S:
	Color:
	Type (if different than standard door entrée):
SIGN:	
	Color:
	Material:
	Square footage of signage of site:
Please p	orint name and title (owner, agent, builder, superintendent of job, etc.)
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### LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification. 555 Hudson Valley Avenue Suite 101 New Windsor, NY 12553 Main: 877 627 3772



### NARRATIVE SUMMARY November 11, 2022 RT ORCHARDS SUBDIVISON TAX LOT 7-1-26.1 TOWN OF NEWBURGH, ORANGE COUNTY, NY CED PROJECT NO. 040007C

Colliers Engineering & Design CT, P.C. has developed the attached Preliminary Subdivision Plans for the above referenced tax lot.

The existing parcel is approximately 80.28 acres in size with frontage on Colandrea Road along its southern boundary. The site is located within the AR (Agricultural) Zoning District. Single-family dwellings, among others, are a permitted use within the district. The parcel is not located within the one-hundred year flood plain, nor any mapped NYSDEC wetlands. The ACOE National Wetlands Inventory shows several farm ponds near the project site.

The subdivision plan proposes a two (2) lot subdivision with the existing agricultural land remaining on the parent lot, proposed parcel A, and a proposed 4 bedroom single family dwelling on the new lot, proposed parcel B, which will be accessible through a new driveway to Colandrea Road ROW. Parcel A is 78.28 acres which exceeds the minimum required lot area in the AR district. Parcel B is 2.0 acres in size which exceeds the minimum required for single family dwellings and parcel B conforms to the zoning setback requirements for the AR zoning district. The proposed dwelling will be served by a new private on-site septic system and an existing on-site well will be connected to and reused to provide potable water.

At this time we are requesting to be put on the next available Planning Board agenda.

R:\Projects\2004\040007C\Correspondence\OUT\221111 Narrative Summary.docx

### Short Environmental Assessment Form Part 1 - Project Information

### **Instructions for Completing**

**Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:	Telephone:			
	E-Mail:			
Address:				
City/PO:	State:	Zip Code:		
1. Does the proposed action only involve the legislative adoption of a plan administrative rule, or regulation?	, local law, ordinance,	NO YES		
If Yes, attach a narrative description of the intent of the proposed action and may be affected in the municipality and proceed to Part 2. If no, continue to	the environmental resources the question 2.	nat		
2. Does the proposed action require a permit, approval or funding from any other government Agency?       NO       YE         If Yes, list agency(s) name and permit or approval:       Image: Comparison of the proposed set				
3. a. Total acreage of the site of the proposed action?				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. Urban Rural (non-agriculture) Industrial Comm	mercial Residential (subu	rban)		
☐ Forest Agriculture Aquatic Other □ Parkland	r(Specify):			

5. Is the proposed action, N	0	YES	N/A
a. A permitted use under the zoning regulations?			
b. Consistent with the adopted comprehensive plan?			
6 Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
o. Is the proposed action consistent with the predominant character of the existing built of natural fandscape.			
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES
If Yes, identify:			
8 a Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
h Are public transportation services quailable at or part the site of the proposed action?			
b. Are public transportation services available at or near the site of the proposed action:			
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If the proposed action will exceed requirements, describe design features and technologies:			
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
If No, describe method for providing potable water:			
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment:			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district		NO	YES
which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?			
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal state or local agency?		NO	YES
Online mapping identifies farm ponds as ACOE wetlands on the parent parcel $\pm 300'$ north from the area of proposed developm	ent.		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:			

14. Identify the typical hebitat types that occur on or are likely to be found on the project site. Check all that apply		
14. Identify the typical habitat types that occur on, of are fikely to be found on the project site. Check an that apply.		
□Shoreline □ Forest Agricultural/grasslands Early mid-successional		
Wetland 🗆 Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or	NO	YES
Federal government as threatened or endangered?		
16. Is the project site located in the 100-year flood plan?	NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,		
a. Will storm water discharges flow to adjacent properties?		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?		
18. Does the proposed action include construction or other activities that would result in the impoundment of water	NO	YES
or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste	NO	YES
management facility?		
20 Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or	NO	YES
completed) for hazardous waste?	110	TLD
If Yes, describe:		
	an or	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BE MY KNOWLEDGE	STOF	
Applicant/sponsor/name: Date:		
Car D. Reference		
Signature:Title:Title:		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



### GENERAL NOTES

### I. DO NOT SCALE DIMENSIONS.

2. THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 BY HIM. RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS). SEE "BUILDING

ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION. 3. ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE 2020 RCNYS AND THE 2020 ECCCNYS.

4. THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.

5. ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.

6. THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.

1. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS 16. BUILDER SHALL FILE SEPARATE PLANS FOR WASTE WATER DISPOSAL SHALL GOVERN.

8. STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO YARD DIMENSIONS, ELEVATIONS AT DRIVEWAY, GARAGE AND FINISHED FIRST MEET MINIMUM REQUIREMENTS OF THE 2020 RCNYS.

9. CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN 16" O.C. EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.

IO. ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, 19. ALL INTERIOR WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED. TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED 20. PER 2020 RCNYS: STAIR TREAD MINIMUM WIDTH SHALL BE 9", PLUS 1-1/8" NOSING

II. BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID ... A. IF ALTERED

B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOS MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOT

12. ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CO THE ARCHITECT/OWNER.

13. ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLI SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.

14. IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOO FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.

15. THE BUILDER MUST VERIFY THAT THIS DWELLING IS NOT LOCATED IN FLO DEPICTED IN THE LATEST TOWN F.I.R.M. MAP.

DOMESTIC WATER SUPPLY.

17. BUILDER SHALL FILE SEPARATELY PLOT PLAN INDICATED FRONT, SIDE /

18. ALL EXTERIOR WALLS AND COMMON TO UNHEATED SPACES SHALL BE

	FOR A CLOSED STAIRWAY. MAXIMUM RISER HEIGHT SHALL BE 8-1/4". TOLERANCE ON TREAD AND RISER SHALL NOT EXCEED 1/8". MINIMUM HEADROOM OVER ANY PORTION OF THE FIXED STAIRWAY SHALL NOT BE LESS THAT 6'-8". ALL STAIRS SHALL HAVE	IMMEDIATELY OUTSIDE OF T DETECTOR SHALL ALSO BE REQUIRED IN ATTACHED GA
OSE SEAL	RAISED FLOOR AREAS GREATER THAN 30" ABOVE FLOOR SHALL HAVE GUARD RAILS NOT LESS THAN 36" HIGH GUARDS SHALL NOT ALLOW A SPHERE GREATER THAN 4"@	30. ALL PIPE PENETRATIC
DTES	PASS THRU INTERMEDIATE RAILS.	ACCEPTABLE EQUAL PER M
ONSENT OF ES, ETC. 5	21. HEATING DUCT DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE HEATING CONTRACTOR. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY EITHER ROUGH-IN TEST OR POST-CONSTRUCTION TEST PER 2020 ECCCNYS R403.3 UNLESS ALL DUCTS ARE WITHIN BUILDING THERMAL ENVELOPE.	31. THE ARCHITECT CERT RCNYS FOR TERMITE PROTE TREATED WOOD AS PRESCH DECAY (R317).
ARE	22. ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR. COOKING EXHAUST HOOD TO COMPLY WITH 2020 RCNYS MI503.	32. ALL INSULATION MATE RCNYS. VAPOR BARRIERS INSULATION. NO EXPOSED V BARRIERS SHALL BE COVE
OTINGS, ION AND ARE	23. UTILITY ROOM SHALL BE VENTED TO EXTERIOR TO PROVIDED SUFFICIENT COMBUSTION AIR PRESCRIBED BY HEATING UNIT MANUFACTURER.	33. TESTING SHALL BE PE
_OODWAY AS	24. ATTIC SHALL BE VENTED USING EITHER EAVE, SOFFIT OR RIDGE VENTS.	
	25. SMOKE DETECTORS SHALL BE INSTALLED BEFORE WIRING ELECTRICAL SWITCHES.	ESTABLISHED BY 2020 RC
AND	26. ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPETENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 2020 RCNYS & NFPA 70.	35. FIREPLACE SHALL BE
AND REAR TFL <i>OO</i> R.	27. ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RCNYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.	
2X6 STUDS @	28. PROVIDE AT LEAST ONE PROGRAMMABLE THERMOSTAT.	

29. IIOV SMOKE DETECTOR WITH BATTERY BACKUP (INTERCONNECTED TO ALL OTHER SMOKE DETECTORS) SHALL BE INSTALLED IN EACH EXISTING BEDROOM AND THE SLEEPING AREA. HARD WIRE A CARBON MONOXIDE INSTALLED OUTSIDE OF SLEEPING AREA. HEAT DETECTOR IS ARAGE AND INTERCONNECTED WITH RESIDENCE ALARM.

ONS OF FLOOR AND FIRE RATED WALL ASSEMBLES SHALL BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR MANUFACTURES RECOMMENDATIONS.

TIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 ECTION (R318) BY REQUIRING PRESSURE PERSERVATIVELY RIBED IN SECTION R318.1 AND FOR PROTECTION AGAINST

ERIALS SHALL BE INSTALLED IN COMPLIANCE WITH 2020 SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE APOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR ERED WITH CODE COMPLIANT COVERING.

ERFORMED TO VERIFY ACCEPTABLE AIR LEAKAGE RATE PER . AIR LEAKAGE SHALL NOT EXCEED 3 AIR CHANGES PER HOUR.

NICAL VENTILATION SYSTEMS IS REQUIRED. DESIGN SHALL BE INYS MI505 AND PROVIDED BY HVAC CONTRACTOR.

E PROVIDED WITH TEMPERED GLASS DOORS.

	IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER & NYCRR 69.56
	FLOOR LOAD SCHEDULE
	DEAD LOAD PLYWOOD 1.5 CEILING 2.5 WOOD FRAMING 2.0 LIGHTING, PIPING & MISC. 2.0 IO.0 LIVE LOAD ALL AREAS EXCEPT SLEEPING 40.0 SLEEPING AREAS 30.0 DESIGN LOAD ALL AREAS EXCEPT SLEEPING 50.0 PSF SLEEPING AREAS 40.0 PSF
	ATTIC FLOOR SCHEDULE
	DEAD LOAD PLYWOOD 1.5 CEILING 2.5 WOOD FRAMING 2.0 LIGHTING, PIPING & MISC. 2.0 LIVE LOAD 10.0 STORAGE 20.0 DESIGN LOAD <u>30.0 PSF</u>
	ROOF LOAD SCHEDULE
	DEAD LOAD ROOFING 2.5 INSULATION 1.0 PLYWOOD 1.0 WOOD FRAMING 1.5 CEILING 2.5 LIGHTING, PIPING & MISC. 1.5 IO.0 LIVE LOAD SNOW LOADING 30.0 DESIGN LOAD 40.0 PSF
	SQUARE FOOTAGE
	FIRST FLOOR 1330 SF SECOND FLOOR 1676 SF TOTAL HABITABLE FLR. AREA 3006 SF
	THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS
	PRELIMINARY PLANS NOT FOR CONSTRUCTION
	LINDA J. ZWARI ARCHITECT
ELEVATION NOTES	31 MEADOWOOD ROAD MONTGOMERY, NY 12549 845-361-2969
I. TYPICAL HEADER HEIGHT SHALL BE 6'-10" UNLESS OTHERWISE NOTED.	LICENSED: NEW YORK STATE
2. FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.	RT ORCHARD
3. ALL GRADES SHOWN ARE APPROXIMATE AND BUILDER IS TO FIELD DETERMINE FINAL GRADING.	S/B/L 7/1/26.1
<ol> <li>DESIGN INTENTIONS ARE ILLUSTRATED BY ELEVATIONS AND ARE TO BE FOLLOWED.</li> <li>5 FRONT PORCH IS SHOWN WITHOUT CLARD.</li> </ol>	NEW RESIDENCE FOR:
RAILINGS. PORCH IS SHOWN WITHOUT GUARD RAILINGS. PORCH FLOOR TO FINISHED GRADE SHALL BE NO GREATER THAN 30".	TOWN OF NEWBURGH COUNTY OF ORANGE, NY
	FRONT ELEVATION AND GENERAL NOTES
	DATE: 08 NOV 2022

![](_page_29_Figure_0.jpeg)

	EVATION		IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER & NYCRR 64.5b
ATTIC FIN. 2ND FLR. CLG	'-Ο"	DOOR SCHEDULEMARKDESCRIPTIONI6'-0" EXTERIOR 3/4 GLASS ENTRY DOOR23'-0" FIRE RATED DOOR32'-8" INTERIOR INSULATED DOOR42'-8" INTERIOR DOOR52'-6" INTERIOR DOOR	THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS
FIN. 2ND FLR. FIN. IST FLR. CLG LIGHT& VENT SCH	WINDOW SCHEDUL         MARK       DESCRIPTION       SIZE/MOI         A       DOUBLE HUNG       TW21052         B       DOUBLE HUNG       TW210410         C       DOUBLE HUNG       (2)TW210410	62'-O" INTERIOR DOOR72'-IO" BARN STYLE DOOR (2'-6" OPENING)DEL83'-O" BARN STYLE DOOR (2'-8" OPENING)9(2) 2'-8" BARN STYLE DOOR (4'-0" OPENING)105'-O" INTERIOR SLIDING DOOR115'-O" INTERIOR DOUBLE LEAF DOOR	PRELIMINARY PLANS NOT FOR CONSTRUCTION
FIN. IST FLR.       REQUIRED         LIGHT       VEN         LIVING/ DINING ROOM       (374 SF)       29.92       14.96         OFFICE       (160 SF)       12.8       6.4         MASTER BEDROOM       (230 SF)       18.4       9.2         BEDROOM #2       (188 SF)       15.04       7.52         BEDROOM #3       (152 SF)       12.16       6.08         BEDROOM #4       (149 SF)       11.92       5.96         STUDY       (108 SF)       8.64       4.32	PROVIDEDDDOUBLE HUNGTW2846LIGHTVENTEDOUBLE HUNGTW2831070.0542.26FCASEMENTC34522.512.56GCASEMENTC33520.9II.6HCASEMENTC33520.9II.6HCASEMENTCX23520.9II.6IAWNINGA3120.9II.6IAWNINGA3120.9II.6II.6WINDOWS ARE TYPICAL OF ANDERSEN WINDOWS, WI LOW-E GLAZING (U-VALUE OF 0.3 OR BETTER) TO N ENERGY CODE COMPLIANCE.WINDOWS CARE TYPICAL OF ANDERSEN WINDOWS, WI LOW-E GLAZING (U-VALUE OF 0.3 OR BETTER) TO N ENERGY CODE COMPLIANCE.	12       6'-O" EXTERIOR FRENCH STYLE GLASS DOOR         13       II'-9" 4-PANEL GLIDING DOOR (TYP OF ANDERSEN FWGI2068-4)         14       9' x 8' OVERHEAD DOOR         15       18' x 8' OVERHEAD DOOR         15       18' x 8' OVERHEAD DOOR         • EXTERIOR FRENCH STYLE (GLASS) DOORS SHALL HAVE LOW-E GLASS WITH MIN. U-VALUE OF 0.3 OR BETTER TO MEET ENERGY CODE COMPLIANCE.         • EXTERIOR (SOLID) DOORS SHALL HAVE MIN. U-VALUE OF 0.35 OR BETTER TO MEET ENERGY CODE COMPLIANCE.         TH IEET       • INTERIOR DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL HAVE MIN. U-VALUE OF 0.4 OR BETTER TO MEET ENERGY CODE COMPLIANCE.	LINDA J. ZWART ARCHITECT BI MEADOWOOD ROAD MONTGOMERY, NY 12549 845-361-2969 LICENSED: NEW YORK STATE RT ORCHARD S/B/L 7/1/26.1
Sign criteria     Minter     Ice barrier     FLOOD     AIR     MEAN       AGE FROM     WINTER     ICE BARRIER     FLOOD     AIR     MEAN       INE     TERMITE     DESIGN     UNDERLAYMENT     FLOOD     AIR     MEAN       INE     TERMITE     TEMP     VIDERLAYMENT     FLOOD     AIR     MEAN       IND     TEMP     VIDERLAYMENT     FLOOD     HAZARDS     AIR     MEAN       IND     TEMP     VIDERLAYMENT     REGUIRED     FILOOD     HAZARDS     INDEX     TEMP       MODERATE     NO     YES     REFER TO     10000     JURISDICTIC       TERIA     NOOR DESIGN     DESIGN TEMPERATURE     HEATING TEMPERATURE       INDOOR DESIGN     DESIGN TEMPERATURE     HEATING TEMPERATURE       TEMPERATURE     COOLING     DIFFERENCE	* TEMPERED GLASS         BUILDING COMPONENT       MIN. R-VALUE       REMARKS         CEILING       R-30         SLOPED CEILINGS       R-30         EXTERIOR WALLS       R-21         2x4 WALLS AROUND STAIRS TO BASEMENT       R-15         2x6 WALL BETWEEN HEATED SPACE AND GARAGE       R-21         FLOOR OVER BASEMENT       R-36	OMPONENT CRITERIA	NEW RESIDENCE FOR: JOHN FAVELLA AND GIOVANNA WARD TOWN OF NEWBURGH COUNTY OF ORANGE, NY
6878PER JURISDICTIONWINTER HUMIDITYSUMMER HUMIDITYPER JURISDICTIONPER JURISDICTION	*COMPLIANCE WITH THE 2020 NYS ENERGY CONSERVATION CODE HAS BEEN ESTABLISHED TH COMPLIANCE REPORT SHALL BE SUBMITTED WITH CONSTRUCTION DOCUMENTS. I, LINDA ZWART, PROFESSIONAL JUDGEMENT THESE PLANS COMPLY WITH THE ENERGY CODE. MINIMUM REQUIREMENTS ARE LISTED ABOVE, IT IS RECOMMENDED BY THE ARCHITECT THAT INS CONSTRUCTION. ALL DUCTS LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED. R-8 FOR ALL SUPPLY 1	IROUGH USE OF THE APPROVED REScheck SOFTWARE. CONFIRM TO THE BEST OF MY KNOWLEDGE, BELIEF AND BULATION BE MAXIMIZED WHERE EVER POSSIBLE DURING DUCTS, R-6 FOR ALL RETURN DUCTS	DATE: 08 NOV 2022 JOB# 2229

![](_page_30_Figure_0.jpeg)

![](_page_31_Figure_0.jpeg)

	IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER & NYCRR 69.5b
	<ul> <li>PLAN NOTES</li> <li>I. HEADERS SHALL BE (2)2xIO UNLESS OTHERWISE NOTED. WINDOW HEAD HEIGHT SHALL BE 6'-IO".</li> <li>2. CEILING HEIGHT SHALL BE 9'-O" UNLESS OTHERWISE NOTED.</li> <li>3. FRONT PORCH IS SHOWN WITHOUT GUARD RAILINGS. PORCH FLOOR TO FINISHED GRADE SHALL BE NO GREATER THAN 30".</li> </ul>
	<ol> <li>5/8" TYPE 'X' GWB THROUGHOUT GARAGE &amp; I/2" TYPE 'X' GWB ON OPPOSITE SIDE OF COMMON WALL.</li> <li>SELF CLOSING TYPE 'X' FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.</li> <li>MINIMUM 2" PITCH IN GARAGE FLOOR TOWARD GARAGE DOORS.</li> </ol>
	THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS
	PRELIMINARY PLANS NOT FOR CONSTRUCTION
6'-6"	LINDA J. ZWART ARCHITECT BI MEADOWOOD ROAD MONTGOMERY, NY 12549 845-361-2969 LICENSED: NEW YORK STATE
12'-1"	RT ORCHARD S/B/L 7/1/26.1 NEW RESIDENCE FOR: JOHN FAVELLA AND GIOVANNA WARD TOWN OF NEWBURGH COUNTY OF ORANGE, NY
	FIRST FLOOR PLAN DATE: 08 NOV 2022 JOB# 2229

![](_page_32_Figure_0.jpeg)

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER & NYCRR 69.56

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۲ 2. (	CEILING I	HEIGHT S	HEAD SHALL I	BE 9'-0"	UNLESS	: 6'-10".
3. F		ORCH IS	SHOWN	I WITHOU R TO FIN	T GUARD	) RADE
	HALL BI	E NO GR	EATER	THAN 3	2".	
THE	SE PLA	ANS AF	RE NO	t vali	D FOR	A
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PFNC					PL APPEA PL RU( NAF T AP FOR: VANNA SUR( IGE, ICE, PL C	ANS CTION RS ON RS

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![](_page_33_Figure_0.jpeg)

e. SHEATHING SHALL BE PERMITTED TO BE WOOD STRUCTURAL PANEL, GYPSUM BOARD, FIBERBOARD, LUMBER OR FOAM SHEATHING. UP TO 1/2 -INCH THICKNESS OF STACKED WASHERS SHALL BE PERMITTED TO SUBSTITUTE FOR UP TOO 1/2 -INCH OF ALLOWABLE SHEATHING THICKNESS WHERE COMBINED WITH WOOD STRUCTURAL PANEL OR LUMBER SHEATHING.

MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS				
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
LEDGER a	2 INCHES d	3/4 INCHES	2 INCHES b	I 5∕8 INCHES b
BAND JOIST C	3/4 INCHES	2 INCHES	2 INCHES b	I ⅔ INCHES b

a. LAG SCREW OR BOLTS SHALL BE STAGGERED FROM TOP TO THE BOTTOM ALONG THE HORIZONTAL RUN OF THE DECK LEDGER IN ACCORDANCE WITH DETAIL BELOW

d. THE MINIMUM DISTANCE FROM THE BOTTOM ROW OF LAG SCREWS OR BOLTS TO THE TOP EDGE OF THE LEDGER SHALL BE IN ACCORDANCE WITH THE DETAIL BELOW.

	JOIST SPAN					
	10'-1" TO 12'-0"	12'-1" TO 14'-0"	14'-1" TO 16'-0"	16'-1" TO 18'-0"		
١T	ITER SPACING OF FASTENER					
	15	13	II	10		
	29	24	21	Iq		
	24	21	IB	16		

\*DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4 ½ -INCHES IF LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF AG SCREWS TO ATTACH 2x8 LEDGERS TO 2x8 BAND JOIST

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS

OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS

# PRELIMINARY PLANS NOT FOR CONSTRUCTION

![](_page_33_Picture_25.jpeg)

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER 8 NYCRR 69.56

![](_page_34_Figure_0.jpeg)

<ul> <li>IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER &amp; NYCRR 69.5b</li> <li>FRAMING PLAN FOR ILLUSTRATIVE PURPOSES &amp; MEMBER SIZING ONLY. NOT ALL MEMBERS OR COMPONENTS SHOWN.</li> <li>HEADERS SHALL BE (2)2XIO, UNLESS OTHERWISE NOTED.</li> <li>ALL STRUCTURAL CALCULATIONS REQUIRING LVL MEMBERS ARE BASED ON TRUSS JOIST MICROLAM I.4E LVL.</li> <li>ALL BUILT-UP COLUMN SUPPORTING STRUCTURAL BEAMS SHALL RUN CONTINUOUS FROM ROOF/CEILING TO ESTABLISH A CONTINUOUS LOAD PATH TO FOUNDATION.</li> <li>ALL RIDGES, HIP RIDGES, AND VALLEYS SHALL BE 2XI2 UNLESS OTHERWISE NOTED.</li> <li>PROVIDE SQUASH BLOCKING AT LOCATIONS OF POINT LOADS.</li> <li>ALL BUILT UP COLUMNS SHALL BE MINIMUM (4)2X UNLESS OTHERWISE NOTED.</li> <li>FRAMING PLAN LEGEND</li> <li>#FRAMING PLAN LEGEND</li> </ul>
→ SLOPED CEILING
PRELIMINARY PLANS NOT FOR CONSTRUCTION LINDA J. ZWART ARCHITECT BI MEADOWOOD ROAD MONTGOMERY, NY 12549 845-361-2969 LICENSED: NEW YORK STATE
NEW RESIDENCE FOR: JOHN FAVELLA AND GIOVANNA WARD TOWN OF NEWBURGH COUNTY OF ORANGE, NY ND FRAMING PLANS DATE: 08 NOV 2022 JOB# 2229

![](_page_35_Figure_0.jpeg)

![](_page_35_Figure_1.jpeg)

### FIRST FLOOR ELECTRICAL PLAN SCALE: 1/8" = 1'-0"

![](_page_35_Figure_4.jpeg)

# SECOND FLOOR ELECTRICAL PLAN

### ELECTRICAL NOTES

- LOCATION TO BE FIELD VERIFIED.
- INSTALLED IN A READILY ACCESSIBLE LOCATION.
- COUNTERTOPS.
- PROTECTION FOR PERSONNEL.
- SUPPLY DISHWASHERS IN A DWELLING UNIT LOCATION.
- AREAS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AFCI.
- LAMPS.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON,

### SITE WORK

- SITE WORK INCLUDES ALL DEMOLITION, SITE CLEARING, EXCAVATION, FILLING, GRADING DRAINAGE, AND RELATED ITEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
- 2. BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTH WORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND OWNER SHALL BE NOTIFIED IMMEDIATELY.

### FOUNDATIONS

- I. FOOTINGS MAY NOT BE POURED NEAT AGAINST SIDES OF EXCAVATIONS. CONCRETE FORMS SHALL BE USED FOR ALL
- FOOTINGS 2. BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
- 3. MINIMUM SOIL BEARING CAPACITY SHALL BE 3000 PSF. IF BEARING CAPACITY IS LESS THAN 3000 PSF ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH CONSTRUCTION OF FOUNDATION.
- 4. USE SILL SEALER BETWEEN WOOD AND CONCRETE 5. ALL COPPER PIPES PENETRATING CONCRETE SLAB SHALL BE PROTECTED BY "AMORFLEX" PIPE INSULATION OR EQUIVALENT.
- 6. MASON CONTRACTOR SHALL INSTALL ALL SLEEVES FOR WATER AND SEWER LINES PRIOR TO POURING WALLS. 7. INSTALL ANCHOR BOLTS WITHIN 8" OF CORNERS & WITHIN 12" OF END OF EACH PIECE AT MAXIMUM SPACING OF 6'-0" O.C. TOP OF BOLTS TO BE 3 ⅔" ABOVE TOP OF WALL & 3" FROM OUTSIDE EDGE OF WALL. ANCHOR BOLT TO BE MINIMUM OF ½" DIAMETER & EXTEND 7" INTO CONCRETE.
- 8. EXCAVATION CONTRACTOR SHALL APPLY ASPHALT BASED WATERPROOFING BEGINNING 8" BELOW FINAL GRADE LINE, AND EXTEND TO LOWEST VERTICAL POINT OF FOOTING. 9. FOUNDATION WALL SHALL EXTEND ABOVE FINISHED GRADE A MINIMUM OF 4" (8" PREFERABLE).

### BACKFILL

- BACKFILL SHALL BE PLACED IN 6" MAXIMUM LIFTS AND COMPACTED TO A MINIMUM DENSITY OF 95% (UNDER SLABS ON GRADE) AND 90% (ELSEWHERE) OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHIO STANDARD T99.
- 2. BACKFILL SHALL CONSIST OF NON-EXPANSIVE FREE DRAINING, PREDOMINANTLY GRANULAR MATERIAL, FREE OF DEBRIS AND ORGANIC MATERIAL
- 3. BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT RETAINING WALLS UNTIL: CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETE AND FULLY NAILED AND ANCHORED. 4. LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A
- MINIMUM OF 6" WITHIN THE FIRST IO' FROM THE FOUNDATION. IF PHYSICAL BARRIERS PROHIBIT REQUIRED FALL, DRAINS OR SWALES SHALL BE PROVIDED.

### FOOTINGS

- FOOTINGS ARE SIZED FOR A MINIMUM TOTAL SOIL BEARING PRESSURE OF 3000 PSF, EXCEPT AS SHOWN OTHERWISE ON DRAWINGS
- 2. FOOTINGS SHALL BE PLACED AT A MINIMUM DEPTH OF 42" BELOW FROST LINE.
- 3. FOOTINGS SHALL BE FOUNDED ON FIRM, UNDISTURBED, NATIVE, FREE DRAINING SOILS. CONDITIONS FOUND
- TO BE OTHERWISE SHALL BE REPORTED TO OWNER, BUILDING OFFICIAL AND ARCHITECT. 4. BOTTOM SURFACE OF FOOTINGS SHALL NOT SLOPE MORE THAN I" VERTICAL TO 10" HORIZONTAL
- 5. NO EXCAVATION SHALL BE MADE LOWER AND CLOSER TO TO ANY FOOTING THAN I" VERTICAL TO 3" HORIZONTAL
- 6. ALL GROUND OVER WHICH FOOTINGS AND SLABS ON GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL. FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND
- 7. ALL FOOTING DRAINS SHALL RUN TO DAYLIGHT OR INTO A SEEPAGE PIT AT A MINIMUM PITCH OF 1/8" PER FOOT, NOT TOWARD A WELL OR WASTE WATER DISPOSAL SYSTEM. 8. STEP FOOTINGS 12" VERTICALLY AND 36" HORIZONTALLY PER STEP

### CONCRETE

- CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), "RECOMMENDED PRACTICE FOR CONCRETE FRAME WORK" (ACI 347), "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE" (ACI 304).
- A. CONCRETE SHALL HAVE MIN. 28 DAY FIELD CURED COMPRESSIVE STRENGTH OF:
- -3000 PSI (F'C=3000) FOR BASEMENT WALLS, FOUNDATION, BASEMENT & INTERIOR SLABS -3000 PSI (F'C=3000) FOR ALL CONCRETE WORK EXPOSED TO WEATHER INCLUDING EXTERIOR, FOUNDATION OR
- BASEMENT WALLS
- -3500 PSI (F'C=3500) FOR PORCHES, EXTERIOR STEPS & GARAGE FLOOR SLABS B. USE AIR ENTRAINING ADMIXTURE IN ALL CONCRETE, PROVIDING NOT LESS THAN 4% & NO MORE THAN 8% ENTRAINED AIR FOR CONCRETE EXPOSED TO FREEZING AND THAWING AND FROM 2% TO 4% FOR OTHER CONCRETE
- C. MATERIALS FOR CONCRETE:
- -PORTLAND CEMENT ASTM CI50 TYPE AS REQUIRED
- -AGGREGATES ASTM C33
- -WATER-POTABLE, CLEAN, FREE OF OILS, ACIDS, ALKALI, AND ORGANIC MATTER -AIR ENTRAINING ADMIXTURE - ASTM C260
- -WATER REDUCING ADMIXTURE ASTM C494 TYPE A
- D.FORM MATERIALS
- -EXPOSED CONCRETE SURFACES PANEL TYPE TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH FINISH. USE LARGEST PRACTICAL SIZES TO MINIMIZE FORM JOINTS. -UNEXPOSED CONCRETE SURFACES - SUITABLE MATERIAL DRESSED ON AT LEAST TWO EDGES, AND
- ONE SIDE FOR TIGHT FIT. 2. CONCRETE SHALL BE OF "READY MIXED CONCRETE" AND SHALL CONFORM TO ASTM C94. MIX DESIGN ALTERNATE #2. AT TIME OF PLACEMENT, CONCRETE SHALL HAVE A SLUMP OF 4 INCH MAXIMUM (PER
- ASTM CI43). 3. CONCRETE WHEN PLACED SHALL HAVE A TEMPERATURE BETWEEN 50°F AND 70°F. TEMPERATURE OF CONCRETE DURING MIXING OR TRANSPORTATION SHALL NEVER BE LOWER THAN 40°F NOR HIGHER THAN
- 90°F 4. CONCRETE SHALL BE CONVEYED AND DEPOSITED IN ACCORDANCE WITH RECOMMENDATIONS OF ACI 304. 5. MEMBRANE CURING COMPOUND SHALL BE PROVIDED ON ALL HORIZONTAL SLAB SURFACES. CURING COMPOUND SHALL CONFORM TO ASTM C309 AND SHALL BE APPLIED IN ACCORDANCE WITH
- MANUFACTURER'S PRINTED INSTRUCTIONS. 6. EXCEPT WHERE DETAILED ON STRUCTURAL DRAWINGS, REINFORCEMENT SHALL NOT BE DISPLACED OR
- CUT TO PROVIDE CLEARANCE FOR PENETRATIONS, INSERTS OR EMBEDMENTS. 1. DESIGN FABRICATION, INSTALLATION, AND REMOVAL OF CONCRETE FORM WORK IS SOLELY THE
- RESPONSIBILITY OF BUILDER.
- 8. FORMWORK AROUND CONCRETE MUST REMAIN IN PLACE UNTIL THE CONCRETE IS SELF-SUPPORTING. FOLLOW ACI 347 FOR STANDARDS WHICH STATE THAT FOOTINGS AND FOUNDATION WALL FORMWORK SHALL NOT BE STRIPPED FOR A MIN. OF 12 HOURS
- 9. CONCRETE PLACEMENT COMPLY WITH ACI 304, PLACING CONCRETE, AND ACI 304.2R, PLACING CONCRETE BY PUMPING METHOD

### MASONRY

- MASONRY UNITS A. ALL HOLLOW CONCRETE UNITS SHALL BE AT LEAST 7-5/8"X15-5/8" AND SHALL PROVIDE MINIMUM UNOBSTRUCTED VERTICAL CORES WITH A LEAST DIMENSION OF 3-1/2" WHEN LAID UP IN RUNNING BOND. UNLESS OTHERWISE SPECIFIED ON DRAWINGS B. MOISTURE CONTENT OF HOLLOW CONCRETE UNITS PER ASTM COO AT TIME OF LAYING SHALL NOT EXCEED 30% OF TOTAL ABSORPTION
- C. ALL CONCRETE BLOCK SHALL BE TYPE 'N' LOAD BEARING MASONRY UNITS AND ALL MORTAR SHALL BE TYPE "M" HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI. PROPER UNITS SHALL BE USED TO PROVIDE FOR ALL WINDOWS, DOORS, BOND BEAMS, LINTELS, PILASTERS, ETC. WITH A
- MINIMUM OF CUTTING. LAY MASONRY IN RUNNING BONDS EXCEPT AS DESIGNATED OTHERWISE ON DRAWINGS, PROVIDE MASONRY BONDS AT
- ALL CORNERS AND INTERSECTIONS. GROUT ALL CELLS CONTAINING REINFORCEMENT, BOLTS OR INDICATED AS GROUTED.
- MASONRY SHALL BE LAID UP AND GROUTED IN LIFTS NOT EXCEEDING 4' VERTICAL. GROUT POURS SHALL BE STOPPED I-1/2" BELOW THE TOP OF UPPER MOST UNIT. EACH BOND BEAM SHALL BE GROUTED WITH LIFT BELOW. ALL BEAMS AND LINTELS SHALL BE GROUTED SUCH THAT HORIZONTAL GROUT TRAVEL IS LIMITED TO 2'.
- MASONRY SHALL NOT BE LAID UP OR GROUTED WHEN AMBIENT TEMPERATURE IS BELOW 40°F OR ABOVE 90°F. MASONRY SHALL BE PROTECTED FROM FREEZING TEMPERATURES FOR AT LEAST 14 DAYS AFTER LAYING. WHEN
- AMBIENT TEMPERATURES EXCEED 90°F UNITS THAT HAVE PREVIOUSLY BEEN LAID UP SHALL BE GIVEN A VERY FINE, LIGHT FOG SPRAY OF WATER EVERY 4 HOURS UNTIL 48 HOURS HAVE ELAPSED SINCE LAYING UP. MILD STEEL REINFORCEMENTS FOR CONCRETE AND MASONRY CONSTRUCTION SHALL BE MANUFACTURED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318R) AND "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315R, ACI SP-66) AND SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A615, GRADE 40 TIES, STIRRUPS AND HOOPS SHALL CONFORM TO ASTM A615, GRADE 40. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, IN AS LONG
- LENGTHS AS PRACTICABLE. REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON DRAWINGS: BAR GITE LENGTH IN CONCRETE LENGTH IN MASONRY

		EERO III III III III III
F3	l'-6"	2'-0"
F4	2' <i>-0</i> "	2'-6"
F5	2'-6"	3'-3"
F6	3'-4"	3'-9"

WELDED WIRE FABRICS SHALL BE TAPPED ONE GRID WIDTH PLUS 2". REINFORCEMENT SHALL BE COLD BENT. REINFORCEMENT SHALL NOT BE WELDED.

### LUMBER

- ALL 2" LUMBER SHALL BE SEASONED TO 19% MAXIMUM MOISTURE CONTENT.
- CI5. CI8. C22-C24. C28. PI-P3
- 117-82 AND PS-56-73 FABRICATED WITH WET-USE ADHESIVE.
- ACCORDANCE WITH SECTION 2517 (E.3) UBC. 7. ALL LUMBER SHALL HAVE A MIN. FO AND E AS FOLLOWS:

### BEAMS, GIRDERS, HEADERS JOISTS, RAFTERS, TRIMMERS

- STUDS 8. WOOD I-JOISTS SHALL HAVE THE APA-EWS PRI TRADEMARK. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S
- MANUFACTURER. CODE OF NEW YORK STATE.

### FRAMING

- SHOWN
- 4 INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP
- BE LESS THAN 3"
- BOLTS.
- FRAMING.
- TO FLOOR JOISTS.
- STAIR STRINGERS.
- 16. DRILLING & NOTCHING REQUIREMENTS SHALL FOLLOW SPECIFICATIONS LAID OUT IN THE RESIDENTIAL CODE OF NYS.

- STRUCTURAL FLOOR MEMBERS (SECTION R502.8.1) - NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED & THE DEPTH OF THE MEMBER, NOT LONGER THAN & OF THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE  $\frac{1}{2}$  OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED  $\frac{1}{4}$  OF THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4" OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIA. OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED 1/2 THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER. OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2" TO THE NOTCH.

- WALLS (SECTION R602.6) - ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-LOAD BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NOT GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 3" TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. EXCEPTION - I. A STUD MAY BE BORED TO A DIA. NOT EXCEEDING 60% OF ITS WIDTH, PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN 2 SUCCESSIVE STUDS ARE BORED. 2. APPROVED STUD SHOES MAY BE USED WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

DRILLING AND NOTCHING WALL TOP PLATES - WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE OF NOT LESS THAN 0.054" (16 GA) AND 1 4" WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN (8) IGU NAILS AT EACH SIDE OR EQUIVALENT.

I E	Blocking between ceiling joists or rafters to top plate	Roof 4-8d box (2 <sup>1</sup> / <sub>2</sub> " x 0.113"); or 3-8d common (2 <sup>1</sup> / <sub>4</sub> " x 0.131"); or	
I E	Blocking between ceiling joists or rafters to top plate	4-8d box (2½" x 0.113"); or 3-8d common (24" x 0.131"); or	
		3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nall
2 0	Celling joists to top plate	4-8d box (2½ x 0.113"); or 3-8d common (2½ x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Per joist, toe nail
з ( F	Ceiling joists not attached to parallel rafter, laps over partitions (see Section R802.5.2 and Table R802.5.2)	4-10d box (3" x 0.128"); or 3-16d common (3½" x 0.162"); or 4-3" x 0.131" nails	Face nall
4	Ceiling joists attached to parallel rafter (heel joint) [see Sections (R802.5.2 and Table R802.5.2)	Table R802.5.2	Face nall
5 (	Collar tie to rafter, face nail or $l_{\pi}^{\downarrow}$ x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128"); or 3-10d common (3" x 0.148"); or 4-3" x 0.131" nails	Face nail each rafter
6 F	Rafter of roof truss to plate	3-16d box nalls (3½" x 0.135"); or 3-10d common nalls (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nalls	2 toe nails on one side and I toe nail on opposite side of each rafter or truss'
_ F	Roof rafters to ridge, valley or hip rafters or roof rafter to	4-l6d box (3½" × 0.135"); or 3-l0d common (3½" × 0.148"); or 4-l0d box (3" × 0.128"); or 4-3" × 0.131" nails	Toe nall
	minimum 2" ridge beam	3-l6d box (3½" x 0.135"); or 2-l6d common (3½" x 0.162"); or 3-l0d box (3" x 0.126"); or 3-3" x 0.131" nails	End nail
		Wall	
	Stud to stud (not at braced wall panels)	16d common (3½" × 0.162")	24" o.c. face nail
8 9		10d box (3" x 0.128"); or 3" x 0.131" nails	16" o.c. face nall
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	lód box (3½" x 0.135"); or 3" x 0.131" nails	12" o.c. face nail
		16d common (3½" × 0.162")	16" o.c. face nail
	Bullik up beades (2) to 2" beades with J" enaces)	16d common (3½" × 0.162")	16" o.c. each edge face nail
	Dall of Todadi (2 to 2 Todadi Alla 2 Space)	l6d box (3½" × 0.135")	12" o.c. each edge face nail
II (	Continuous header to stud	5-8d box (2½" x 0.113"); or 4-8d common (2½" x 0.131"); or 4-10d box (3" x 0.128"); or	Toe nall
		16d common (32" × 0.162")	16" o.c. face nail
12 1	Top plate to top plate	10d box (3" x 0.128"); or 3" x 0.131" nails	12" o.c. face nail
13 I	Double top plate splice	8-16d common (3½" x 0.162"); or 12-16d box (3½" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side o end joint)
	Battam plate to lalet rim lalet hand lalet or blacking (pat at	16d common (3½" × 0.162")	16" o.c. face nail
	braced wall panels)	lód box (3½" x 0.135"); or 3" x 0.131" nalls	12" o.c. face nall
15 E	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel)	3-16d box (3½" × 0.135"); or 2-16d common (3½" × 0.162"); or 4-3" × 0.131" nails	3 each 16" o.c. face nall 2 each 16" o.c. face nall 4 each 16" o.c. face nall

I. ALL LOAD BEARING DIMENSION LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OF AN APPROVED INSPECTION AGENCY. ALL JOISTS, GIRDERS, INTERIOR AND EXTERIOR STUD WALLS SHALL BE SPF OR BETTER.

ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED PER AWPA CI-C4, C9, 4. GLUE-LAMINATED MEMBERS SHALL BE DOUGLAS FIR-LARCH OR EQUAL, CONFORMING WITH THE AITC 5. ALL PLYWOOD SHALL BE IDENTIFIED BY GRADE MARK OF AN APPROVED INSPECTION AGENCY AND

SHALL BE STANDARD EXPOSURE I, D-GRADE, APA RATED UNLESS OTHERWISE SPECIFIED ON DRAWINGS. 6. LIGHT TIMBER DECKING SHALL BE CONSTRUCTED WITH 2" TONGUE AND GROVE PLANK COMMERCIAL DECKING GRADE MARKED BY AN APPROVED INSPECTION AGENCY. DECKING SHALL BE LAID IN

TYP. LUMBER - USE EQUIVALENT OR BETTER

(SPF #I) (SPF #I)

(SPF #2)

RECOMMENDATIONS, DETAILS, AND SPECIFICATIONS - NO EXCEPTIONS. WOOD I-JOISTS SHALL BE USED IN CONJUNCTION WITH PARTNER MATERIALS SUCH AS APA RIM BOARDS, SQUASH BLOCKS, ETC. 9. LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS ARE TO BE 2.0E WITH A BASE FD=2850. EXCEPT FOR CUTTING

TO LENGTH, LVL BEAMS ARE NOT TO BE CUT, DRILLED, OR NOTCHED EXPECT AS NOTED IN MANUFACTURER'S LITERATURE. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDATIONS AND DETAILS IN INSTALLATION. CONNECTIONS PER IO. TRUSSES SHALL BE DESIGNED ACCORDING TO STANDARD ENGINEERING PRACTICE. TRUSS DESIGN DRAWINGS SHALL BE

PREPARED BY LICENSED ENGINEER AND PROVIDED BY TRUSS MANUFACTURER TO COMPLY WITH THE RESIDENTIAL BUILDING

I. ALL STUD WALLS SHOWN ON DRAWINGS SHALL HAVE 2X4 STUDS INTERIOR, 2X6 EXTERIOR, PLACED 16" O.C. EXCEPT WHERE 2. TOP PLATES SHALL BE DOUBLED ON ALL STUD WALLS. END JOINTS IN TOP PLATES SHALL BE OFFSET MIN. 24". STUDS SHALL HAVE FULL BEARING ON 2X OR LARGER PLATE OR SILL HAVING GREATER THAN OR EQUAL TO WIDTH OF STUDS. 3. BEAMS, GIRDERS, AND JOISTS SUPPORTING BEARING WALLS OR OTHER CONCENTRATED LOADS SHALL NOT BE NOTCHED. JOISTS, EXCEPT AS ABOVE, MAY BE NOTCHED NO DEEPER THAN 1/4 THE DEPTH, AT TOP EDGE ONLY, PROVIDED SUCH NOTCH IS LOCATED WITHIN 1/8 TO 1/4 OF SPAN FROM FACE OF SUPPORT. SAWCUTS FOR NOTCHES SHALL NOT OVERRUN DEPTH OF NOTCH. HOLES IN JOISTS, BEAMS AND GIRDERS SHALL NOT BE LARGER IN DIAMETER THAN I/IO THE DEPTH OF THE MEMBER AND SHALL

BE LOCATED WITHIN CENTER HALF OF THE SPAN. ALL HOLES SHALL BE CENTERED WITHIN DEPTH OF MEMBER. HOLES AND NOTCHES IN STUDS SHALL BE LOCATED WITHIN 1/3 OF HEIGHT FROM EITHER TOP OR BOTTOM BUT NO CLOSER THAN &" FROM PLATES. HOLES & NOTCHES IN STUDS SHALL NOT EXCEED I" IN DIAMETER OR DEPTH. STUDS IN EXTERIOR WALLS SHALL NOT BE NOTCHED.

5. ALL RAFTERS SHALL BE NOTCHED FOR FULL BEARING AT ALL SUPPORTS. THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL HAVE MINIMUM BEARING I 1 ON WOOD OR 3" ON CONCRETE OR MASONRY. 6. ALL JOISTS SHALL HAVE MINIMUM OF 2" BEARING AT WOOD SUPPORTS. LAPPING JOISTS SHALL HAVE 6" LAPS CENTERED OVER INTERIOR SUPPORTS. ALL SUPPORTS ON CONCRETE OR MASONRY SHALL NOT

7. LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE WITH ANCHOR

8. PROVIDE SOLID WOOD BLOCKING BELOW ALL HEADERS, BEAMS LINTELS, ETC. PROVIDE 3/8" DIA. LAG BOLTS 2' O.C. AT ALL DECK LEDGES OF ADEQUATE LENGTHS TO EMBED 3" MIN. INTO STRUCTURAL

9. IF CONVENTIONAL ROOF FRAMING IS USED, 2X4 COLLAR TIES WILL BE PROVIDED 4'-O" O.C. IO. A DOUBLE JOIST SHALL BE PROVIDED ABOVE EACH COLUMN AND BELOW ALL PARTITIONS PARALLEL

PROVIDE CROSS BRACING BETWEEN ALL JOISTS IN SPANS EXCEEDING 8'. 12. ALL HEADERS SHALL BE (2) 2X12 WITH MINIMUM 2 JACK STUDS EACH SIDE UNLESS OTHERWISE SPECIFIED ON DRAWINGS. 13. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY CONNECTED TOGETHER. 14. FRAMING CONTRACTOR SHALL INSTALL BLOCKING FOR RAILINGS, CABINETS, LADDERS FOR INSULATION AT INTERSECTING WALLS, STRONGBACKS IN CEILINGS OF GABLE AND HIP ROOFS, AND SHIM BETWEEN

15. INSTALL FIRE STOPPING BETWEEN FLOOR JOISTS AT 10' INTERVALS AND IN WALLS AT &' INTERVALS

### FASTENING SCHEDULE

16	Top or bottom plate to stud	$\begin{array}{l} 4-\partial d \ box \ (2\frac{1}{2}" \times 0.113"); \ or \\ 3-16d \ box \ (3\frac{1}{2}" \times 0.135"); \ or \\ 4-\partial d \ common \ (2\frac{1}{2}" \times 0.131"); \ or \\ 4-10d \ box \ (3" \times 0.128"); \ or \\ 4-3" \times 0.131" \ nalls \end{array}$	Toe nall			
		3-l6d box (3½" × 0.135"); or 2-l6d common (3½" × 0.162"); or 3-l0d box (3" × 0.128"); or 3-3" × 0.131" nalls	End nall			
Ħ	Top plates, laps at corners and intersections	3-10d box (3" x 0.128"); or 2-16d common (3 <sup>1</sup> / <sub>2</sub> " x 0.162"); or 3-3" x 0.131" nalls	Face nall			
18	I" brace to each stud and plate	3-8d box (2 <sup>1</sup> / <sub>2</sub> " x 0.113"); or 2-8d common (2 <sup>1</sup> / <sub>2</sub> " x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples 1 <sup>2</sup> / <sub>4</sub> "	Face nail			
19	I" × 6" sheathing to each bearing	3-8d box (2½" × 0.113"); or 2-8d common (2½" × 0.131"); or 2-10d box (3" × 0.128"); or 2 staples, 1" crown, 16 ga., 1½" long	Face nail			
20	$I^* \times \mathcal{B}^*$ and wider sheathing to each bearing	3-8d box (2½" × 0.113"); or 3-8d common (2½" × 0.131"); or 3-10d box (3" × 0.128"); or 3 staples, 1" crown, 16 ga., 1⅔" long	Eaco pell			
		Vider than 1" × 5" 4-8d box (2½" × 0.113"); or 3-8d common (2½" × 0.131"); or 3-10d box (3" × 0.128"); or 4 staples, 1" сгомп, 16 ga., 12" long	Face nall			
	1	Floor	1			
21	Joist to sill, top plate or girder	4-8d box $(2\frac{1}{2} \times 0.113"); \text{ or}$ 3-8d common $(2\frac{1}{2} \times 0.131"); \text{ or}$ 3-10d box $(3^* \times 0.126"); \text{ or}$ 3-3" $\times 0.131"$ nalls	Toe nall			
22	Rim joist, band joist or blocking to sill or top plate (roof	8d box (2½" × 0.113") 8d common (2५" × 0.131"); or	4" o.c. toe nail			
		lOd box (3" x 0.128"); or 3" x 0.131" nails	6" 0.c.	toe nail		
23	l" x 6" subfloor or less to each joist	3-8d box (2½" x 0.113"); or 2-8d common (2½" x 0.131"); or 3-10d box (3" x 0.128"); or 2 staples, 1" сгомп, 16 ga., 1≩" long	Face nail			
24	2" subfloor to joist or girder	3-16d box (3½" x 0.135"); or 2-16d common (3½" x 0.162")	Blind and face nail			
25	2" planks (plank & beam - floor & roof)	3-16d box (3½" x 0.135"); or 2-16d common (3½" x 0.162")	At each bearing, face nail			
26	Band or rim joist to joist	3-16d common (3 ½" X 0.162"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails; or 4-3" x 14" ga. staples, g <sup>1</sup> " crown	End nail			
		20d common (4" x 0.192"); or	Nail each layer as follows: 32" o.c. at top and bottom and staggered.			
~		lOd box (3" x 0.128"); or 3" x 0.131" nails	24" o.c. face nail at top and bottom staggered on opposite sides			
21	Bullt-up girders and beams, 2-inch lumber layers	And: 2-20d common (4" x 0.192"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Face nail at ends and at each splice			
28	Ledger strip supporting joists or rafters	4-l6d box (3½" x 0.135"); or 3-l6d common (3½" x 0.162") 4-l0d box (3" x 0.128"); or 4-3" x 0.131" nalls	At each joist or rafter, face nail			
29	Bridging or blocking to joist	2-IOd (3" x 0.128"); or 2-8d common (2½" x 0.131"; or 2-3" x 0.131") nalls	Each end, toe nall			
			SPACING OF FASTENERS			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER <sup> a, b, c</sup>	Edges (Inches) <sup>h</sup>	Intermediate supports <sup>c, e</sup> (Inches)		
	l Wood structural panels, subfloor, roof and interior (see Table R602.3(3) for wood st	l wall sheathing to framing and particleboard wa ructural panel exterior wall sheathing to wall fr	l Ill sheathing to framing amina]	l		
30	₿" - <u>1</u> "	6d common (2" × O.II3") nall (subfloor, wall) <sup>1</sup> δd common (2 $\frac{1}{2}$ " × O.I31") nall (roof); or RSRS-OI (2 $\frac{3}{2}$ " × O.I31") nall (roof) J	6	l2 <sup>†</sup>		
31	<sup>12</sup>	8d common nail (2½" × 0.131"); or RSRS-01 (2%" × 0.113") nail (roof) <sup>]</sup>	6	12 <sup>†</sup>		
3	<sup>1</sup> / <sub>2</sub> " -   <sup>1</sup> / <sub>4</sub> "	lOd common (3" x 0.128") nail; or 8d (2 $\frac{1}{2}$ " x 0.131") deformed nail	6	12		
		Other wall sheathing <sup>g</sup>				
33	2" structural cellulosic fiberboard sheathing	I <sup>1</sup> / <sub>2</sub> " galvanized roofing nail, <sup>1</sup> / <sub>8</sub> " head diameter, or I <sup>1</sup> / <sub>4</sub> " long 16 ga. staple with <sup>1</sup> / <sub>8</sub> " or 1" crown	3 6			
34	薆" structural cellulosic fiberboard sheathing	12 gaivanizea rooting nail, $g^*$ head diameter, or $l_2^{+}$ long 16 ga. stale with $g^*$ or $l^*$ crown	3	6		
35	2 <sup>th</sup> gypsum, sheathing <sup>d</sup>	l½" galvanized roofing nail; staple galvanized, l½" long; l¼" screws, Type W or S				
36	₫" gypsum sheathing <sup>d</sup>	i≩" galvanized roofing nail; staple galvanized, iğ" long; iğ" screнs, Type W or S	٦	7		
Wood structural panels, combination subfloor underlayment to framing						
31	훅" and less	6d deformed (2" × 0.120") nail; or 8d common (21" × 0.131") nail	6	12		
38	<b>ğ</b> " - I"	6d common (2½" × 0.131") nail; or 6d deformed (2½" × 0.120") nail	6	12		
39	1 <sup>1</sup> <sup>1</sup> / <sub>2</sub> " - 1 <sup>1</sup> / <sub>4</sub> "	IOd common (3" x 0.148") nail; or 8d deformed ( $2\frac{1}{2}$ " x 0.120") nail	6	12		

a. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connection shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192" (20d common nail), 90 ksi for shank diameters larger than 0.142" but not larger than 0.171", and 100 ksi for shank diameters of 0.142" or less.

- diameters of 0.142° or less.
  Staples are 16 gage wire and have a min. ¼° on diameter crown width.
  Nalls shall be spaced at not more than 6° oc. at all supports where spans are 48° or greater.
  4. Xab' or 4×4° panels shall be applied vertically.
  Spacing of fasteners not included in this table shall be based on Table R602.3(2)
  For wood structural panel root sheathing attached to gabe end root framing and to intermediate supports within 48° of roof edges and ridges, nalls shall be spaced at 6° oc. where the ultimate design wind speed is 150 mph or greater but less than 140 mph.
  Gupsum sheathing shall conform to ASTM CI346 and shall be installed in accordance with 6A 253. Fiberboard sheathing shall conform to ASTM CI346 and shall be installed in accordance with 6A 253. Fiberboard sheathing shall conform to ASTM CI346 and shall be spaced by framing members and required blocking at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking of roof or floor sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing members or sold blocking.
- solid blocking. Where a rather is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rather and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rather shall not be required. J. RSRS-OI is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM FIG67.

FRAMING CONNECTIONS

- ANCHOR ALL STUDS AT DOOR OPENINGS, ENDS AND CORNERS OF WALLS WHICH ARE SHEATHED WITH PLYWOOD AND OR GYPSUM BOARD TO BOTTOM PLATE WITH 2 SIMPSON A-35 FRAMING ANCHORS.
- 2. ALL MANUFACTURED CONNECTION HARDWARE SHALL BE INSTALLED AND FULL NAILED IN CONFORMANCE TO MANUFACTURER'S INSTRUCTIONS AND APPLICABLE ICBO APPROVALS. 3. ALL STEEL CONNECTION ASSEMBLIES DETAILED ON DRAWINGS SHALL BE FABRICATED FROM ASTM A36 STEEL IN
- CONFORMANCE WITH APPLICABLE REQUIREMENTS OF AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" WELDING SHALL CONFORM TO AWS DI.I. 4. INSTALL LAG SCREW IN DRILLED LEAD HOLES WITH A DIAMETER EQUAL TO 3/4 OF THE SHANK DIA. (LAG SCREW SHALL
- NOT BE HAMMERED IN) WAX OR SOAP LAG SCREWS. PROVIDE WASHERS UNDER HEADS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED. BOLT HOLES SHALL BE DRILLED 1/16" LARGER THAN BOLT DIAMETER. PROVIDE WASHERS UNDER ALL BOLT HEADS AND
- NUTS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED. IN NO CASE SHALL MISALIGNMENT BE ALLOWED. BOLTS SHALL BE A307 BOLTS. NUTS SHALL BE TIGHTENED SNUG.

WINDOWS AND DOORS

- EXTERIOR DOORS TO BE FOAM CORE INSULATED DOORS, UNLESS OTHERWISE NOTED. FRAMING CONTRACTOR SHALL INSTALL FIELD MADE FLASHING UNDER DOORS AND SHALL CAULK SILLS AND FLANGES WHEN INSTALLING.
- 3. ALL WINDOWS AND DOORS CAN BE ADJUSTED TO ACCOMMODATE TRIM. 4. ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- 5. INSTALL FIELD BENT DRIP EDGE ABOVE ALL DOORS AND WINDOWS. CAULK BETWEEN ALL CHANNELS AND ADJUST DOOR AND WINDOW FRAMES. 6. ALL SOURCES OF AIR LEAKAGE AROUND WINDOWS AND DOORS MUST BE CAULKED, GASKETED, OR WEATHERSTRIPED

### SHEATHING

- I. ALL PLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINTS OVER 2" BLOCKING OR PLATE. NAIL TOP OF PANELS TO DOUBLE TOP PLATE AND NAIL BOTTOM OF PANELS TO ANCHORED SILL PLATE. APPLY GYPSUM BOARD SO THAT END JOINTS OF ADJACENT COURSES DO NOT OCCUR OVER THE SAME STUD. 2. PLYWOOD SUB-FLOOR AND ROOF SHEATHING: INSTALL WITH FACE GRAIN AT RIGHT ANGLES TO SUPPORTS, CONTINUOUS OVER TWO (20 OR MORE SPANS). ALLOW MINIMUM SPACE I/16" BETWEEN 3. UNDERLAYMENT SHALL BE INSTALLED IN ACCORDANCE WITH CODE AND AS RECOMMENDED BY MANUFACTURER. ROSIN COATED.
  - 5/16" TO 1/2"

6d COMMON (8d FOR ROOF) OR I-I/2" RING SHANK 6" O.C. @ EDGES AND 8" O.C. EACH WAY IN FIELD

5/8" TO 3/4"

8d COMMON OR I-I/2" RING SHANK NAILS 6" O.C. @ EDGES & 8" O.C. EACH WAY IN FIELD

4. BUILDING FELT -A. COVER SURFACES BEHIND SIDING, SHINGLES, AND WHERE INDICATED ON DRAWINGS WITH ASPHALT SATURATED, NON-PERFORATED, FELT WITHOUT WRINKLES OR BUCKLES. LAP HORIZONTAL JOINTS 3", 6" AT VERTICAL JOISTS AND CARRY INTO OPENINGS, UP WALLS 12" AND DOWN SIDES 6" MINIMUM. LOCATE END LAPS AT LEAST 18" FROM INTERNAL AND EXTERNAL CORNERS.

B. ALL ROOFS WITH ASPHALT SHINGLES AND SLOPES BETWEEN 2/12 AND 4/12 SHALL HAVE DOUBLE UNDERLAYMENT APPLICATION.

INSULATION

I. MINIMUM INSULATION LEVELS ARE DESCRIBED IN THE "BUILDING ENVELOPE THERMAL COMPONENT CRITERIA CHART". THIS CHART HAS BEEN SPECIFICALLY DESIGNED FOR THIS PROJECT IN A SPECIFIC LOCATION, BASED ON ONE OF THE ACCEPTABLE APPROACHES DESCRIBED IN THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

2. COLD WALLS:

PORTION OF BUILDING BETWEEN LIVING SPACE AND UNHEATED GARAGE, STORAGE ROOM AND PORTION OF WALL ABOVE CEILING OF AN ADJACENT SECTION OF A SPLIT-LEVEL DWELLING TO BE INSULATED SAME AS ROOF, WALLS, OR FLOOR OF DWELLING. 3. VAPOR BARRIERS: FITHER "A" "B" OR "C" "D" IS MANDATORY.

- A. ALL WALLS AND CEILINGS TO BE PAPER-BACKED ONE SIDE INSULATION B. FOIL-BACKED GYPSUM BOARD ON THE INSIDE SURFACE OF EXTERIOR WALLS
- WITHOUT FOIL-BACKED INSULATION C. POLYETHYLENE APPLIED ACROSS THE INSIDE OF STUDS WITHOUT FOIL-BACKED
- INSULATION D. IN CRAWL SPACES PROVIDE 6 MIL BACK POLYETHYLENE SHEETS OR "MOISTOP" OVER ENTIRE GROUND AREA AND UP THE EXTERIOR FOUNDATION WALLS TO THE MUDSILLS. WALL INSULATION (IF SHOWN ON DRAWINGS) TO BE APPLIED OVER THE POLYETHYLENE VAPOR BARRIER. PROVIDE 12" MIN. LAPS BETWEEN TWO SECTION OF VAPOR BARRIER AND TAPE TIGHT
- 4. FIRE HAZARDS: WHEN PLASTIC FOAMS ARE USED IN ANY INTERIOR APPLICATIONS A FIRE BARRIER MUST BE APPLIED OVER THE UNPROTECTED FOAM SURFACE. COVERINGS USED FOR PROTECTION SHOULD BE CHOSEN FOR THEIR FIRE PROTECTION OF THE FOAM, I.E. GYPSUM WALLBOARD
- FRAMING MEMBERS: IT MAY BECOME NECESSARY TO INCREASE DEPTH OF FRAMING MEMBERS TO ACCOMMODATE THICKER INSULATION MATERIALS THAN SHOWN ON DRAWINGS

GYPSUM DRYWALL

- GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF ANSI A97-1 FOR THE "APPLICATION AND FINISHING OF WALLBOARD" JOINT COMPOUND SYSTEM MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S PRINTED DIRECTIONS, TO BE INVISIBLE AFTER FINISHED, INCLUDING ALL METAL CORNER BEADS AND TRIM.
- 2. GYPSUM WALLBOARD ON STUD WALLS: COOLER NAILS AT 7" O.C. ALL STUDS, PLATES AND BLOCKING, USE 5d NAILS WITH  $\frac{1}{2}$ " WALLBOARD AND 6d NAILS WITH  $\frac{3}{2}$ " WALLBOARD. SCREWS SHALL BE TYPE W OR S AND SHALL PENETRATE THE WOOD NOT LESS THAN §".
- 3. GARAGE AND UTILITY ROOMS TO HAVE 🐉 TYPE X FIRE RATED GYPSUM BOARD THROUGHOUT AND 🖑 TYPE X FIRE RATED GYPSUM BOARD ON OPPOSITE SIDE OF COMMON WALL. FOR GARAGE CEILINGS BENEATH HABITABLE ROOM GYPSUM WALLBOARD SHALL BE INSTALLED PERPENDICULAR TO FRAMING AND FASTENED AT MINIMUM 6" O.C. BY 6d COATED NAILS.
- 4. TUB AND SHOWER ENCLOSURES TO HAVE I WATER RESISTANT GYPSUM BOARD. GYPSUM WALLBOARD UTILIZED AS BACKER BOARD FOR ADHESIVE APPLICATION OF CERAMIC TILE SHALL BE PERMITTED ON CEILINGS WHERE FRAMING SPACING = 12" O.C. FOR  $\frac{1}{2}$ " THICK GWB OR 16" O.C. FOR \$" THICK GWB. ALL CUT OR EXPOSED EDGES SHALL BE SEALED BY MANUFACTURER'S

GLAZING

I. TEMPERED GLASS SHALL COMPLY WITH FEDERAL STANDARDS 16 CFR 1201. 2. TUB AND SHOWER ENCLOSURES TO HAVE EITHER A SHOWER CURTAIN OR SAFETY GLAZED GLASS.

VENTILATION

- I. ALL BATHROOMS SHALL BE VENTED DIRECTLY TO THE EXTERIOR WITH A MINIMUM OF 50 CFM
- INTERMITTENT MECHANICAL VENTILATION FAN. 2. THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF FLOOR JOIST AND EARTH SHALL BE VENTILATED
- WITH A MINIMUM NET AREA OF ONE SQUARE FOOT FOR EACH 150 SF OF UNDER-FLOOR AREA. 3. ATTIC VENTILATION SHALL BE PROVIDED AT A RATE OF I SF TO 150 SF OF THE TOTAL AREA TO BE
- VENTIL ATED. 4. AT EAVE VENTS, A MINIMUM OF I" SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF

![](_page_36_Figure_143.jpeg)

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER 8 NYCRR 69.56

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS

# IPRELIMINARY PLANS NOT FOR CONSTRUCTION

## LINDA J. ZWART ARCHITECT

31 MEADOWOOD ROAD MONTGOMERY, NY 12549 845-361-2969

LICENSED: NEW YORK STATE

![](_page_36_Picture_150.jpeg)

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GENERAL NOTES

DATE: 08 NOV 2022 JOB# 2229

![](_page_37_Picture_0.jpeg)

### **OWNER:**

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL STATED TERMS AND CONDITIONS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED. RICHARD LAWRENCE 5 N END ROAD NEWBURGH, NY 12550 SIGNATURE

# PRELIMINARY SUBDIVISION PLAN FOR **GIOVANNA WARD** TOWN OF NEWBURGH

# **RT ORCHARDS SUBDIVISION** SECTION 7, BLOCK 1, LOT 26.1 ORANGE COUNTY, NEW YORK STATE

![](_page_37_Picture_6.jpeg)

# AERIAL LOCATION MAP

SOURCE: GOOGLE EARTH PRO

GENERAL INFORMATION	
GENERAL NOTES	Colliers
<ol> <li>THE SUBJECT PROPERTY IS KNOWN AS SECTION 7, BLOCK 1, LOT 26.1 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK STATE.</li> <li>THE PROPERTY IS LOCATED IN THE AR ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 80.28 ACRES.</li> <li>OWNER: RICHARD LAWRENCE 5 N END ROAD NEWBURGH, NY 12550 (914) 805-0396</li> <li>APPLICANT: GIOVANNA WARD AND TRADELLE WARD 7 VINEYARD LANE APT 118</li> </ol>	Engineering & Design www.colliersengineering.com Copyright © 2022. Colliers Engineering & Design All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not
NEWBURGH, NY 12550 (845) 742-6274 3. BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "PRELIMINARY	be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.
<ul> <li>SUBDIVISION PLAN", SHEET 2 OF 4, DATED 11/14/2022, PREPARED BY LUCAS J. BOYER, P.L.S. LIC. NO. 50889 OF NEW YORK STATE, OF COLLIERS ENGINEERING &amp; DESIGN CT,P.C.</li> <li>4. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD 1989.</li> </ul>	
5. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER FLOOD INSURANCE RATE MAP 36071C0134E DATED 8/3/2009.	EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE Know what's below.
6. THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. COLLIERS ENGINEERING & DESIGN CT, P.C. HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.	FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM
<ol> <li>THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.</li> <li>DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.</li> <li>THIS SET OF PLANE, HAS REEN PREPARED, FOR THE PURPOSES, OF MUNICIPAL AND ACENCY, REVERAL AND</li> </ol>	
APPROVAL. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PORPOSES OF MONICIPAL AND AGENCT REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.	
10. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED. <u>SITE NOTES</u>	
I. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH DWELLING SHALL BE FURNISHED ON THE INDIVIDUAL ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.	
<ol> <li>REFUSE AND RECYCLABLES SHALL BE STORED WITHIN EACH DWELLING UNIT UNTIL DESIGNATED PICK UP DAY OR WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.</li> <li>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN</li> </ol>	ESCRIPTION
<ul> <li>ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.</li> <li>THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.</li> <li>MATERIALS WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN</li> </ul>	Q     .     .     .     .     .     .     .     .     .     .       MMN BX     .     .     .     .     .     .     .     .     .     .
<ul> <li>ACCORDANCE WITH:</li> <li>A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2018; AS SUPPLEMENTED.</li> <li>B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.</li> <li>C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.</li> </ul>	REV         DATE           DATE         DATE           DATE         DATE
<ul> <li>UTILITY NOTES</li> <li>EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.</li> <li>WATER SERVICE SHALL BE PROVIDED FROM INDIVIDUAL PRIVATE WELLS SUBJECT TO THE APPLICABLE REGULATIONS.</li> <li>GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.</li> <li>TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.</li> <li>THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.</li> </ul>	UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF ARTICLE 145, SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. Digitally signed by Cory Daniel Robinson Date: 2022.11.15 09:25:55-04'00' Date: 2022.15 00' Date: 2022.15 00' Date: 2022.15 00' Date: 2022.15 00' Date: 2022.15 00' Date: 2022.15 00' Date: 2022.15 00'
	PRELIMINARY SUBDIVISION PLAN
	FOR GIOVANNA WARD – RT ORCHARDS SUBDIVISION
	SECTION 7 BLOCK 1 LOT 26.1
	TOWN OF NEWBURGH ORANGE COUNTY NEW YORK STATE
	Colliers         Engineering         & Design         Scale:         As SHOWN         11/15/2022         PROJECT NUMBER:         040007C
	Sheet NUMBER: 1 of 4

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

![](_page_38_Figure_0.jpeg)

FIELD EDGE

S 60'08'19" W 125.92'

![](_page_38_Figure_12.jpeg)

![](_page_38_Picture_13.jpeg)

![](_page_38_Figure_14.jpeg)

## BULK TABLE

ZONING DISTRICT: AR PERMITTED USE: SINGLE FAMILY DWELLING NOT TO EXCEED 1 DWELLING UNIT PER LOT

MINIMUM	REQUIRED	PROPOSED LOT A	PROPOSED LOT B	REMARKS
LOT AREA	40,000 S.F.	3,409,877 S.F. (78.28 ACRES)	87,120 S.F. (2.00 ACRES)	ОК
FRONT YARD SETBACK	50 FEET	N/A	65.0 FEET	ОК
REAR YARD SETBACK	50 FEET	N/A	261.6 FEET	ОК
SIDE YARD SETBACK				
ONE	30 FEET	N/A	51.7 FEET	ОК
вотн	80 FEET	N/A	126.1 FEET	ОК
LOT WIDTH	150 FEET	N/A	199.7 FEET	ОК
MAXIMUM				
BUILDING HEIGHT	35 FEET	N/A	<35'	ОК
LOT COVERAGE	20%	N/A	6%	ОК
BUILDING COVERAGE	10%	N/A	3%	ОК

EXISTING EDGE OF PAVEMENT

DRIVEWAY TO T

INTO EXISTING GRADE

COLANDREA ROAD

RIGHT-OF-WAY

-A-

 $\sim$ 

COLANDREA ROAD

EXISTING FARM ROAD

PROPOSED 10' WIDE

DRIVEWAY CONNECTION

PORTION OF EXISTING

CHAIN LINK FENCE

TO BE REMOVED

DRIVEWAY TO TIE -

INTO EXISTING GRADE

EDGE OF PAVEMENT

RIGHT-OF-WAY

### NOTES:

- SURVEY TITLED "MINOR SUBDIVISION PLAT" PREPARED BY COLLIERS ENGINEERING & DESIGN, DATED 11/14/22.
- ARCHITECTURAL PLANS FOR RT ORCHARD PROVIDED BY LINDA J. ZWART ARCHITECT VIA EMAIL ON NOV. 8, 2022.
- PROPERTY ADJACENT TO PROPOSED LOT B IS IN AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR, MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATION AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.
- EARTHWORK CALCULATIONS: TOTAL CUT: 16 CY TOTAL FILL: 3839 CY NET EARTHWORK: 3823 CY
- CROSS ACCESS EASEMENTS ARE REQUIRED BETWEEN PARENT LOT A AND NEW LOT B FOR CROSSING OF THE "FARM ROAD" THROUGH LOT B AND LOT B'S ACCESS TO THE RIGHT OF WAY.

### SEPTIC NOTES:

- LOW FLOW PLUMBING FIXTURES MUST BE USED IN THE HOME.
- SEPTIC TANK TO HAVE MAXIMUM EARTH COVER OF 12" OR WATER PROOF RISER INSTALLED TO WITHIN 12" OF EXISTING GRADE. ANY COVERS AT GRADE MUST BE LOCKABLE AND WATERTIGHT
- 3. HEAVY EQUIPMENT MUST BE KEPT OFF THE AREA OF THE ABSORPTION FIELD EXCEPT FOR THE ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE AREA OF THE PROPOSED FIELD BEFORE, DURING, OF AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
- 4. THE ABSORPTION FIELD AREA MUST BE STAKED OUT AND PROTECTED WITH ORANGE CONSTRUCTION FENCE THROUGHOUT THE DEVELOPMENT OF THE LOT. TRENCHES MUST NOT BE CONSTRUCTED IN WET SOIL.
- TRENCH BOTTOMS MUST BE DUG LEVEL IN THE LONGITUDINAL AND TRANSVERSE DIRECTIONS.
- 7. SIDES AND BOTTOM OF TRENCHES MUST BE RAKED IMMEDIATELY PRIOR TO PLACING GRAVEL. 8. THE FIRST LENGTH OF SOLID PIPE LEAVING THE D-BOX MUST BE AT THE SAME SLOPE (0.25% MIN.) FOR ALL OUTLETS FOR A MINIMUM OF 30" TOWARDS LATERALS. DISTRIBUTION PIPE SHALL BE PVC SDR 35.
- 9. 90 DEGREE BENDS ARE PROHIBITED IN THE EFFLUENT LINE LEADING TO THE D-BOX. 10. NO ROOF, CELLAR, OR FOOTING DRAINS TO BE DISCHARGED TO SEWAGE DISPOSAL SYSTEM. 11. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY & SEWAGE DISPOSAL FACILITIES AT THE TIME OF CONSTRUCTION. PRIOR TO THE OCCUPANCY OF THE DWELLING, THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK IOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
- 12. RESULTS INDICATED FOR SEPTIC DESIGN (PERCOLATION AND DEEP TESTS) ARE RESULTS FROM ACTUAL FIELD TESTING PERFORMED ON 9/30/22. 13. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE
- SPA TUBS OVER 100 GALLONS OR SOFTENER BACKFLOWS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM. 14. SURFACE WATER DIVERSION SWALES MUST BE INSTALLED AS REQUIRED TO DIRECT OVERLAND SHEET FLOW AWAY FROM THE ABSORPTION FIELD.
- 15. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED WITHOUT REVIEW AND APPROVAL OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK.
- 16. THERE SHALL BE NO RE-GRADING IN THE AREA OF THE ABSORPTION FIELD AND EXPANSION AREA. 17. NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE
- LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD OR EXPANSION AREA. 18. THERE MUST BE UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE BUILDING,
- ALLOWING SEPTIC GASSES TO DISCHARGE THROUGH THE VENT STACK. 19. SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- 20. DISTRIBUTION BOXES SHOULD BE INSPECTED ANNUALLY TO ASSURE THEY ARE LEVEL AND OPERATING PROPERLY.
- 21. UNAUTHORIZED REPRODUCTION OR ALTERATION TO THIS DRAWING IS PROHIBITED. 22. DIG SAFELY NEW YORK MUST BE CONTACTED PRIOR TO ANY EXCAVATION OF DEMOLITION (DIAL 811 OR WWW.DIGSAFELYNEWYORK.COM)

### SEPTIC SYSTEM DESIGN TABLE

STABILIZED PERC RATE (MIN/INCH)	DESIGN PERC RATE (MIN/INCH)	DEEP TEST INFORMATION	TRENCH LENGTH REQUIRED (FEET)	DESIGN TRENCH LENGTH (FEET)	DESIGN 50% RESERVE LENGTH (FEET)
<u>SYSTEM &amp; RESERVE</u> DATE 9/30/22 TEST P-I (24" DEPTH) RATE = 8:56 DATE 9/30/22 TEST P-2 (24" DEPTH) RATE = 9:24 DATE 9/30/22 TEST P-5 (24" DEPTH) RATE = 2:22 DATE 9/30/22 TEST P-6 (24" DEPTH) RATE = 11:32	16-20	D-1 (DATE: 9/30/22) 0 - 12" DARK BROWN TOPSOIL 12" - 77" SANDY LOAM WITH COBBLES AND SHALE SHALE AT 44" NO WATER, REFUSAL, OR MOTTLING D-2 (DATE: 9/30/22) 0 - 12" DARK BROWN TOPSOIL 12" - 68" SANDY LOAM WITH COBBLES AND SHALE SHALE AT 26" NO WATER, REFUSAL, OR MOTTLING D-3 (DATE: 9/30/22) 0 - 13" DARK BROWN TOPSOIL 13" - 76" SANDY LOAM WITH COBBLES AND SHALE SHALE AT 41" NO WATER, REFUSAL, OR MOTTLING	4 BEDROOMS = 440 GPD DESIGN FLOW= 440 GPD DESIGN RATE = 16-20 MIN/IN APP. RATE = 0.7 GPD/SF REQ. AREA = 440/.7 = 630 SF REQUIRED TRENCH LENGTH= (2' WIDE TRENCHES) $\frac{630}{2}$ = 315 FEET	6 LATS @ 55' EA. = 330 LF	REQUIRED RESERVE LENGTH: 315 * 0.5 = 157.5 LF DESIGN RESERVE: 3 LATS @ 55' EA. = 165 LF

![](_page_39_Figure_27.jpeg)

MINIMUM HORIZONTAL SEPARATION DISTANCE (in FEET)						
EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED		
REQUIRED MINIMUM HOR	REQUIRED MINIMUM HORIZONTAL SEPARATION DISTANCES PER PUBLIC					
	HEALTH	H LAW				
DRILLED WELL - PUBLIC WATER SYSTEM	100	50	200	>100, >50, >200		
WATER LINE (PRESSURE)	10	10	10	>10		
RECOMMENDED MINIMUM HORIZONTAL SEPARATION DISTANCES						
SURFACE WATER	50	25	100	>100		
INTERCEPTOR DRAIN / OPEN DRAINAGE DIVERSION TO GROUNDWATER	25	25	50	>25, >25, >50		
STORMWATER MANAGEMENT PRACTICE DISCHARGING TO SURFACE WATER	50	25	100	>50, >25, >100		
CULVERT (TIGHT PIPE)	25	10	35	>25, >10, >35		
CULVERT OPENING	25	25	50	>25, >25, >50		
CATCH BASIN	25	N/A	50	>25, >50		
FOUNDATION	10	N/A	20	10, >25		
PROPERTY LINE	10	10	10	>10		
WETLAND (NYSDEC)	100	100	100	>100		

![](_page_39_Figure_30.jpeg)

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

![](_page_40_Figure_0.jpeg)

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

![](_page_41_Figure_0.jpeg)