

TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT NAME: STARBUCKS COFFEE COMPANY – NEWBURGH

RETAIL DEVELOPERS LLC -AMENDED SITE PLAN

PROJECT NO.: 2024-08

PROJECT LOCATION: SECTION 97, BLOCK 2, LOT 34/1282 UNION AVE

REVIEW DATE: 11 APRIL 2024 MEETING DATE: 18 APRIL 2024

PROJECT REPRESENTATIVE: KIMLEY HORN/ DAVE LOFRISCO

- 1. The project involves a 700 square foot expansion with site improvements including grading, landscaping, striping, directional signage, and a new drive through order menu location.
- 2. The proxy appears to authorize a Nicole Davis to represent the Planning Board meeting while other forms in the application are signed by a David LoFrisco.
- 3. The Planning Board should determine whether an overall site parking calculation is required.
- 4. Amended site plan requires Orange County Department of Planning referral.
- 5. Adjoiner's Notices must be circulated.
- 6. The applicant's representative requested to address whether the facility will attempt to remain open during the improvements.
- 7. Town of Newburgh requires double striped parking spaces per attached detail.

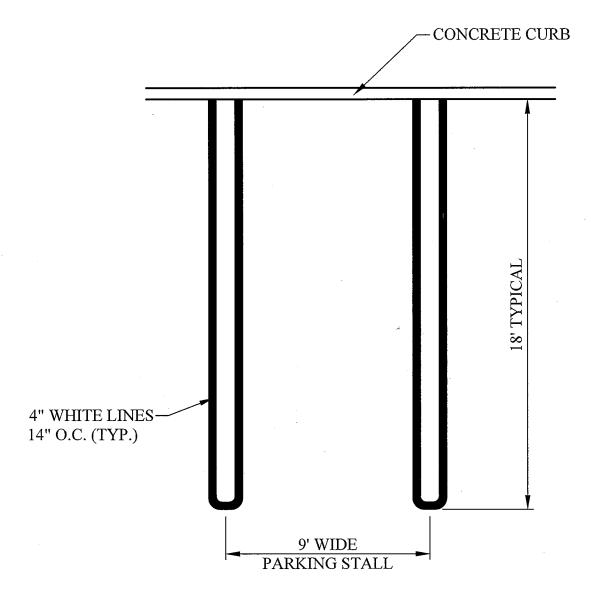
Respectfully submitted,

MHE Engineering, D.P.C.

Patrick J. Hines

Principal PJH/ltm

atul & Olines



- TYPICAL PARKING SPACE DETAIL
- SCALE: N.T.S.



February 26, 2024

Re: Starbucks Drive-Thru Modifications 1282 Union Avenue, Newburgh, NY

Kimley-Horn has been retained by the tenant, Starbucks Coffee Company, to provide civil engineering services at 1282 Union Avenue, Newburgh, NY on behalf of property owner Newburgh Retail Developers, LLC.

The scope of work for this project proposes site and building modifications to the existing Starbucks drive through commercial building. Site improvement include minor grading, landscaping, striping, directional signage, drive-thru order and menu equipment relocation, and an approximately 700 sf building expansion. The building expansion is proposed to add more employee space for operations and order preparation. There is a proposed reduction of 12 stalls with a proposed addition of 9 drive through stacking spaces.

Today, well over 50% of Starbucks transaction happen through the drive-thru window or customer counter pick up. Although customers do sit in Starbucks cafés, the existing drive-thru does not provide sufficient stacking capacity for the existing drive-thru demand. During peak hours, the existing drive-thru stack often overflows into the adjacent drive lanes, causing overall site congestion issues and limiting or prohibiting access to surrounding parking spaces. The proposed drive through layout is intended to better manage the existing peak customer demand at this location and is not anticipated to generate additional traffic volume.

This package includes site plan drawings for the exterior modifications. Building modifications are to be filed under separate application.

If you have any questions, please call me at (332) 213-1083.

Sincerely,

KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.

David Lofusion	02-26-2024
David LoFrisco, P.E.	Date

TOWN OF NEWBURGH APPLICATION FOR SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, New York 12550

DA	TE RECEIVED	: 4/01/2024	TOWN FILE NO: 24-08
	(Ap	plication fee return	able with this application)
1.		ision/Site Plan (Proj s Coffee Co	ect name):
2.		s to be reviewed:	
	Name	Newburgh Retail Develo	•
	Address	1224 Mill St., Buildi	
		East Berlin, CT 060)23
	Phone	860-561-0121	
3.	Applicant Infor	rmation (If different	than owner):
	Name	Starbucks Coffee Co	
	Address	PO 34442 STAX 2	
		Seattle, WA 98124	
	•	ive Dave LoFrisco	
	Phone	332-213-1083	
	Fax		
	Email	Dave.LoFrisco@kim	nley-horn.com
4.	Subdivision/Site	e Plan prepared by:	
	Name	Kimley Horn	
	Address	60 E 422nd St., Ste. 1	730
		New York, NY 10165	
	Phone/Fax	332-213-1083	
5.		ds to be reviewed: Ave., Newburgh, NY	′ 12550
6.	Zone IB		Fire District Winona Lake Fire District
•	Acreage 10.2		School District Newburgh City School District
7.	Tax Map: Sect	ion ⁹⁷ Bl	lock 2 Lot 34

8.	Project Des					6 11.4 4
				<u> </u>	Numbe	r of proposed lots 1
		change _			tallatian i	tining lands on in a
	_					striping, landscaping
	Clearing Other	g and grad	ing <u>Gra</u>	ading, Landsca	ping, Strip	ing in drive-thru lane
TH	OVIDE A VIE PROJEC	Т				PTION OR NARRATIVE OF
•				restrictions on p	•	nis time
10.		_	-		•	he Planning Board of the above pearance on an agenda:
	Signature	Davia	LOF	risco	_ Title	Authorized Agent
	Date:	3/14/2024			-	

<u>NOTE:</u> If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Starbucks Coffee Co

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board **Application Form.** 1. ✓ Environmental Assessment Form As Required 2. **Proxy Statement** 3. **Application Fees** 4. Completed Checklist (Automatic rejection of application without checklist) II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection. 1. ✓ Name and address of applicant 2. Name and address of owner (if different from applicant) 3. ✓ Subdivision or Site Plan and Location 4. ✓ Tax Map Data (Section-Block-Lot) 5. \checkmark Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined 6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot 7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone 8. Date of plan preparation and/or plan revisions 9. \checkmark Scale the plan is drawn to (Max 1" = 100')

10. ✓ North Arrow pointing generally up

11. V Surveyor,s Certification Please see provided survey PDF 12. Surveyor's seal and signature Please see provided survey PDF 13. Name of adjoining owners 14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements 15. N/A Flood plain boundaries 16. N/A Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989 17.____ Metes and bounds of all lots Please see provided survey PDF 18. <a>✓ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street 19. ✓ Show existing or proposed easements (note restrictions) 21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide) 22. ✓ Lot area (in sq. ft. for each lot less than 2 acres) 23. V Number of lots including residual lot 24. N/A Show any existing waterways 25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable 26. N/A Applicable note pertaining to owners review and concurrence with plat together with owner's signature No adjustments to property lot lines are proposed 27. N/A Show any improvements, i.e. drainage systems, water lines, sewer lines, etc. 28. N/A Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided 29. ✓ Show topographical data with 2 or 5 ft. contours on initial submission

date and previous lot number
31.N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. N/A Number of acres to be cleared or timber harvested
33. N/A Estimated or known cubic yards of material to be excavated and removed from the site Material removal is anticipated to be minimal for this project scope
34 Estimated or known cubic yards of fill required Fill volume anticipated to be minimal for this project scope
35. ✓ The amount of grading expected or known to be required to bring the site to readiness
 36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards. No site preparation falls within the 100ft buffer strip of wetlands. The site is not located within or adjacent to a state listed Critical Environmental Area. 37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards. No site preparation falls within or near the existing water course on the eastern portion of the site. The site is not located within a 100 year floodplain.
38List of property owners within 500 feet of all parcels to be developed (see attached statement). To be provided by Town Assessor Office
The plan for the proposed subdivision or site has been prepared in accordance with this checklist. By:
This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may by exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you many be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH APPLICATION FOR CLEARING AND GRADING

Name of applicant: Starbucks Coffee Co	
Name of owner on premises: Newburgh Retail	l Developers, LLC
Address of owner: 1224 Mill St., Building D, East	st Berlin, CT 06023
Telephone number of owner: 860-561-0121	
Telephone number of applicant: <u>332-213-1083</u>	
State whether applicant is owner, lessee, agent, a Engineer	
Location of land on which proposed work will be	e done: 1282 Union Ave., Newburgh, NY 12550
Section: <u>97</u> Block: <u>2</u> Lot: <u>3</u>	34 Sub. Div.:
Zoning District of Property: _IB	Size of Lot: 10.2 ac
Area of lot to be cleared or graded: 0.18 ac	
Proposed completion of date: _TBD	
Name of contractor/agent, if different than owner	er: _TBD
Address:	
Telephone number:	
Date of Planning Board Approval:	(if required)
I hereby agree to hold the Town of Newburgh ha	armless from any claims arising
from the proposed activity.	
Signature of owner:	
Signature of applicant (if different than owner):	David LoFrisco
TOWN ACTION:	
Examined:	20
Approved:	20
Disapproved:	20

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

David LoFrisco
APPLICANT'S NAME (printed)
•
D : 11 / -:
David LoFrisco
APPLICANTS SIGNATURE
3/14/2024
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Newburgh Retail, DEPOSES AND SAYS THAT HE/SHE
RESIDES AT 1224 Mill Street, Bldg D, Svite 103, East Berling CT
IN THE COUNTY OF
AND STATE OF CONNECTICUT
AND THAT HE/SHE IS THE OWNER IN FEE OF _Starbucks Coffee Co
1282 Union Ave., Newburgh, NY 12550
WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Nicole Davis IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.
DATED: 2/15/23 WEWBURG RETAIL DEVELOPERS, US owners SIGNATURE KELY 1055
Dave LoFrisco
Luke Boswell OWNERS NAME (printed)
David Shipe WITNESS' SIGNATURE
NAMES OF ADDITIONAL REPRESENTATIVES WITNESS' SIGNATURE WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which

contains the Town's Zoning Law, is subject to amendment. Submission of an application

to this Board does not grant the applicant any right to continued review under the Code's

current standards and requirements. It is possible that the applicant will be required to

meet changed standards or new Code requirements made while the application is

pending.

An approval by this Board does not constitute permission, nor grant any right to

connect to or use municipal services such as sewer, water or roads. It is the applicant's

responsibility to apply for and obtain the Town of Newburgh and other agency approvals

not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

3/14/2024 David LoFrisco

> **DATED APPLICANT'S NAME** (printed)

> > David LoFrisco

Full Environmental Assessment Form Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Starbucks Newburgh - Drive-Thru and Menu Relocation			
Project Location (describe, and attach a general location map):			
1282 Union Avenue, Newburgh, NY; Tax Parcel 97-2-34			
Brief Description of Proposed Action (include purpose or need):			
The scope of work for this project proposes the retrofit of an existing drive-thru commercial landscaping, striping, directional signage, and the installation of a drive-thru pre-menu board canopy. The existing +/- 1,820 sf building will be expanded by +/- 638 sf to include additional outdoor patio with seating. The proposed action is part of a larger retail parcel (approximate retail spaces.	d, 5-panel menu board and digital ord al seating and the outdoor area will be	der-point with overhead e modified to include an	
Name of Applicant/Sponsor:	Name of Applicant/Sponsor: Telephone: 332-213-1083		
Dave LoFrisco (Kimley-Horn), Authorized Agent of Starbucks Coffee Company	E-Mail: Dave.LoFrisco@kimley-horn.com		
Address: Kimley Horn, 60 E. 42nd Street, Suite 1730			
City/PO: New York	State: NY	Zip Code: 10165	
Project Contact (if not same as sponsor; give name and title/role):	Telephone:		
same	E-Mail:		
Address:			
City/PO:	State:	Zip Code:	
Property Owner (if not same as sponsor):	Telephone: 860-561-0121	l	
Newburgh Retail Developers, LLC	E-Mail:		
Address: 1224 Mill Street, Building D	•		
City/PO: East Berlin	State: CT	Zip Code: ₀₆₀₂₃	

B. Government Approvals

B. Government Approvals, Funding, or Spor assistance.)	nsorship. ("Funding" includes grants, loans, ta	x relief, and any other	r forms of financial
Government Entity			on Date projected)
a. City Counsel, Town Board, ☐ Yes ✓ No or Village Board of Trustees			
b. City, Town or Village ✓Yes□No Planning Board or Commission	Planning Board: Site Plan App., SEQR		
c. City, Town or ☐Yes ✓No Village Zoning Board of Appeals			
d. Other local agencies ✓Yes□No	Building Department: Building Permit		
e. County agencies ☐Yes✔No			
f. Regional agencies ☐Yes ☑No			
g. State agencies □Yes☑No			
h. Federal agencies ☐Yes ☑No			
i. Coastal Resources.i. Is the project site within a Coastal Area, or	or the waterfront area of a Designated Inland Wa	aterway?	□Yes ☑ No
 ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? iii. Is the project site within a Coastal Erosion Hazard Area? 			
C. Planning and Zoning			
C.1. Planning and zoning actions.			
 Will administrative or legislative adoption, or an only approval(s) which must be granted to enable. If Yes, complete sections C, F and G. If No, proceed to question C.2 and con 		-	∐Yes Z No
C.2. Adopted land use plans.			
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?			
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) If Yes, identify the plan(s): Hudson Valley Greenway Compact Community, Quassaick Creek Watershed Management Plan			
c. Is the proposed action located wholly or part or an adopted municipal farmland protection If Yes, identify the plan(s): Orange County Open Space Plan, Open Space P		oal open space plan,	∠ Yes□No

□No
□No
Z No
n Park
all
□ No ınits,
✓No
□No
✓ No bhase may

	et include new resid				□Yes ☑ No
If Yes, show nun	nbers of units propo One Family	sed. Two Family	Three Family	Multiple Femily (four or more)	
	One ranny	1 wo ranniy	Timee Family	Multiple Family (four or more)	
Initial Phase					
At completion of all phases					
or an phases					
	osed action include	new non-residentia	al construction (inclu	iding expansions)?	∠ Yes □ No
If Yes,	of structures	1			
ii Dimensions (in feet) of largest p	roposed structure:	18 height:	66' width; and 36' length	
<i>iii</i> . Approximate	extent of building	space to be heated	or cooled:	2,460 square feet	
				l result in the impoundment of any	☐Yes Z No
				agoon or other storage?	
If Yes,					
<i>i</i> . Purpose of the	e impoundment:	. 1	, ,	☐ Ground water ☐ Surface water stream	
<i>u</i> . If a water imp	oundment, the prin	cipal source of the	water:	☐ Ground water ☐ Surface water stream	ns Other specify:
iii. If other than v	water, identify the ty	ype of impounded/o	contained liquids an	d their source.	
in Annaviranta	giza of the muchans	d impoundment	Volume	million galland, gunface area.	00400
v Dimensions c	size of the propose of the proposed dam	a impoundment. Lor impounding str	voiume:	million gallons; surface area:height;length	acres
vi. Construction	method/materials	for the proposed da	m or impounding st	ructure (e.g., earth fill, rock, wood, cond	crete):
D.2. Project Op					
				uring construction, operations, or both?	□Yes ⊘ No
		ation, grading or in	stallation of utilities	or foundations where all excavated	
materials will naterials will not seen that the seen that	emain onsite)				
	irpose of the excava	ation or dredging?			
ii. How much ma	terial (including ro	ck, earth, sediment	s, etc.) is proposed t	o be removed from the site?	
 Volume 	(specify tons or cu	bic yards):			
 Over wł 	nat duration of time	?			
<i>iii</i> . Describe natu	re and characteristi	cs of materials to b	e excavated or dred	ged, and plans to use, manage or dispose	e of them.
	onsite dewatering				☐Yes☐No
If yes, descri	be				
w What is the to	atal area to be drede	rad an avaayatad?		aavag	
v. What is the m	otal area to be dredg	ged of excavated?	time?	acresacres	
vii. What is the if	be the maximum de	onth of excavation of	or dredging?	feet	
	avation require blas				□Yes□No
ix. Summarize sit	te reclamation goals	s and plan:			
1 337 114	1	1, 1, 1, ,1	C : 1		
			on of, increase or de ch or adjacent area?	crease in size of, or encroachment	☐Yes No
If Yes:	ms wenand, water	ouy, shorenie, bea	on or aujacent area?		
	vetland or waterbod	ly which would be	affected (by name, v	water index number, wetland map numb	er or geographic

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:			
<i>iii.</i> Will the proposed action cause or result in disturbance to bottom sediments? If Yes, describe:	□Yes□No		
iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? If Yes:	☐ Yes ☐ No		
acres of aquatic vegetation proposed to be removed:			
 expected acreage of aquatic vegetation remaining after project completion: purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): 			
 proposed method of plant removal: if chemical/herbicide treatment will be used, specify product(s): 			
v. Describe any proposed reclamation/mitigation following disturbance:			
c. Will the proposed action use, or create a new demand for water? (no change from existing If Yes:) ∐Yes Z No		
i. Total anticipated water usage/demand per day: gallons/day			
ii. Will the proposed action obtain water from an existing public water supply?If Yes:	□Yes □No		
Name of district or service area:			
Does the existing public water supply have capacity to serve the proposal?Is the project site in the existing district?	□ Yes□ No □ Yes□ No		
 Is expansion of the district needed? 	☐ Yes☐ No		
 Do existing lines serve the project site? 	☐ Yes☐ No		
iii. Will line extension within an existing district be necessary to supply the project? If Yes:	□Yes □No		
Describe extensions or capacity expansions proposed to serve this project:			
Source(s) of supply for the district:			
<i>iv.</i> Is a new water supply district or service area proposed to be formed to serve the project site? If, Yes:	☐ Yes☐No		
Applicant/sponsor for new district:			
Date application submitted or anticipated:			
 Proposed source(s) of supply for new district: v. If a public water supply will not be used, describe plans to provide water supply for the project: 			
v. If a public water supply will not be used, describe plans to provide water supply for the project:			
vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: gallons	/minute.		
d. Will the proposed action generate liquid wastes? (no change from existing) If Yes:	□ Yes ☑ No		
 i. Total anticipated liquid waste generation per day: gallons/day ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all composition approximate volumes or proportions of each): 			
iii. Will the proposed action use any existing public wastewater treatment facilities?If Yes:	□Yes □No		
Name of wastewater treatment plant to be used:			
Name of district: Does the existing visctory treatment plant have conscitute converted president.	□V _C - □NT		
 Does the existing wastewater treatment plant have capacity to serve the project? Is the project site in the existing district? 	□Yes□No □Yes□No		
 Is expansion of the district needed? 	□ Yes □No		
-			

 Do existing sewer lines serve the project site? 	□Yes□No
• Will a line extension within an existing district be necessary to serve the project?	□Yes□No
If Yes:	
 Describe extensions or capacity expansions proposed to serve this project: 	
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?	□Yes□No
If Yes:	
Applicant/sponsor for new district: Data application submitted or anticipated:	
Date application submitted of anticipated.	
What is the receiving water for the wastewater discharge?	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including spec	ifying proposed
receiving water (name and classification if surface discharge or describe subsurface disposal plans):	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste:	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point	□Yes ☑ No
sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point	
source (i.e. sheet flow) during construction or post construction?	
If Yes:	
i. How much impervious surface will the project create in relation to total size of project parcel?	
Square feet or acres (impervious surface)	
Square feet or acres (parcel size)	
ii. Describe types of new point sources.	
iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent p	roperties,
groundwater, on-site surface water or off-site surface waters)?	
If to surface waters, identify receiving water bodies or wetlands:	
in to surface waters, identify receiving water bodies of wetlands.	
Will stormwater runoff flow to adjacent properties?	□Yes□No
<i>iv.</i> Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?	∐Yes∐No
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel	□Yes ☑ No
combustion, waste incineration, or other processes or operations?	
If Yes, identify:	
i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)	
ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)	
iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit,	□Yes ☑ No
or Federal Clean Air Act Title IV or Title V Permit?	
If Yes:	
<i>i.</i> Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet	□Yes□No
ambient air quality standards for all or some parts of the year)	
ii. In addition to emissions as calculated in the application, the project will generate:	
•Tons/year (short tons) of Carbon Dioxide (CO ₂)	
•Tons/year (short tons) of Nitrous Oxide (N ₂ O)	
•Tons/year (short tons) of Perfluorocarbons (PFCs)	
•Tons/year (short tons) of Sulfur Hexafluoride (SF ₆)	
•Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)	
• Tons/year (short tons) of Hazardous Air Pollutants (HAPs)	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? If Yes: i. Estimate methane generation in tons/year (metric): ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring):				
i. Will the proposed action result in the release of air pollut quarry or landfill operations? If Yes: Describe operations and nature of emissions (e.g., describe)		□Yes ☑ No		
 j. Will the proposed action result in a substantial increase in new demand for transportation facilities or services? If Yes: i. When is the peak traffic expected (Check all that apply Randomly between hours of	y): ☐ Morning ☐ Evening ☐ Weekend	Yes _/ No		
 iii. Parking spaces: Existing	available within ½ mile of the proposed site? portation or accommodations for use of hybrid, electric	□Yes□No		
 k. Will the proposed action (for commercial or industrial proposed for energy? If Yes: i. Estimate annual electricity demand during operation of ii. Anticipated sources/suppliers of electricity for the projectother): 	(no change from existing demand will be met with the proposed action: ect (e.g., on-site combustion, on-site renewable, via grid	th natural gas) /local utility, or		
 iii. Will the proposed action require a new, or an upgrade, t l. Hours of operation. Answer all items which apply. i. During Construction: Monday - Friday: 8 AM - 8 PM Saturday: 8 AM - 8 PM Sunday: 10 AM - 8 PM Holidays: 10 AM - 8 PM 	ii. During Operations: • Monday - Friday: 5:30 AM - 9:30 • Saturday: 5:30 AM - 9:30 • Sunday: 5:30 AM - 9:30 • Holidays: 5:30 AM - 9:30	PM PM		

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction,	∠ Yes □ No
operation, or both?	
If yes:	
i. Provide details including sources, time of day and duration:	
Proposed action may exceed ambient levels during construction due to the use of typical construction equipment. Noise will reflevels when construction is complete.	urn to ambient
ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?	☐ Yes Z No
Describe:	
Describe.	
n. Will the proposed action have outdoor lighting?	✓ Yes □No
If yes:	
<i>i.</i> Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:	
Wall sconces are proposed on each wall of the building, 6.5' high, direction - down, aim - up, approximately 78 ft from nearest o	ccupied structure.
ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?	☐ Yes Z No
Describe:	
	_
o. Does the proposed action have the potential to produce odors for more than one hour per day?	☐ Yes Z No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest	
occupied structures:	
p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons)	☐ Yes Z No
or chemical products 185 gallons in above ground storage or any amount in underground storage?	LI TES ZINO
If Yes:	
i. Product(s) to be stored	
iii. Generally, describe the proposed storage facilities:	
q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides,	☐ Yes ☑ No
insecticides) during construction or operation?	
If Yes:	
<i>i.</i> Describe proposed treatment(s):	
Will the proposed nation use Integrated Doct Management Practices?	☐ Yes ☐No
ii. Will the proposed action use Integrated Pest Management Practices?r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal	✓ Yes □No
of solid waste (excluding hazardous materials)?	M 168 1140
If Yes:	
<i>i.</i> Describe any solid waste(s) to be generated during construction or operation of the facility:	
• Construction: TBD tons per (unit of time)	
• Operation : 0.4 tons per week (unit of time)	
ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:	
• Construction:	
Operation:will recycle as required by corporate policy and local law	
iii. Proposed disposal methods/facilities for solid waste generated on-site:	
Construction: Licensed private carter	
Operation:Licensed private carter	

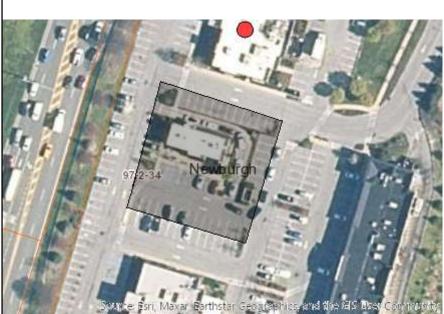
s. Does the proposed action include construction or modification of a solid waste management facility?					
If Yes: i Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or					
 Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): 					
ii. Anticipated rate of disposal/processing:					
•Tons/month, if transfer or other non-		, or			
• Tons/hour, if combustion or thermal	treatment				
	years				
t. Will the proposed action at the site involve the comme	ercial generation, treatment, sto	orage, or disposal of hazard	ous ∏Yes ∕ No		
waste?					
If Yes:	. 1.1 11.1	1 . () '1' .			
i. Name(s) of all hazardous wastes or constituents to be	e generated, nandled or manag	ed at facility:			
			-		
ii. Generally describe processes or activities involving l	hazardous wastes or constituen	nts:			
	/ 1		_		
<i>iii</i> . Specify amount to be handled or generatedt iv. Describe any proposals for on-site minimization, rec		onstituants:			
iv. Describe any proposais for on-site minimization, rec	cycling of feuse of hazardous c	onstituents.			
v. Will any hazardous wastes be disposed at an existing	g offsite hazardous waste facili	ity?	□Yes□No		
If Yes: provide name and location of facility:					
ICN - 1 - 1 1 - 1 1 1 1 - 1 1 - 1 1 - 1 1 - 1 1 - 1 1 -		t 1 1			
If No: describe proposed management of any hazardous	wastes which will not be sent	to a nazardous waste facilit	y:		
			_		
E. Site and Setting of Proposed Action					
E.1. Land uses on and surrounding the project site					
a. Existing land uses.					
i. Check all uses that occur on, adjoining and near the	project site.				
☐ Urban ☐ Industrial ☑ Commercial ☐ Resid		(non-farm)			
	r (specify):				
<i>ii.</i> If mix of uses, generally describe: food establishments (fast food/fast casual/restaurant), retail space	20				
1000 establishments (last 1000/last casual/lestaurant), letail spac	;e				
			,		
b. Land uses and covertypes on the project site.					
Land use or	Current	Acreage After	Change		
Covertype	Acreage	Project Completion	(Acres +/-)		
Roads, buildings, and other paved or impervious gurfaces.	0.15	0.14	-0.1		
• Forested					
 Meadows, grasslands or brushlands (non- agricultural, including abandoned agricultural) 					
• Agricultural					
(includes active orchards, field, greenhouse etc.)					
Surface water features					
(lakes, ponds, streams, rivers, etc.)					
Wetlands (freshwater or tidal)					
Non-vegetated (bare rock, earth or fill)					
• Other	• Other				
Describe: landscaping/lawn	0.3	0.4	+0.1		
	1				

i. If Yes: explain: A. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes: Does the project site contain an existing dam? If Yes: Dome the project site contain an existing dam? If Yes: Dam length: Dam length: Dam length: Surface area: Surface area: Acres Volume impounded: It. Dam's existing hazard classification: Iti. Provide date and summarize results of last inspection: E. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility. The state project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: I. Has the project site overe/documentation: Iti. Describe the location of the project site relative to the boundaries of the solid waste management facility: Iti. Describe any development constraints due to the prior solid waste activities: J. Has the project site active to the project site activities in the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: J. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: No remedial actions been conducted at or adjacent to the proposed site? If Yes: J. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site memediation database? Provide DEC ID number(s): Provide DEC ID number(s): Wes Pills Incidents database Provide DEC ID number(s): Wes Pills Incidents database? Provide DEC ID number(s): It is the project within 2000 feet of any site in the NYSDEC Environnental Site Remediation database? Provide DEC ID number(s): It is the project within 2000 feet of any site in the NYSDEC Environnental Site Remediation database? Provide DEC ID number(s):	c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain:	
day care centers, or group homes) within 1500 feet of the project site? If Yes, I. Identify Facilities:		□Yes☑No
If Yes: i. Dimensions of the dam and impoundment: bam length: cylonians of the dam and impoundment: bam length: cylonians of the dam and impoundment: cylonians length: cylonians length: cylonians existing hazard classification: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Provide date and summarize results of last inspection: iii. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility? If Yes: i. Has the facility been formally closed? cylonians of the solid waste management facility: iii. Describe the location of the project site relative to the boundaries of the solid waste management facility: iii. Describe any development constraints due to the prior solid waste activities: g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: iii. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: iii. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site cylonians of the site listed on the NYSDEC Spills Incidents database or Environmental Site cylonians of RCRA corrective activities, describe control measures: iii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? cylonians of the site is adjoin property which is now or was at one time, used as a solid waste management facility? g. Have hazardou	If Yes,	∐Yes ∕ No
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Dam height:	If Yes:	
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Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? □ Yes ► No If yes, provide DEC ID number(s):	 i. Describe waste(s) handled and waste management activities, including approximate time when activities occur n. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? if Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: 	□Yes ☑ No
ii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ✓ No f yes, provide DEC ID number(s):	 i. Describe waste(s) handled and waste management activities, including approximate time when activities occur n. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? f Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes – Spills Incidents database Provide DEC ID number(s): Provide D	□Yes ☑ No
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ✓ No If yes, provide DEC ID number(s):	 i. Describe waste(s) handled and waste management activities, including approximate time when activities occur h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes – Spills Incidents database Provide DEC ID number(s): Provide DEC ID number(s): 	□Yes ☑ No
If yes, provide DEC ID number(s):	i. Describe waste(s) handled and waste management activities, including approximate time when activities occur th. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes - Spills Incidents database Provide DEC ID number(s): Yes - Environmental Site Remediation database Neither database	□Yes ☑ No
	i. Describe waste(s) handled and waste management activities, including approximate time when activities occur th. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes - Spills Incidents database Provide DEC ID number(s): Yes - Environmental Site Remediation database Neither database	□Yes ☑ No
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):	i. Describe waste(s) handled and waste management activities, including approximate time when activities occur n. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? f Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes – Spills Incidents database Yes – Environmental Site Remediation database Neither database i. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?	☐Yes No
	i. Describe waste(s) handled and waste management activities, including approximate time when activities occur h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes – Spills Incidents database Provide DEC ID number(s): Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s):	☐Yes No

v. Is the project site subject to an institutional control limiting property uses?	□Yes ☑ No
If yes, DEC site ID number:	
Describe the type of institutional control (e.g., deed restriction or easement):	
 Describe any use limitations: Describe any engineering controls: 	
 Will the project affect the institutional or engineering controls in place? 	□Yes□No
Explain:	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site?	feet
b. Are there bedrock outcroppings on the project site?	☐ Yes Z No
If Yes, what proportion of the site is comprised of bedrock outcroppings?	
c. Predominant soil type(s) present on project site: MdC: Mardin gravelly silt loam	100 %
	%
d. What is the average depth to the water table on the project site? Average:1_4 fee	t
e. Drainage status of project site soils: ✓ Well Drained:	
☐ Moderately Well Drained:% of site	
Poorly Drained% of site	
f. Approximate proportion of proposed action site with slopes: 0-10%:	% of site
	100 % of site
15% or greater:	% of site
g. Are there any unique geologic features on the project site?	☐ Yes 夕 No
If Yes, describe:	
h. Surface water features.	TVac/Na
<i>i.</i> Does any portion of the project site contain wetlands or other waterbodies (including stream ponds or lakes)?	nms, rivers,
<i>ii.</i> Do any wetlands or other waterbodies adjoin the project site?	∠ Yes No
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by a	ıny federal, ✓Yes ☐No
state or local agency?	
iv. For each identified regulated wetland and waterbody on the project site, provide the follo	•
• Streams: Name C	
 Lakes or Ponds: Name Wetlands: Name Freshwater Pond (USFWS) 	lassification proximate Size 0.76 ac (off-site)
• Wetland No. (if regulated by DEC)	<u>0.70 do (011 bito)</u>
v. Are any of the above water bodies listed in the most recent compilation of NYS water qua	ılity-impaired □Yes ☑ No
waterbodies?	
If yes, name of impaired water body/bodies and basis for listing as impaired:	
i. Is the project site in a designated Floodway?	□Yes Z No
j. Is the project site in the 100-year Floodplain?	□Yes Z No □Yes Z No
j. Is the project site in the 100-year Floodplain?k. Is the project site in the 500-year Floodplain?	☐Yes ✔No ☐Yes ✔No ☐Yes ✔No
j. Is the project site in the 100-year Floodplain?k. Is the project site in the 500-year Floodplain?l. Is the project site located over, or immediately adjoining, a primary, principal or sole source.	☐Yes ✔No ☐Yes ✔No ☐Yes ✔No
j. Is the project site in the 100-year Floodplain? k. Is the project site in the 500-year Floodplain?	Yes ✓No Yes ✓No Yes ✓No Yes ✓No Yes ✓No Yes ✓No

m. Identify the predominant wildlife species that occupy or use the project site: Typical urban species (bird, squirrel,	_
raccoon, mice, etc.)	
	-
n. Does the project site contain a designated significant natural community? If Yes: i. Describe the habitat/community (composition, function, and basis for designation):	□Yes Ø No
ii. Source(s) of description or evaluation:	-
iii. Extent of community/habitat:	
• Currently: acres	
Following completion of project as proposed:	
• Gain or loss (indicate + or -):	
<u> </u>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS a endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened. If Yes: i. Species and listing (endangered or threatened):	ed species?
Indiana Bat (endangered)	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species special concern?	of Yes No
If Yes:	
i. Species and listing:	
	_
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? If yes, give a brief description of how the proposed action may affect that use:	□Yes ☑ No
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to	- Vac ZNia
Agriculture and Markets Law, Article 25-AA, Section 303 and 304? If Yes, provide county plus district name/number:	□Yes Z No
1 A 2 1/2 11 1 2 2 61:11 1 2 2 3	
b. Are agricultural lands consisting of highly productive soils present?	□Yes Z No
i. If Yes: acreage(s) on project site?ii. Source(s) of soil rating(s):	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?	∐Yes ⊉ No
If Yes:	
i. Nature of the natural landmark: Biological Community Geological Feature	
ii. Provide brief description of landmark, including values behind designation and approximate size/exter	nt:
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? If Yes:	☐Yes Z No
i. CEA name:	
ii. Basis for designation:	
iii. Designating agency and date:	

e. Does the project site contain, or is it substantially contiguous to, a bui which is listed on the National or State Register of Historic Places, or Office of Parks, Recreation and Historic Preservation to be eligible for	that has been determined by the Commission			
If Yes: i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District ii. Name:				
iii. Brief description of attributes on which listing is based:				
f. Is the project site, or any portion of it, located in or adjacent to an area archaeological sites on the NY State Historic Preservation Office (SHI		∐Yes Z No		
g. Have additional archaeological or historic site(s) or resources been ide If Yes:	· ·	□Yes ☑ No		
i. Describe possible resource(s):ii. Basis for identification:				
h. Is the project site within fives miles of any officially designated and p scenic or aesthetic resource? If Yes: i. Identify resource:	ublicly accessible federal, state, or local	□Yes ☑ No		
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlo etc.):	ok, state or local park, state historic trail or iles.	scenic byway,		
i. Is the project site located within a designated river corridor under the		☐ Yes Z No		
Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation:				
i. Identify the name of the river and its designation:ii. Is the activity consistent with development restrictions contained in the contained	6NYCRR Part 666?	□Yes □No		
F. Additional Information Attach any additional information which may be needed to clarify your If you have identified any adverse impacts which could be associated as measures which you propose to avoid or minimize them.		pacts plus any		
G. Verification I certify that the information provided is true to the best of my knowled	dge.			
Applicant/Sponsor Name Bonnie Von Ohlsen	Date 1/10/2024			
Signature Brune Vn Dukan	Title_Planning Consultant for Applicant			



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.I. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

NEWBURGH EXPANSION

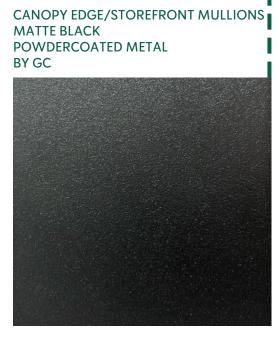
1282 UNION AVE. NEWBURGH, NY 12550

EIFS - DRYVIT - START - 06 1022 PAINTED SHERMAN WILLIAMS - SW7069 IRON ORE

SW 7069 Iron Ore







WOOD SIDING/CANOPY UNDERSIDE. WEKA SPEC. BY RESAWN TEIMBER CO.





CONSTRUCTION DRAWINGS

FOR

STARBUCKS NEWBURGH DRIVE-THRU MENU RELOCATION

1282 UNION AVE NEWBURGH, NY AUGUST 2023

PROJECT TEAM

CIVIL ENGINEER
KIMLEY-HORN ENGINEERING AND LANDSCAPE
ARCHITECTURE OF NEW YORK, P.C.
60 EAST 42ND STREET, SUITE 1730
NEW YORK, NY 10165

TEL: (332) 213-1083 CONTACT: DAVID LOFRISCO, P.E.

SURVEYOR
CONTROL POINT ASSOCIATES INC, P.C.
11 MAIN STREET

HIGHLAND, NY 12528 TEL: (845) 691-7339 CONTACT: CHRIS GREY, L.S.

PROJECT NARRATIVE

THE SCOPE OF WORK FOR THIS PROJECT PROPOSES THE RETROFIT OF AN EXISTIN DRIVE-THRU COMMERCIAL BUILDING AN ASSOCIATED SITE IMPROVEMENT INCLUDING GRADING, LANDSCAPING STRIPING, DIRECTIONAL SIGNAGE, AND THINSTALLATION OF A DRIVE-THRU PRE-MEN BOARD, 5-PANEL MENU BOARD AND DIGITAL ORDER-POINT WITH OVERHEAD CANOPY

PROPERTY INFORMATION

APPLICANT

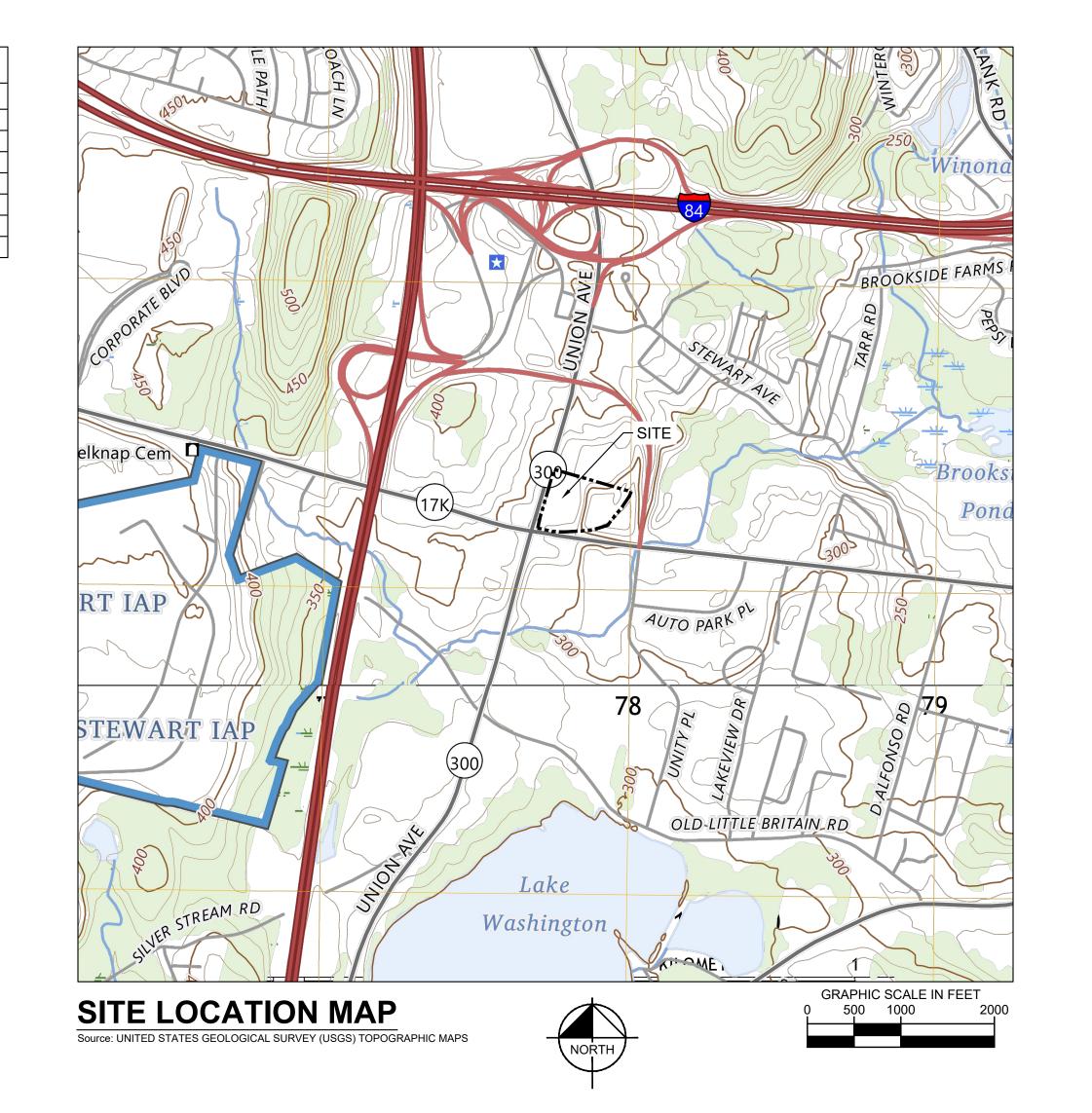


STARBUCKS COFFEE COMPANY 2401 UTAH AVENUE SOUTH, SEATTLE, WA 98134 CONTACT: DAVID SHIPE TEL: (845) 554-2828 EMAIL: DSHIPE@STARBUCKS.COM

OWNER INFORMATION
NEWBURGH RETAIL DEVELOPERS, LLC
1224 MILL STREET, BUILDING D, SUITE 103
EAST BERLIN, CT, 06023
CONTACT: KELLY VOSS
TEL: 860-561-0121

PARCEL NUMBER TM #97-2-34

SHEET LIST		
Sheet Number	Sheet Title	
C-0.0	COVER SHEET	
C-0.1	GENERAL NOTES	
C-1.0	SITE PLAN	
C-2.0	SITE DETAILS	
C-3.0	GRADING PLAN	
L-1.0	LANDSCAPE PLAN	
L-1.1	LANDSCAPE DETAILS	





C-0.0

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- 3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- 5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 8. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ANY AND ALL CHANGES RELATED TO FIELD CONDITIONS, INCLUDING AREAS OF ROCK EXCAVATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING AND LOCATING ALL FEATURES OF THE WORK AS INSTALLED.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF NEW YORK DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF NEW YORK PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- 11. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 13. ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/ OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.
- 14. HOURS OF CONSTRUCTION ACTIVITY MUST COMPLY WITH THE TOWN OF NEWBURGH CODE.
- 15. PRIOR TO STARTING CONSTRUCTION ALL ACTIVE UTILITIES SHOULD BE IDENTIFIED, MARKED OUT IN THE FIELD, AND SECURED AS NECESSARY.
- 16. CONTRACTOR IS ALSO TO FAMILIARIZE THEMSELVES WITH THE SUBSURFACE EXPLORATIONS AND GEOTECHNICAL REPORTS APPLICABLE TO THE PROJECT. ASSUMED PROVIDED BY OTHERS.
- 17. CONDUCT A PRE-CONSTRUCTION CONFERENCE AT THE PROJECT SITE A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING ANY WORK OF THIS CONTRACT. THE MEETING WILL BE ARRANGED BY THE OWNER UPON NOTIFICATION OF THE CONTRACTOR AND IS TO BE ATTENDED BY REPRESENTATIVES OF THE CONTRACTOR, OWNER, CONSTRUCTION MANAGER, GEOTECHNICAL ENGINEER, SITE/CIVIL ENGINEER AND REPRESENTATIVES OF THE TOWN OF NEWBURGH.
- 18. ADJOINING PROPERTY OWNERS WILL CONTINUE TO OCCUPY THEIR FACILITIES IMMEDIATELY ADJACENT TO THE PROJECT SITE AND DEMOLITION AREAS. THUS, THE CONTRACTOR MUST CONDUCT HIS OPERATIONS IN SUCH A MANNER AND MAKE ANY ARRANGEMENTS NECESSARY SO THAT THE ADJOINING PROPERTY OWNER'S USE OF THEIR FACILITIES WILL NOT BE DISRUPTED DURING THE COURSE OF THE WORK.
- 19. PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS' NOTICE TO THE OWNER AND ADJACENT PROPERTY OWNERS OF ACTIVITIES THAT WILL AFFECT THEIR RESPECTIVE USE OF THEIR PROPERTY.
- 20. MAINTAIN ACCESS TO EXISTING WALKWAYS, EXITS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- 21. DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION OR THE AFFECTED PROPERTY OWNER.
- 22. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE CONDUCT OF THE WORK. HOWEVER, IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED. DO NOT DISTURB AND IMMEDIATELY NOTIFY THE OWNER AND CONSTRUCTION MANAGER. HAZARDOUS MATERIALS WILL BE REMOVED BY THE OWNER AND/OR CONTRACTOR UNDER A SEPARATE CONTRACT.
- 23. REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY OWNER. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE SAME AS THOSE INDICATED IN PROJECT RECORD DOCUMENTS.
- 24. THE CONTRACTOR IS RESPONSIBLE FOR ENGAGING A PROFESSIONAL ENGINEER TO PERFORM AN ENGINEERING SURVEY OF THE CONDITION OF ANY REMAINING BUILDING STRUCTURE OR FOUNDATION SYSTEM TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THAT STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.
- 25. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- 26. EXISTING UTILITIES: MAINTAIN ACTIVE UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- 27. DO NOT INTERRUPT EXISTING UTILITIES SERVING BOTH ON SITE AND OFF SITE ADJACENT OCCUPIED OR OPERATING
- FACILITIES UNLESS AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.

 28. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO
- AUTHORITIES HAVING JURISDICTION.

 29. PROVIDE AT LEAST SEVENTY-TWO (72) HOURS' NOTICE TO OWNER IF SHUTDOWN OF SERVICE IS REQUIRED DURING
- CHANGEOVER.
- 30. TEMPORARY PROTECTION: ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.
- 31. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- 33. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.

PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO

- 34. PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE
- EXPOSED TO BUILDING DEMOLITION OPERATIONS OR OTHER CONSTRUCTION ACTIVITY.

 35. GENERAL: DEMOLISH ALL ITEMS, AS EITHER INDICATED ON THE PLANS OR ENCOUNTERED IN THE FIELD DURING THE WORK,
- 36. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN FIRE WATCH AND

COMPLETELY. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS

- PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
- 37. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.
- 38. LOCATE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND OTHER MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING OF ADJOINING STRUCTURES.
- 39. ENGINEERING SURVEYS: PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS THAT MAY RESULT FROM BUILDING DEMOLITION ACTIVITIES.
- 40. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED

- 41. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, WALKWAYS. OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- 42. USE WATER MIST AND OTHER SUITABLE METHODS TO LIMIT SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL-PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE ADJACENT CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS. SLICH AS ICE ELOODING, AND POLITION
- 43. REMOVE STRUCTURES AND OTHER SITE IMPROVEMENTS INTACT WHEN PERMITTED BY AUTHORITIES HAVING JURISDICTION.
- 44. CONCRETE: CUT CONCRETE FULL DEPTH AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS.
- 45. MASONRY: CUT MASONRY AT JUNCTURES WITH CONSTRUCTION INDICATED TO REMAIN, USING POWER-DRIVEN SAW, THEN
- REMOVE MASONRY BETWEEN SAW CUTS.

 46. CONCRETE SLABS-ON-GRADE: SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED AT JUNCTURES WITH CONSTRUCTION
- 47. EQUIPMENT: DISCONNECT EQUIPMENT AT NEAREST FITTING CONNECTION TO SERVICES, COMPLETE WITH SERVICE VALVES.
- 48. BELOW-GRADE CONSTRUCTION: DEMOLISH EXISTING FOUNDATIONS AND FOOTINGS, FOUNDATION WALLS, WALLS, SLABS AND OTHER BELOW-GRADE CONSTRUCTION THAT IS WITHIN TEN (10) FEET OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION. ABANDON BELOW-GRADE CONSTRUCTION OUTSIDE THIS AREA.
- 49. REMOVE BELOW-GRADE CONSTRUCTION TO DEPTHS INDICATED ON THE PLANS.

INDICATED TO REMAIN. THEN BREAK UP AND REMOVE.

REMOVE AS WHOLE UNITS, COMPLETE WITH CONTROLS.

- 50. EXISTING BELOW GRADE CONSTRUCTION SHOULD BE REMOVED ENTIRELY FROM BELOW PROPOSED FOUNDATIONS AND THEIR ZONES OF INFLUENCE (IF DETERMINED BY LINES EXTENDING AT LEAST ONE (1) FOOT LATERALLY BEYOND FOOTING EDGES FOR EACH VERTICAL FOOT OF DEPTH) AND EXCAVATED TO AT LEAST TWO (2) FEET BELOW PROPOSED CONSTRUCTION SUBGRADE LEVELS ELSEWHERE.
- 51. FOUNDATION AND SLABS MAY REMAIN IN PLACE BELOW THESE DEPTHS BELOW GROUND SUPPORTED SLABS, PAVEMENTS AND LANDSCAPED AREAS, PROVIDED THEY ARE APPROVED BY THE GEOTECHNICAL ENGINEER AND DO NOT INTERFERE WITH FUTURE CONSTRUCTION (INCLUDING UTILITIES); HOWEVER, IF EXISTING SLAB OR STRUCTURE TO REMAIN SHOULD BE THOROUGHLY BROKEN TO ALLOW VERTICAL DRAINAGE OF INFILTRATING WATER.
- 52. EXISTING UTILITIES: ABANDON EXISTING UTILITIES AND BELOW-(3RADE UTILITY STRUCTURES. CUT UTILITIES FLUSH WITH
- 53. EXISTING UTILITIES: DEMOLISH EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES THAT ARE WITHIN TEN (10) FEET
- 54. FILL ABANDONED UTILITY STRUCTURES AND PIPING WITH EITHER LEAN CONCRETE OR SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
- 55. EXISTING UTILITIES: DEMOLISH AND REMOVE EXISTING UTILITIES AND BELOW-GRADE UTILITY STRUCTURES.

OUTSIDE OF FOOTPRINT INDICATED FOR NEW CONSTRUCTION ABANDON UTILITIES OUTSIDE THIS AREA

- 56. SITE DRAINAGE: SITE SOILS MAY SOFTEN WHEN EXPOSED TO WATER, EVERY EFFORT MUST BE MADE TO MAINTAIN DRAINAGE OF SURFACE WATER RUNOFF AWAY FROM CONSTRUCTION AREAS AND OPEN EXCAVATIONS BY GRADING AND LIMITING THE EXPOSURE OF EXCAVATIONS AND PREPARED SUBGRADES TO RAINFALL.
- 57. BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM BUILDING DEMOLITION OPERATIONS WITH SATISFACTORY SOIL MATERIALS APPROVED BY THE OWNER AND/OR GEOTECHNICAL ENGINEER.
- 58. SITE GRADING: UNIFORMLY ROUGH GRADE AREA OF DEMOLISHED CONSTRUCTION TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES, PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
- 59. SEPARATE RECYCLABLE DEMOLISHED MATERIALS FROM OTHER DEMOLISHED MATERIALS TO THE MAXIMUM EXTENT POSSIBLE. SEPARATE RECYCLABLE MATERIALS BY TYPE.
- 60. PROVIDE CONTAINERS OR OTHER STORAGE METHOD APPROVED BY ARCHITECT FOR CONTROLLING RECYCLABLE MATERIALS UNTIL THEY ARE REMOVED FROM PROJECT SITE.
- 61. STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE, AND SHAPE
- STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.

 62. STOCKPILE MATERIALS IN DESIGNATED AREAS SHOWN ON THE PLANS OR AS APPROVED IN THE FIELD BY THE OWNER OR
- CONSTRUCTION MANAGER.

 63. IF RECYCLABLE MATERIAL CANNOT BE USED ON-SITE, THE CONTRACTOR SHALL TRANSPORT THE RECYCLABLE MATERIALS
- OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE SWP.

 64. DEMOLITION MATERIAL. FREE OF ENVIRONMENTAL CONCERNS, AND APPROVED BY NYSDEC, MAY BE USED AS FILL MATERIAL.
- PROVIDED THE MATERIAL IS PROPERLY SEGREGATED AND PROCESSED AS FOLLOWS AND APPROVED FOR REUSE ON THE SITE BY THE GEOTECHNICAL ENGINEER:

66. OTHER ASPHALTIC MATERIALS AND DELETERIOUS BUILDING MATERIALS SUCH AS WOOD, INSULATION, METAL, SHINGLES, ETC.

- 65. CONCRETE MASONRY MATERIALS SHOULD BE CRUSHED TO A WELL GRADED BLEND WITH A MAXIMUM SIZE OF THREE (3) INCHES IN DIAMETER, PER EARTHWORK SPECIFICATIONS.
- SHOULD NOT BE USED AS GENERAL STRUCTURAL FILL MATERIAL.
- 67. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
- 68. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- 87. BURNING: ON SITE BURNING OF RUBBISH AND OTHER DEMOLITION DEBRIS WILL NOT BE PERMITTED.
 88. DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND PROVIDE FOR THE LEGAL OFF SITE DISPOSAL

OF THE MATERIAL IN ACCORDANCE WITH THE SMP.

- 89. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY BUILDING DEMOLITION
- OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.
- 90. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A SURVEY PREPARED BY A NYS LICENSED LAND SURVEYOR SHOWING THE LOCATION AND THE ELEVATIONS TO WHICH THE DEMARCATION BARRIER IS INSTALLED.
- 91. THE CONTRACTOR IS TO NOTE THAT THE WORK OF THIS CONTRACT WILL INCLUDE WORK BY OTHERS AND THE CONTRACTOR SHALL COORDINATE HIS WORK AND MAKE EVERY REASONABLE EFFORT TO PERMIT THE EXECUTION OF SUCH WORK BY OTHERS WITHOUT DELAY.
- ADDITIONAL COST TO THE OWNER AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THEIR WORK.

92. IF TEMPORARY UTILITY SERVICES ARE REQUIRED THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED AT NO

- 93. ALL WORK OF THIS CONTRACT SHALL CONFORM TO THESE CONTRACT DRAWINGS AND SPECIFICATIONS AS WELL AS TO THE APPLICABLE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY BUILDING, PUBLIC WORKS, AND FIRE DEPARTMENTS, AS WELL AS THE COGNIZANT PUBLIC UTILITY COMPANIES.
- 94. ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL RULES, LAWS, AND REGULATIONS.
- 95. ALL PROJECT RELATED LINES AND GRADES ARE TO BE ESTABLISHED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.
- 96. SIZES OF EXISTING UTILITY LINES ARE TO BE VERIFIED IN THE FIELD BY CAREFUL TEST EXCAVATIONS BY THE CONTRACTOR PRIOR TO STARTING THE WORK ANY SUBSTANTIVE VARIATIONS FROM THE SURVEY DATA PROVIDED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER SO THAT APPROPRIATE DESIGN MODIFICATIONS MAY BE MADE.
- 97. THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING DRAINAGE OR UTILITY SYSTEMS WITHIN OR ADJACENT TO THE WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL IMMEDIATELY BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE AND TO THE SATISFACTION OF THE OWNER OR UTILITY COMPANY INVOLVED.
- 98. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES REQUIRED BY THE CONTRACT WORK AND SHALL OBTAIN AU. REQUIRED BONDS, PERMITS, ETC. REQUIRED FOR THE EXECUTION OF THE WORK AND CONFORM THE WORK WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF THE GOVERNING AGENCIES. THE CONTRACTOR IN ACCORDANCE WITH NEW YORK STATE LAW (CODE RULE 53) SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO COMMENCING ANY EXCAVATION WORK AND SHALL NOTIFY THE "CALL BEFORE YOU DIG" HOTLINE @ 1-800-962-7962 PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
- 99. SAFE AND ADEQUATE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES TO THE ADJACENT BUILDINGS WHILE THE WORK IS PROGRESSING. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL OF THE OWNER A CONSTRUCTION SEQUENCE SCHEDULE AND PLAN FOR PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- 100. ALL UNPAVED AREAS WITHIN THE WORK AREAS AND ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE STABILIZED IN ACCORDANCE WITH THE NYSDEC APPROVED STORMWATER POLLUTION PREVENTION PLAN. UNLESS OTHERWISE DIRECTED BY THE OWNER, TURFED AREAS, DISTURBED BY REGRADING AND OTHER WORK OF CONTRACTOR, SHALL BE BROUGHT TO THE PROPER SUBGRADE ELEVATION, TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES SHALL BE PLACED AND, LIMING, FERTILIZING AND SEEDING ACCOMPLISHED, AS SPECIFIED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE SEEDED AREAS UNTIL THEY HAVE BECOME WELL ESTABLISHED.
- 101. EXISTING PAVEMENT WHICH IS TO REMAIN AND WHICH IS REMOVED OR DAMAGED DURING THE CONSTRUCTION WORK OF THIS CONTRACT IS TO BE RESTORED TO ITS ORIGINAL CONDITION.
- 102. UNLESS OTHERWISE SHOWN HEREON OR DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL MATCH THE MATERIALS, TYPES, THICKNESS AND QUALITY OF EXISTING BITUMINOUS CONCRETE PAVEMENTS, WALKWAYS AND CURBS WITHIN THE PUBLIC RIGHT-OF-WAY WHICH ARE TO BE REPLACED.
- 103. ASA REFERENCE STANDARD ALL WORK CONTAINED HEREIN SHALL BE GOVERNED BY THE REQUIREMENTS SET FORTH IN THE "STANDARD SPECIFICATIONS. CONSTRUCTION AND MATERIALS" AS PUBLISHED BY THE NYSDOT, DESIGN AND CONSTRUCTION DIVISION, DATED JANUARY 2, 2002, INCLUDING ALL LATEST AMENDMENTS THERETO
- 104. AT NO TIME, SHALL ANY EXCAVATED AREAS BE LEFT UNATTENDED UNLESS APPROPRIATE MARKING AND BARRICADING IS EMPLOYED.
- 105. WITH REGARD TO EXISTING UTILITIES TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING UTILITY VALVES, MANHOLE FRAMES, COVERS, RIMS, INVERTS AND HYDRANTS TO MEET NEW FINISH GRADE OR AS OTHERWISE REQUIRED TO FUNCTION PROPERLY.

- 106. CONTRACTOR SHALL REVIEW PLANS FROM SITE PREPARATION AND SITE PACKAGE CONTRACT AND FAMILIARIZE THEMSELVES
- 107. CONTRACTOR SHALL LIMIT ACTIVITIES IN AREAS OF DEVELOPMENT THAT ARE OCCUPIED.

PAVING, GRADING AND DRAINAGE NOTES

WITH PREVIOUS SCOPE OF WORK.

- 1. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
- 2. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH TOPSOIL AND SEED AS INDICATED ON THE LANDSCAPE
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- 4. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS
- 5. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- 6. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS
- REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

 7. DEWATERING DISCHARGE WILL NOT BE PERMITTED TO DISCHARGE ONTO OPEN GROUND. IT SHALL BE TREATED AND
- DISCHARGED INTO THE COUNTY SEWER. PERMIT TO BE COORDINATED BY THE OWNER.

 8 STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE
- . STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- 9. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.
 ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY AREAS DISTURBED FOR ANY

REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO

THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.

- 11. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 13. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
- 14. EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 15. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
- 16. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 17. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

18. MAINTAIN A MINIMUM OF 1.00% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS BUILDING AND SAFETY DIVISION NOTES

- 1. THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION FOR CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PURVIEW.
- 2. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

MAINTENANCE

ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS. AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- 6. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

WATER AND SEWER UTILITY NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
 WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- 3. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN

RECORD DRAWINGS

1. WHERE LOCAL JURISDICTIONS REQUIRE RECORD DRAWINGS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, BOTH PREPARED BY A NEW YORK REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

PROJECT CLOSEOUT

1. CONTRACTOR SHALL PROVIDE THE NECESSARY ITEMS INCLUDING ANY TESTING, REPORTS, OR CERTIFICATION DOCUMENTS REQUIRED BY THE GOVERNING JURISDICTIONS TO PROPERLY CLOSEOUT THE PROJECT BEFORE IT CAN BE DEEMED

DOCUMENT USE

- 1. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
- 2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, NYSDOT STANDARD SHEETS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

REVISIONS

HOLL
New York
New York
New York
NE OF NEW YORK, P.C.
TE 1730, NEW YORK, NY, 1016

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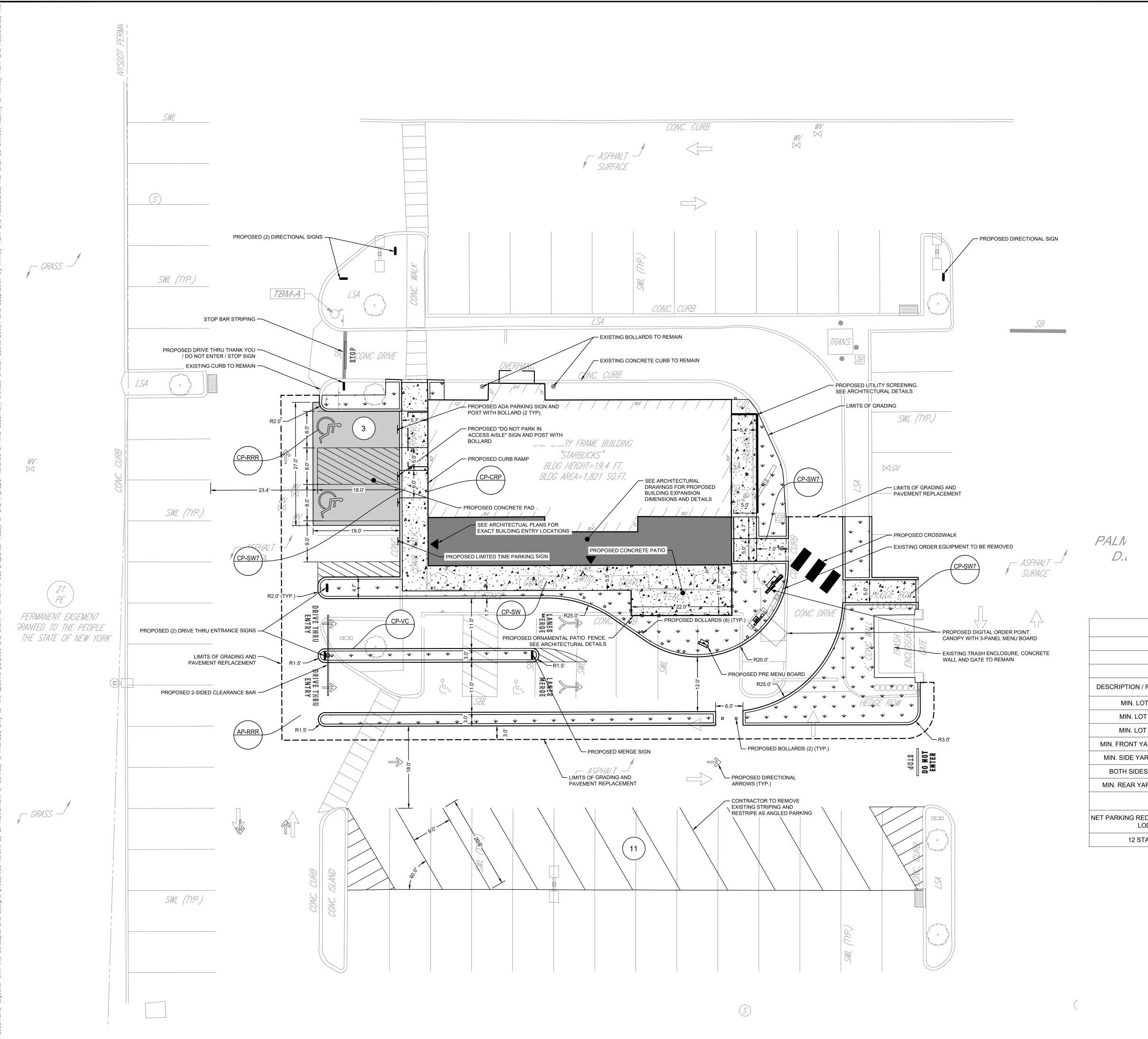
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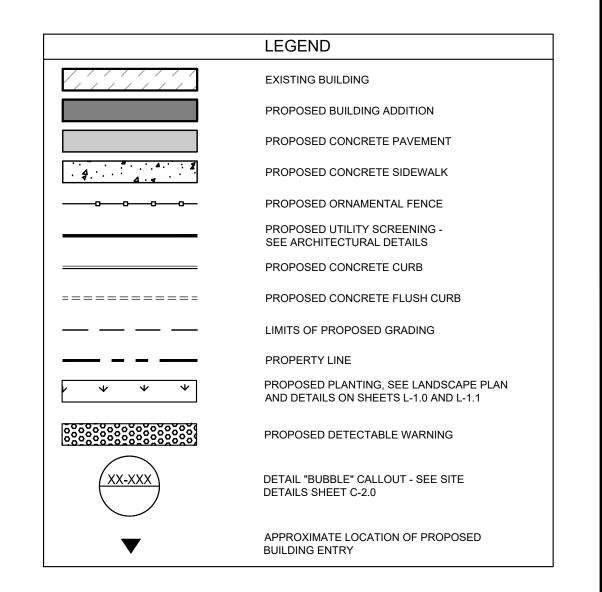
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ARBUCKS COFFEE
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GENERAL NOTES

- INSTALL SILTSACK OR APPROVED EQUAL INLET FILTER AT STORM SEWER INLET (TYP.) FOR ALL INLETS WITHIN OR DOWNSTREAM OF IMPROVEMENT AREAS. SEE DETAIL.
- CONTRACTOR TO LOCATE ALL PRIVATE AND PUBLIC UTILITIES ON SITE WITHIN WORK AREAS. CONTRACTOR TO TAKE EXTRA CAUTION TO AVOID DAMAGE TO ELECTRICAL, TELEPHONE, IRRIGATION, AND OTHER CONDUITS TYPICALLY FOUND IN THE UPPER FEW FEET OF GROUND. CONTRACTOR SHALL REPLACE ANY DAMAGED OR DESTROYED UTILITIES AT NO ADDITIONAL COST TO THE OWNER.

SITE NOTES:

- 1. BACKGROUND INFORMATION SHOWN PER SURVEY TITLED "PARTIAL TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES INC. P.C. DATED 07/18/2023
- 2. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
- 3. LANDSCAPING SYMBOL'S ARE SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE PLAN ON SHEET L-1.0 FOR FULL PLANTING SCHEDULE

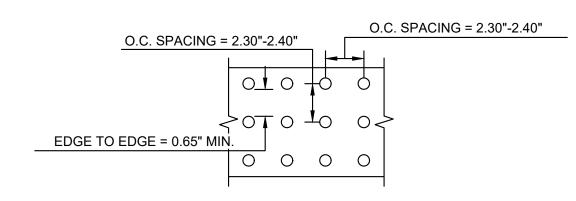
ZONING INFORMATION				
ZONING DISTRICT: INTERCHANGE BUSINESS (IB)				
EXISTING USE	: DRIVE THROUGH REST	AURANT AND PARKING L	ОТ	
	PROPOSED USE: NO	CHANGE		
DESCRIPTION / REQUIREMENT	REQUIRED	EXISTING	PROPOSED	
MIN. LOT AREA	40,000 SF	443,429 SF (10.18 AC)	NO CHANGE	
MIN. LOT WIDTH	150 FT		NO CHANGE	
MIN. LOT DEPTH	150 Ft		NO CHANGE	
MIN. FRONT YARD SETBACK	50 FT		NO CHANGE	
MIN. SIDE YARD SETBACK	30 Ft		NO CHANGE	
BOTH SIDES SETBACK	80 FT		NO CHANGE	
MIN. REAR YARD SETBACK	60 FT		NO CHANGE	
PARKING SUMMARY				
	EXISTING	DRODOSED		

PARKING SUMMARY					
NET PARKING REDUCTION WITHIN LOD	EXISTING PERPENDICULAR PARKING WITHIN LOD	PROPOSED PERPENDICULAR PARKING WITHIN LOD	PROPOSED ANGLED PARKING WITHIN LOD		
12 STALLS	26 STALLS	3 STALLS	11 STALLS		

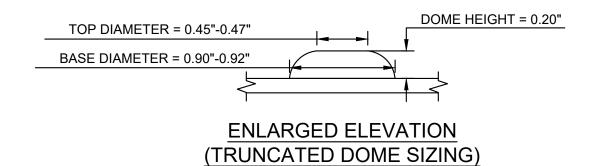


GRAPHIC SCALE IN FEET

orn



(TRUNCATED DOME SPACING)



- 1. DETECTABLE WARNINGS TO BE RETROFITTED TO EXISTING RAMP SURFACE SHALL BE SURFACE APPLIED AND BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, INCLUDING ANCHORING. DETECTABLE WARNINGS TO BE INSTALLED WITH A NEW POURED RAMP SHALL BE CONSTRUCTED USING A CAST-IN-PLACE PREFABRICATED UNIT OR PANEL AND BE INSTALLED AND ANCHORED PER MANUFACTURER'S INSTRUCTIONS. THE PRODUCT MUST COMPLY WITH ALL CURRENT ADA REQUIREMENTS.
- DETECTABLE WARNING SURFACE SHALL EXTEND 36" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH OF THE CURB RAMP. THE EDGE OF THE DETECTABLE WARNING SURFACE NEAREST THE ROADWAY SHALL BE BETWEEN 6" MINIMUM AND 8" MAXIMUM FROM THE FACE OF CURB OR EDGE OF THE PAVEMENT ON CURB RAMPS AND FLUSH WITH THE EDGE OF PAVEMENT ON ZERO INCH CURB FACE. DETECTABLE WARNING SURFACES SHALL BE PLACED DIRECTLY ADJACENT TO ONE ANOTHER AND SHALL NOT BE INSTALLED ACROSS JOINTS.
- 3. THE DETECTABLE WARNING SURFACE SHALL BE "FEDERAL YELLOW" IN COLOR, UNLESS OTHERWISE REQUIRED BY THE DESIGN CONSULTANT OR LOCAL GOVERNING AGENCY.

DETAIL

MI-DW

MISCELLANEOUS IMPROVEMENTS - INSTALL

ADA COMPLIANT DETECTABLE WARNINGS

ADJACENT CURB PROFILE UNLESS OTHERWISE SHOWN ON PLANS. SAWCUT, REMOVE, AND REPLACE 2' X TOTAL LENGTH OF CURB REMOVAL SECTION AND PROVIDE REPLACEMENT ASPHALT TO MATCH EXISTING PAVEMENT SECTION IN TWO LIFT COURSES AS NEEDED. THIS SHALL BE INCIDENTAL TO, AND BID AS PART OF, CURB CONSTRUCTION. EXISTING SUBGRADE - TO REMAIN #4 REBAR

6" CURB HEIGHT UNLESS OTHERWISE

SHOWN ON PLANS. SEE PLANS FOR FINAL

PROPOSED ELEVATIONS. MATCH EXISTING

- DETAIL SHOWN FOR REFERENCE ONLY. FIELD CONSTRUCTION SHALL MATCH EXISTING CURB TYPE, INCLUDING DIMENSIONS AND REINFORCEMENT, AS WELL AS ELEVATION, UNLESS OTHERWISE SPECIFICALLY SHOWN ON PLANS.
- GRADING, ADDITIONAL AGGREGATE/CONCRETE REQUIRED TO MATCH EXISTING CROSS SECTION GRADES, AND SEEDING OF ADJACENT LANDSCAPE AREA SHALL BE INCIDENTAL TO, AND BID AS PART OF, CURB CONSTRUCTION.

VERTICAL SAWCUT SHALL BE MADE AT ALL LIMITS OF REMOVAL TO CREATE A CLEAN EDGE

DETAIL

CONCRETE PAVEMENT - REMOVE AND REPLACE VERTICAL CURB



WIDTH VARIES - SEE PLAN P.C. CONCRETE PAVEMENT W/ —— 6x6 W1.11-W1.11 W.W.F. AS REQUIRED BY LOCAL JURISDICTION SPECIFICATIONS) MINIMUM 4" OF AGGREGATE BASE COURSE REQUIRED. AGGREGATE BASE COURSE TO MEET MATERIAL & COMPACTION REQUIREMENTS. SUBGRADE-SCARIFIED AND COMPACTED TO AT LEAST 95% OF THE MODIFIED

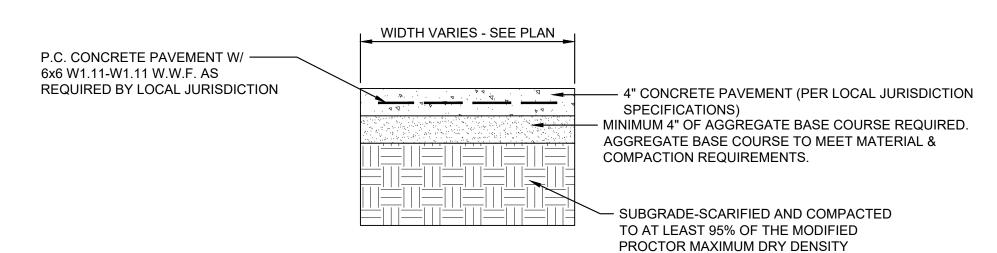
- 1. ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
- 2. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.

PROCTOR MAXIMUM DRY DENSITY

- 3. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS 4. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM.
- 5. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE
- 6. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.

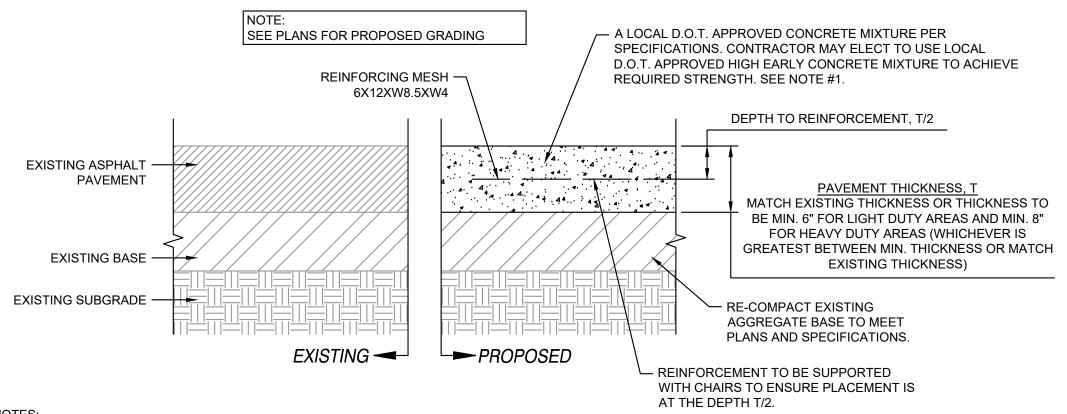
7. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

DETAIL CONCRETE PAVEMENT - INSTALL NEW 7" SIDEWALK (AT CURB RAMPS)



- 1. ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS. REDWOOD. EXPANSION JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM EDGE.
- 3. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS. 4. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" ABOVE SLAB BOTTOM
- 5. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE
- 6. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
- 7. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

DETAIL CONCRETE PAVEMENT - INSTALL NEW 4" SIDEWALK



- 1. IT SHALL BE REQUIRED TO USE A HIGH EARLY STRENGTH CONCRETE MIXTURE FOR SECTIONS OF PAVEMENT TO BE REPLACED AT HIGH PRIORITY DRIVE LANES THAT CANNOT BE PHASED OR DETOURED WITHOUT DISRUPTION OF OPERATIONS, AND ONLY THOSE LOADING ZONE AREAS THAT CANNOT BE SHIFTED TO ANOTHER DOOR LOCATION. IN ALL CASES, THE CONTRACTOR SHALL
- COORDINATE ALL CONCRETE REPAIR WORK WITH THE OWNER OR ENGINEER. 2. EXISTING AGGREGATE BASE SHALL BE RE-COMPACTED TO 95% AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). MATERIALS TESTING AGENCY TO INSPECT PREPARED AGGREGATE
- BASE PRIOR TO PLACEMENT ON CONCRETE TO ENSURE COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS.
- 3. REFER TO TYPICAL JOINTS FOR CONCRETE SLAB REPAIR DETAIL ON THIS SHEET FOR LOCATION AND TYPE OF JOINTS TO BE INSTALLED AROUND THE PERIMETER OF THE CONCRETE REPLACEMENT.
- DOWELS/REINFORCEMENT TO BE INSTALLED PER DETAILS ON THIS SHEET. 4. REMOVE EXISTING ASPHALT PAVEMENT, AGGREGATE BASE, AND SUBGRADE MATERIAL TO REQUIRED ELEVATION TO MEET PROPOSED SLOPES. PLACE COMPACTED BASE MATERIAL TO REQUIRED
- ELEVATION AND PLACE CONCRETE PER CROSS-SECTIONAL DETAIL THIS SHEET
- 5. IF AGGREGATE BASE COURSE IS NOT PRESENT CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY
- 6. CREATE A SMOOTH TRANSITION TO MATCH EXISTING GRADE. SEE PLAN FOR APPROXIMATE LIMITS. 7. CONTRACTOR TO COORDINATE WITH OWNER ON TEST STRIP AS NEEDED TO MATCH EXISTING COLORED CONCRETE AS CLOSE AS POSSIBLE TO EXISTING.

DETAIL CONCRETE PAVEMENT - REMOVE, REGRADE, AND REPLACE ASPHALT WITH CONCRETE

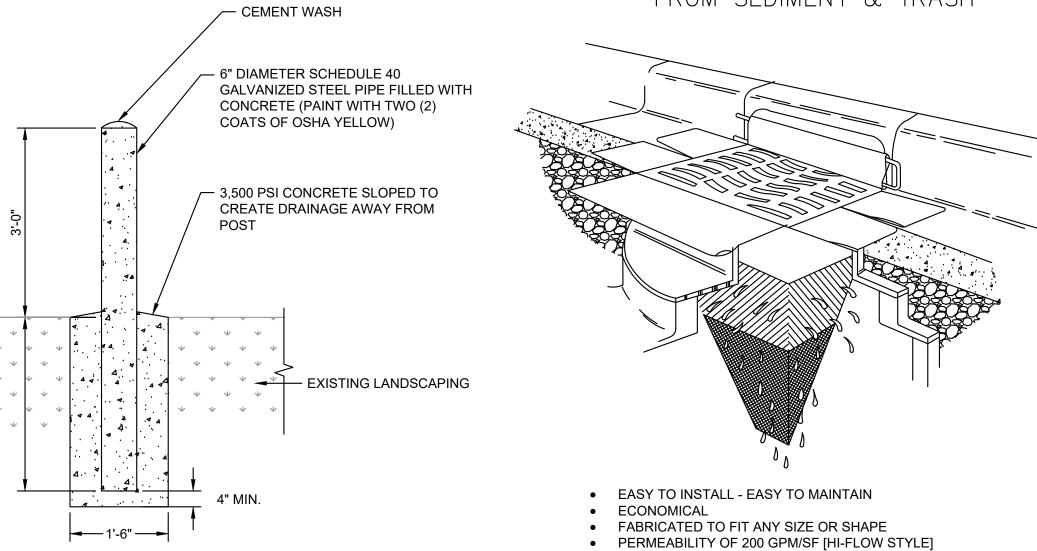


CP-SW

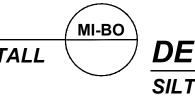
DETAIL ASPHALT PAVEMENT - REMOVE, REGRADE, AND REPLACE

SILTSACK

PROTECT CATCH BASINS FROM SEDIMENT & TRASH



DETAIL MI-BO MISCELLANEOUS IMPROVEMENTS - INSTALL **BOLLARD IN LANDSCAPING**



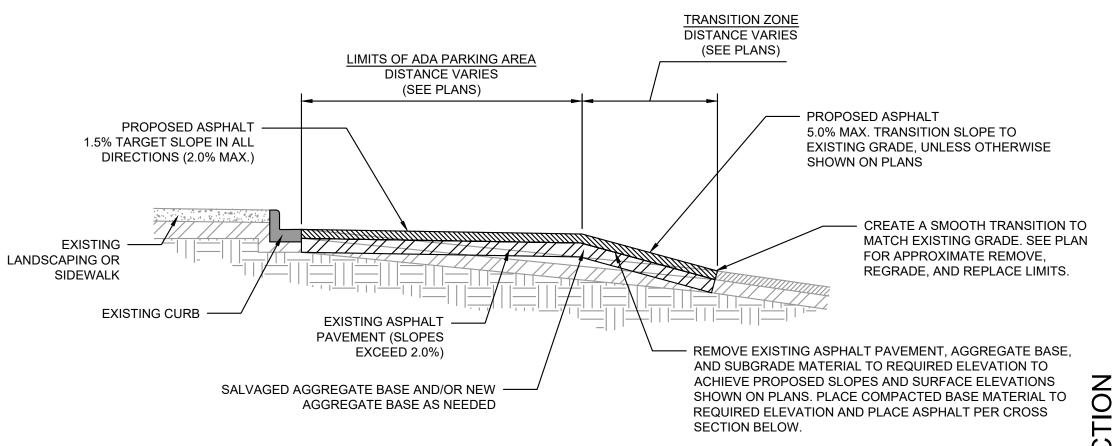
DETAIL SILT SACK (OR APPROVED EQUAL)

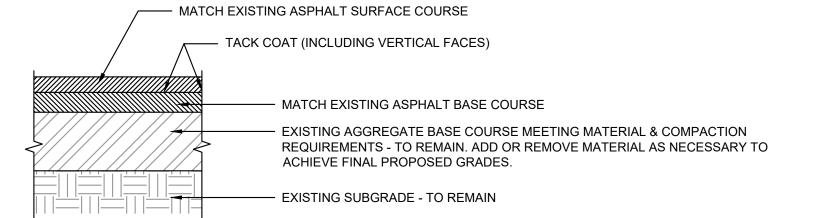
REUSABLE

REPLACES ALL ROCK OR GEOTEXTILES

ADA PARKING AREA UP TO THE LIMITS SHOWN ON PLANS ARE TO BE PAVED IN CONCRETE. REFER TO CP-RRR DETAIL TRANSITION ZONES SHALL BE REPAVED IN

DETAIL SHOWN FOR REFERENCE ON HOW THE AREA SHALL BE GRADED. SEE PLANS FOR FINAL PROPOSED ELEVATIONS.





- 1. SURFACE COURSE SHALL BE INSTALLED AT THE SAME TIME AS ADJACENT PAVEMENT REPAIR SURFACE COURSES. 2. THE AGGREGATE BASE COURSE SHALL BE INSPECTED BY THE TESTING AGENCY, OWNER OR DESIGN CONSULTANT AFTER ASPHALT
- REMOVAL AND BASE PREPARATION, PRIOR TO ASPHALT REPLACEMENT
- 3. IF AGGREGATE BASE COURSE IS NOT PRESENT CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY

AP-RRR\

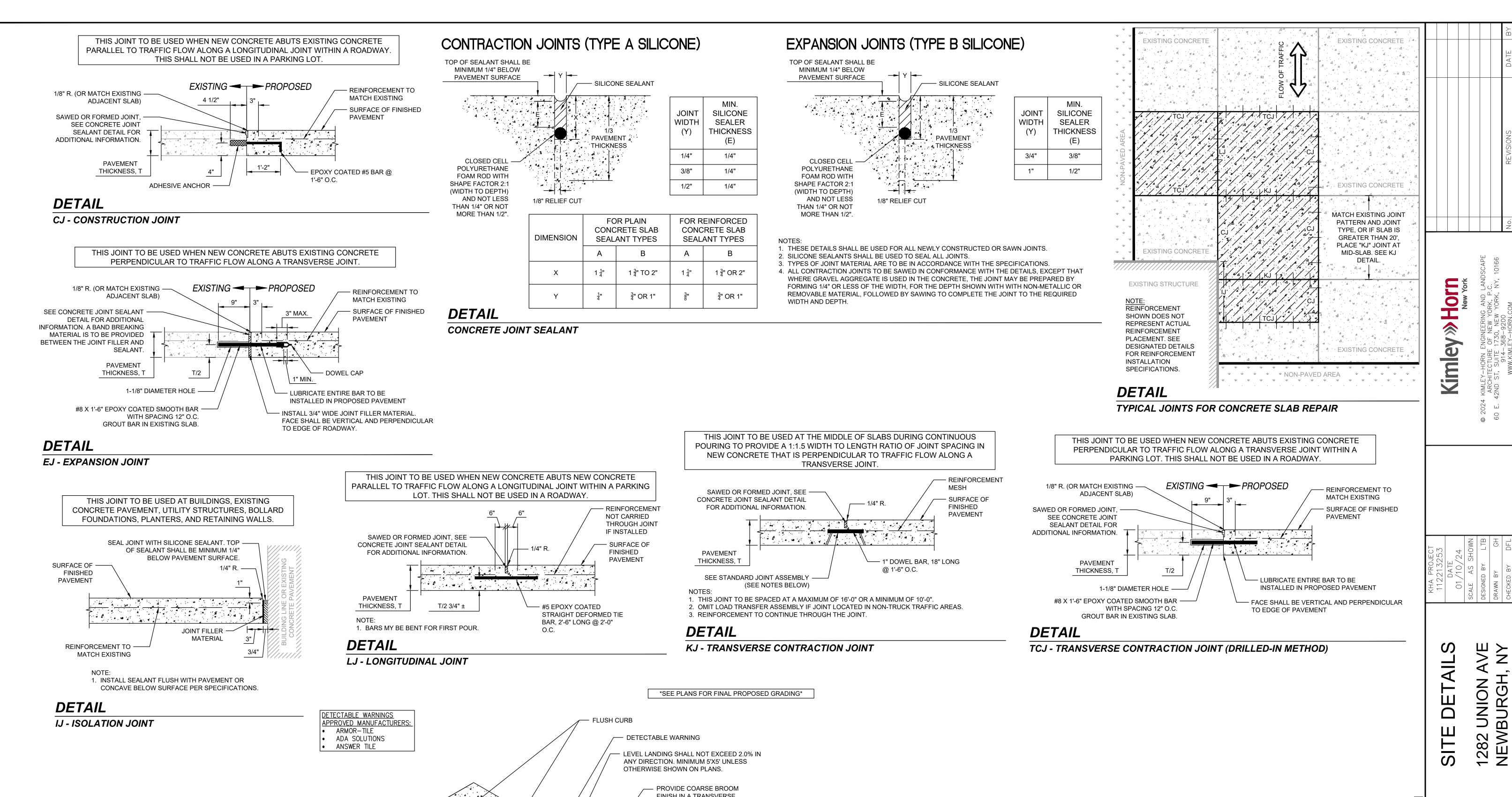
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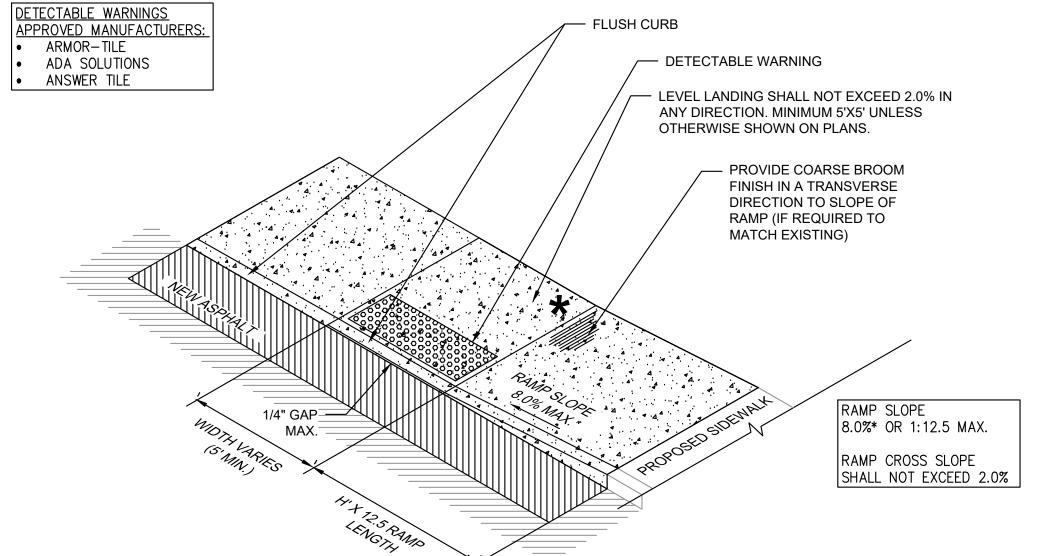
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Kimley







DETAIL

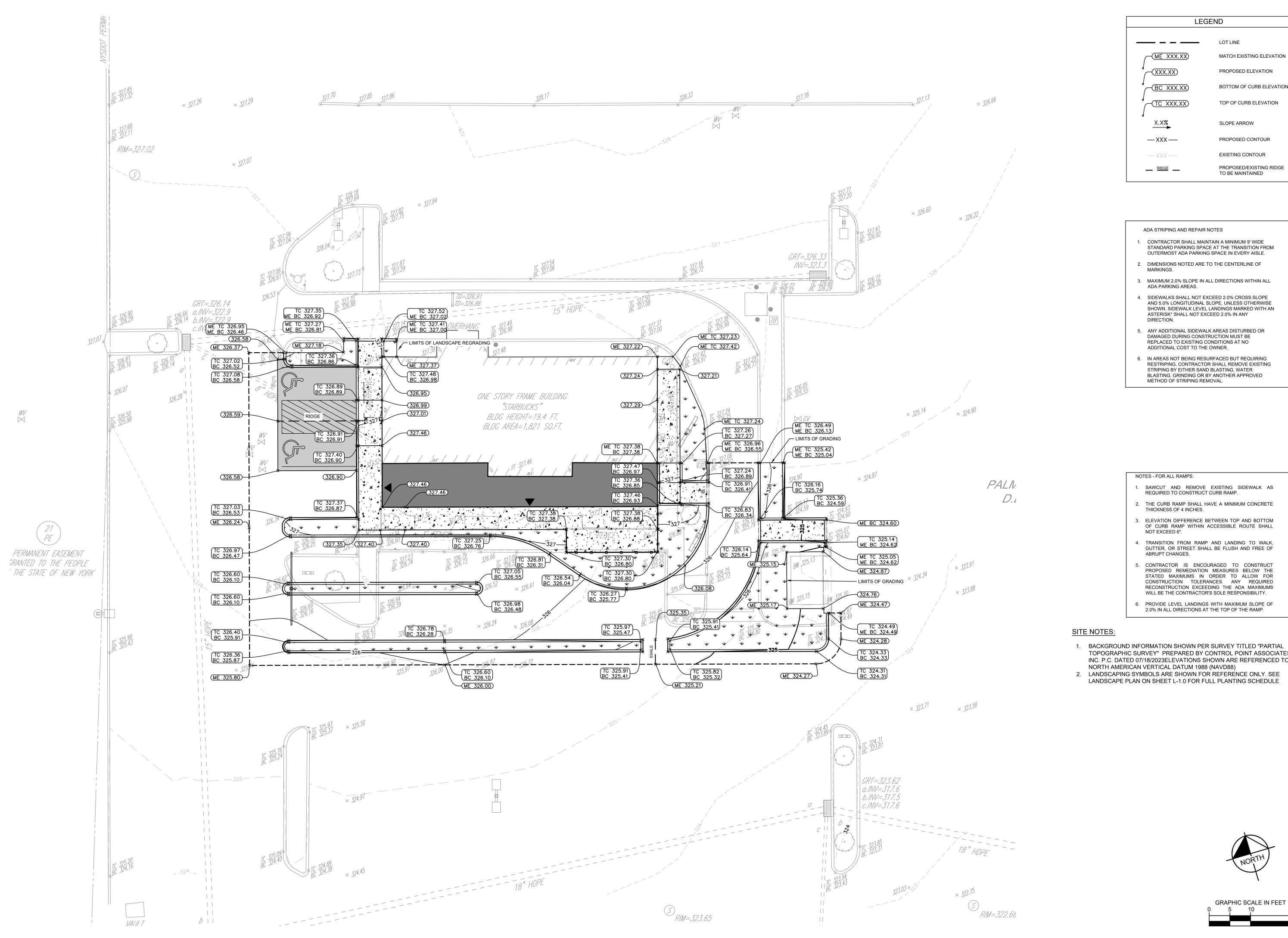
CURB RAMP DETAILS ARE FOR

EXACT CURB RAMP LAYOUTS

REFERENCE ONLY - SEE PLANS FOR



SHEET



MATCH EXISTING ELEVATION PROPOSED ELEVATION BOTTOM OF CURB ELEVATION TOP OF CURB ELEVATION PROPOSED/EXISTING RIDGE

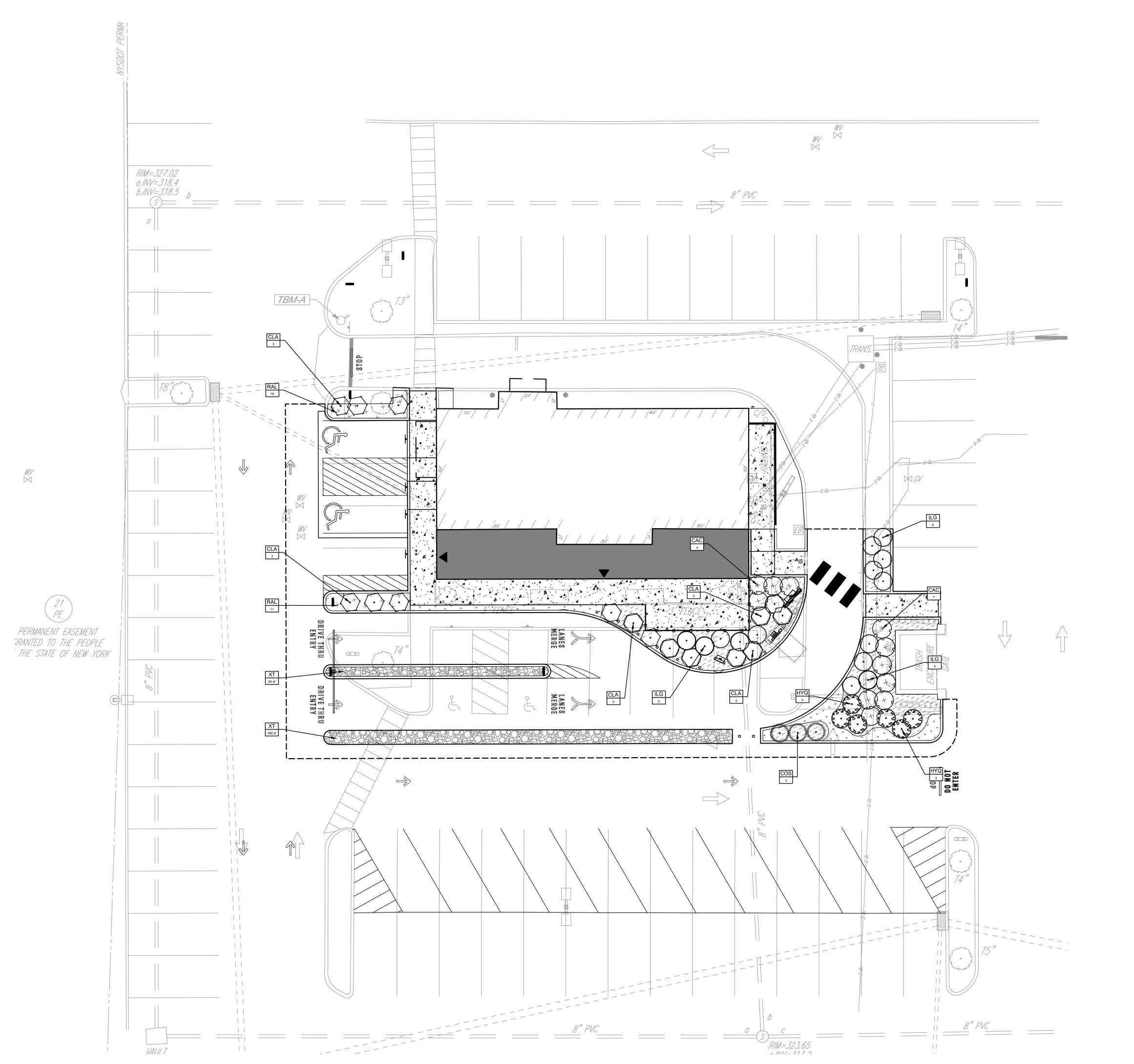
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STANDARD PARKING SPACE AT THE TRANSITION FROM

- TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES INC. P.C. DATED 07/18/2023ELEVATIONS SHOWN ARE REFERENCED TO
- LANDSCAPE PLAN ON SHEET L-1.0 FOR FULL PLANTING SCHEDULE

1282 UNION A NEWBURGH,

GRADING



PLANT SCHEDULE

SHRUBS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE AT PLANTING
(+)	CAC	11	CALAMAGROSTIS X ACUTIFLORA FEATHER REED GRASS	24" - 36" HT.
$\langle \cdot \rangle$	CLA	16	CLETHRA ALNIFOLIA SUMMERSWEET	24" - 36" HT.
AND	cos	3	CORNUS SERICEA RED TWIG DOGWOOD	24" - 36" HT.
6 8 24 25 25 25 25 25 25 25 25 25 25 25 25 25	HYQ	6	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	24" - 36" HT.
\odot	ILG	14	ILEX GLABRA INKBERRY HOLLY	24" - 36" HT.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	XC	804 SF	WOOD CHIP MULCH	
	ХТ	354 SF	RIVER STONE	
	GSM	145 SF	GRASS SEED	SEED
+ + + + + +				

DISCLAIMER

TO START OF CONSTRUCTION. KIMLEY-HORN AND STARBUCKS DO NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS.

CONDITIONS AND IS TO ALERT THE ENGINEER AND STARBUCKS OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

- SITE NOTES:

 1. BACKGROUND INFORMATION SHOWN PER SURVEY TITLED "PARTIAL TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATES INC. P.C. DATED 07/18/2023
- 2. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)

GRAPHIC SCALE IN FEET 5 10 2

Kimley » Horn

4

ANDSCAPE

1282 UNION A NEWBURGH,

GRO-LOW FRAGRANT SUMAC

ALL PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS SHALL BE VERIFIED PRIOR

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD

2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.

3. Planting beds and individual tree plantings shall be mulched continuously as specified. 4. Prior to construction the contractor shall be responsible for locating underground utilities and execute

work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.

5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing. 6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a

period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.

7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage.

Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.

8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken.

9. All material including planting operation appurtenances shall be of domestic origin manufacture and sourced within 100 miles of the project site. 10. Contractor is responsible for coordination among trades operating on site. Coordination and if

necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS

A.General

1. Live healthy plants free of dead branches and parts

2. Free of disease, insect, injury and damage

3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously

4. Free of girdling roots or rootbound/circling container conditions 5. Plants of consistent in growth habit and healthy character

6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags

7. Point of origin growing location within 100 miles of project site 8. Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for

Nursery Stock most current edition 9. Species identified consistent with *Hortus Third: Concise Dictionary of Plants Cultivated in the United*

States and Canada, most current edition and Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses, most current edition

10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

1. Deciduous Single Trunk

a. Full, straight and upright with consistent symmetrical natural branching pattern throughout b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local

2. Deciduous Multi-Trunk

a. Full and upright with straight consistent symmetrical natural branching pattern throughout

c. Free of suckers and extraneous branching

3. Evergreen Single-Trunk

a. Full and upright with continuous symmetrical dense natural habit

b. Clear branching height twelve (12) inches above top of rootball c. Free of suckers and extraneous branching

d. Do not shear or otherwise prune to shape plantings

C.Evergreen and Deciduous Shrubs

1. Full, dense and naturally symmetrical. 2. Consistent with container and/or balled and burlapped size

3. Free of suckers and extraneous branching 4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover

E. Perennials and Seasonal Color

1. Full and dense in pots or flats

1. Full and dense in pots or flats

F. Turf Grass 1. Subgrade

a. Soil Mix-10% Compost, 90% topsoil by volume

b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural

materials including litter, stones, sticks and all items greater than ¾ inch in any dimension

c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

2. Grass Sod

a. Install not longer than twenty-four (24) hours from harvest

b. Grass bed not less than two (2) inches in continuous thickness

c. 100% continuous live sod coverage after first growing season and at end of warranty period. d. Of uniform non-varying density and continuous texture quality capable of growth and

development immediately upon installation. Weed and noxious plant free e. Stagger installation rows and place aligned parallel to contours

f. Fill joints solidly with planting bed preparation soil

g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

a. Mix approved by the Landscape Architect

b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter

c. Provide seed mix not greater than 15% annual or perennial rye d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty

e. Replacement or overseeding mixes consistent with original application/installation f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A.Testing

1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than 3/4 inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%

C.Use of Existing Topsoil

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive

methods and procedures

D. Shredded Hardwood Mulch

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed. Neutral Ph balance 5.5-7.5

E. Compost Ph

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight. Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G.Compost Testing

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health

2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of the US Composting Council Seal of Testing approval programs

1. 85% topsoil and 15% Compost

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

1. Product and Material Safety Data as approved by Owner

1. Potable only unless otherwise approved by Owner

1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

1. Villa Non-Abrasive Rubber Tree Ties or approved equal

N. Filter Fabric

O. River Stone`

1. Locally sourced, river rounded, unfaceted river stone/cobbles.

2. Size shall not exceed 3 total inches in any dimension. 3. Color and texture approved by Owner

1. Mirafi 140-N or approved equal

4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints. Concrete or mortar as approved by owner.

III. EXECUTION

P. Site Conditions 15. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions.

16. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner of acceptance prior to commencement of work.

17. Notify Owner in writing of any conditions that may preclude successful completion of work including items such as coordination with other trades, incomplete work, drainage, soil temperature

and/or composition, access to storage/work areas, damage to conditions, etc. 18. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks,

materials delivery and/or installation and warranty responsibilities. 19. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required work by others.

B. Planting Seasons

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner on an individual project basis.

Deciduous and Evergreen Trees

Do not install/plant the following trees between September 15 and March 15 1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea)

3. Sweetgum (Liquidambar Sp.)

4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

2. Deciduous and Evergreen Shrubs

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

3. Perennials a. Install/plant between March 15 and June 15 and/or September 15 and November 30

4. Spring Flowering Bulbs

a. Install/plant between September 15 and December 15 5. Seasonal Annuals

a. Install/plant in season per approved schedule

6. Turf Grass

a. Install/plant between March 15 and May 15 and/or September 15 and November 30 b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

7. No Plant Installation

a. Do not install plantings or turf grass between June 15 and September 15, without approval by

C.Positioning & Location of Plantings

1. Position plants to show the most-prominent and well-formed face to most-public view

2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning 3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed

D. Implementation

without Owner approval

1. Pursue work continuously without delay or interruption until completion unless notified otherwise by

2. Provide project submittals ahead of commencement of work. Landscape Architect requires a

minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials 3. Continuously update implementation schedule and notify Owner of progress. Delays related to

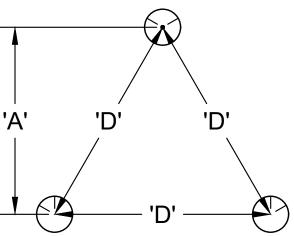
material availability are not cause for non-completion of scheduled delivery of work 4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation

for remedy of schedule delays. Do not work, place or modify frozen soil 5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

E. Clean Up

1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site furnishings, etc.

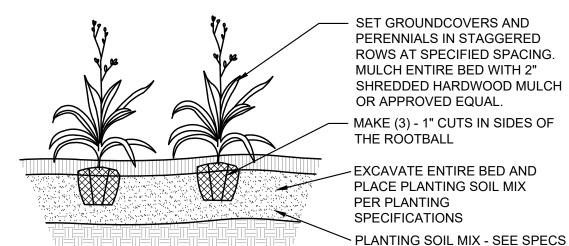
2. Repair any damage to existing conditions that occurred during execution of work. 3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape Architect.



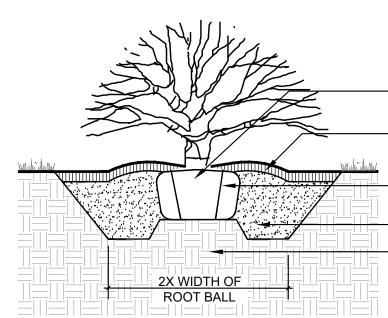
BE INSTALLED WITH TRIANGULAR SPACING PLANT SPACING 6.93" O.C. 8" O.C. 10" O.C. 8.66" O.C. 12" O.C. 10.4" O.C. 18" O.C. 15.6" O.C. 24" O.C. 20.8" O.C. 36" O.C. 30.0" O.C. 48" O.C. 31.5" O.C.

NOTE: GROUNDCOVERS AND PERENNIALS TO

GROUNDCOVER SPACING



GROUNDCOVER PLANTING

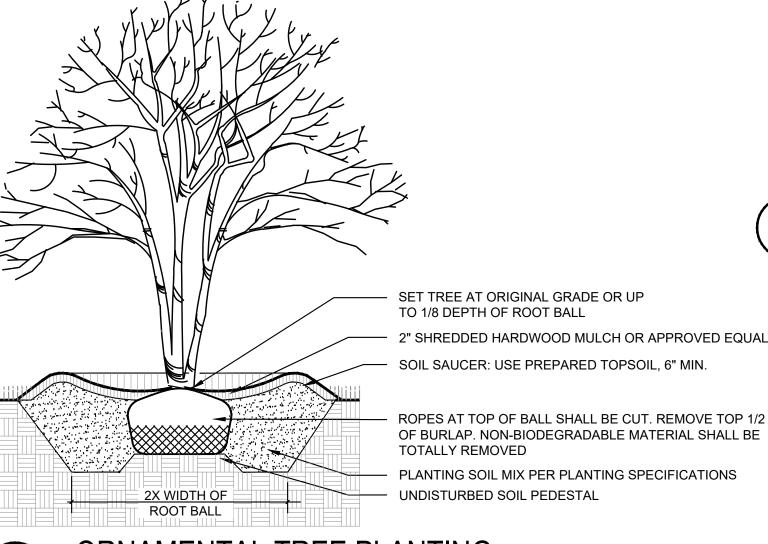


SET SHRUB AT ORIGINAL GRADE OR UP TO 1/8 DEPTH OF ROOT BALL 2" SHREDDED HARDWOOD MULCH OR APPROVED EQUAL

MAKE (3) - 1" CUTS IN SIDES OF THE ROOTBALL PLANTING SOIL MIX PER PLANTING SPECIFICATIONS

UNDISTURBED SOIL PEDESTAL NOTE: SHRUBS INSTALLED IN CONTINUOUS SUCCESSION OR LARGE BED SHALL BE PLACED IN ONE CONTINUOUS DEPTH BED



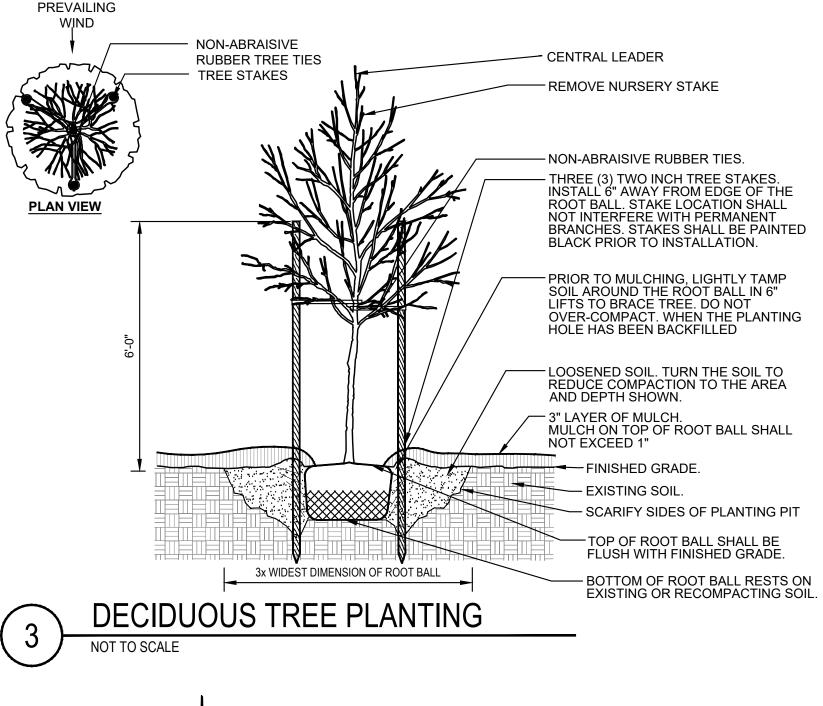


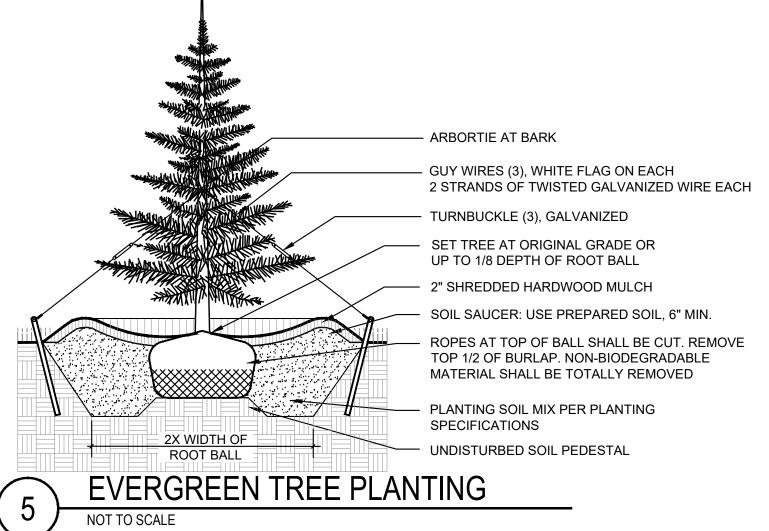
SET TREE AT ORIGINAL GRADE OR UP TO 1/8 DEPTH OF ROOT BALL

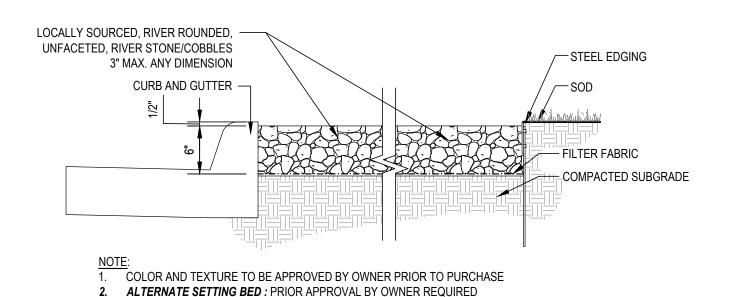
SOIL SAUCER: USE PREPARED TOPSOIL, 6" MIN.

PLANTING SOIL MIX PER PLANTING SPECIFICATIONS UNDISTURBED SOIL PEDESTAL

ORNAMENTAL TREE PLANTING







SET STONES IN 2" CONCRETE SLAG

RIVER STONE

DO NOT COVER MORE THAN 25% OF THE STONES

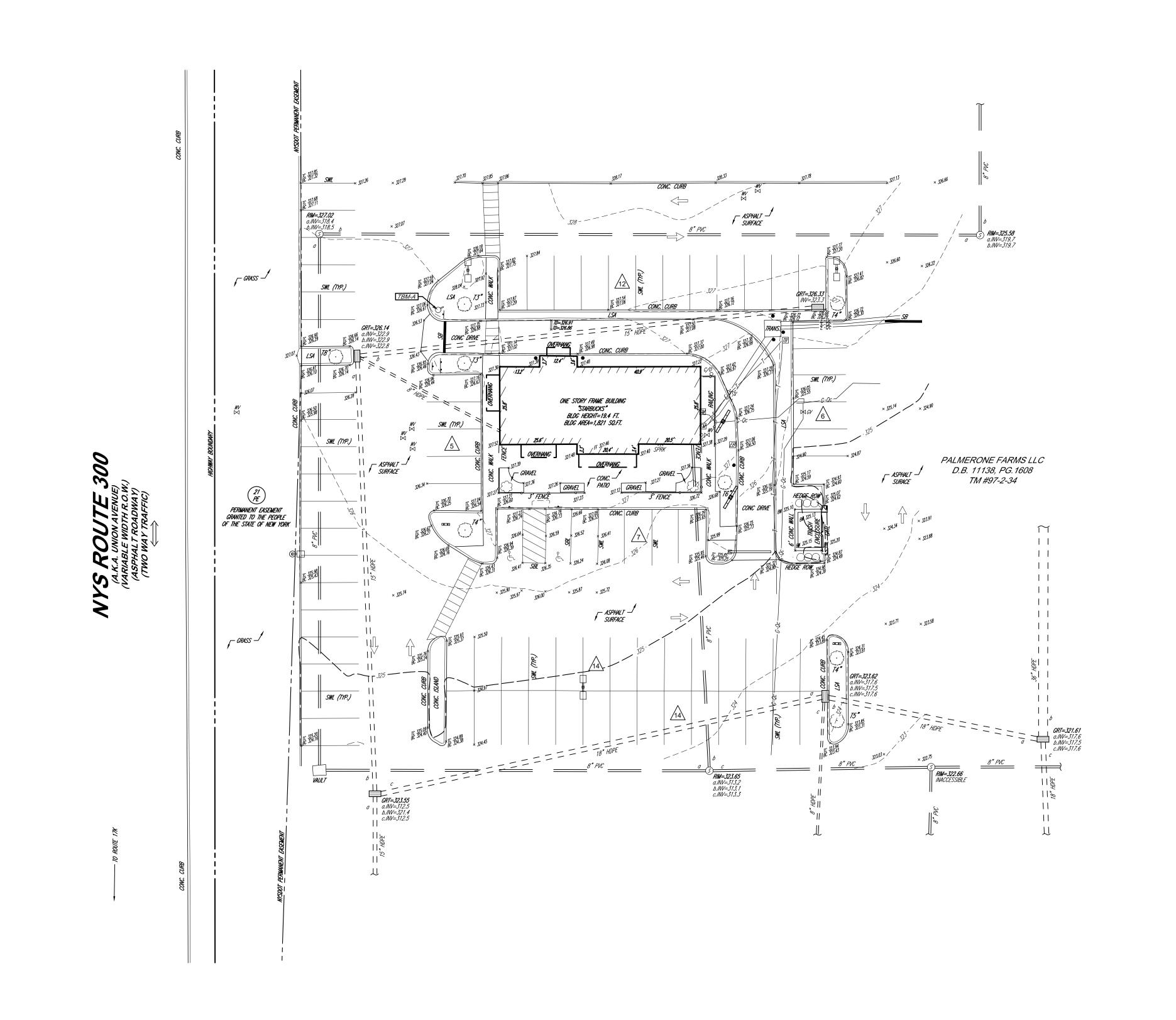
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S

AND

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EXISTING CONTOUR

OVERHEAD WIRES

HYDRANT

₩ WATER VALVE

☑ ELECTRIC BOX

GM GAS METER

SPRINKLER

CATCH BASINS

UP **∦** UTILITY POLE

→ SIGN

□□□ □□ AREA LIGHT

BOLLARD

CLEARANCE BAR

MENU BOARD

ELECTRIC METER

GAS VALVE

° CONDUIT PIPE ° CLEAN OUT

PAINTED ARROWS

SHRUBS

LANDSCAPED AREA

SWL SOLID WHITE LINE

SBL SOLID BLUE LINE

UNKNOWN TERMINUS

BLDG BUILDING

SB STOP BAR

TYP TYPICAL

TELEPHONE BOX

SANITARY/SEWER MANHOLE

PAINTED HANDICAPPED

DECIDUOUS TREE & TRUNK SIZE

PARKING SPACE COUNT

EXISTING SPOT ELEVATION

EXIST. TOP OF CURB ELEVATION

EXIST. BOTTOM OF CURB ELEVATION

EXIST. FINISHED FLOOR ELEVATION

APPROX. LOC. UNDERGROUND ELECTRIC LINE

APPROX. LOC. UNDERGROUND DRAINAGE LINE

SUBSURFACE UTILITY QUALITY LEVEL C

APPROX. LOC. UNDERGROUND NATURAL GAS LINE
APPROX. LOC. UNDERGROUND TELEPHONE LINE
APPROX. LOC. UNDERGROUND SANITARY LINE

ON TPACE

ROUTE 37K

Auto Park PI

On Track

Auto Park PI

On Track

On Trac

VICINITY MAP © 2022 ESRI WORLD LIGHT GRAY CANVAS (NOT TO SCALE)

NOTES:

ABANDONED.

- 1. PROPERTY KNOWN AS LOT 34, BLOCK 2, SECTION 97, TOWN OF NEWBURGH, ORANGE COUNTY, STATE OF
- 2. SUBJECT PARCEL AREA = 443,429 ± SQUARE FEET OR 10.180 ± ACRES PER RECORD.
- 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING.

- INCLUDES MARKOUT BY OTHERS.
- QUALITY LEVEL B UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
- QUALITY LEVEL A HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

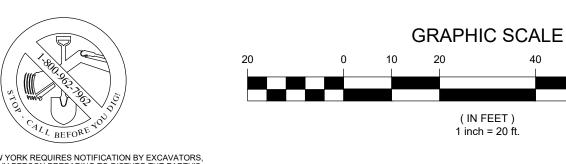
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY THE CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- 5. EXISTING FIRM: BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS

DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.) PER MAP REF #2.

- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- 7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS
- OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.
 TEMPORARY BENCH MARKS SET:
 TBM-A: X CUT SET IN HYDRANT, ELEVATION= 392.32'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- 8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

REFERENCES:

- 1. THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF NEWBURGH, ORANGE COUNTY, STATE OF NEW YORK, SECTION 97
- 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ORANGE COUNTY, NEW YORK, (ALL JURISDICTIONS), PANEL 139 OF 630", MAP NUMBER 36071C0139E, EFFECTIVE DATE: AUGUST 3, 2009.
- 3. NEW YORK STATE DEPARTMENT OF TRANSPORTATION DESCRIPTION AND MAP FOR THE ACQUISITION OF PROPERTY UNION AVENUE-ROUTE 17K CONNECTION S.H. NO. 9391 MAP NO. 18 PARCELS NO. 20 & 21, DATED JULY 19, 1985.
- 4. MAP ENTITLED "AMENDED SUBDIVISION AND LOT LINE CHANGE FOR MARTIN MILANO & ESTATE OF MARY PALMERONE", PREPARED BY EDWARD T. ZABACK, L.L.S., FILED IN THE ORANGE COUNTY CLERKS OFFICE (OCCO) ON 8/12/1997 AS MAP #187-97.



7-05-2023	PARTIAL TOPOGRAPHIC SURVEY
FIELD BOOK NO.	1282 UNION AVENUE
23-5	TM #97-2-34
FIELD BOOK PG.	TOWN OF NEWBURGH
15	ORANGE COUNTY, STATE OF NEW YORK
FIELD CREW	CONTROL POINT
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CONTROL POINT

A S S O C I A T E S I N C P C

26 AVIATION ROAD
ALBANY, NY 12205
518.217.5010 - 908.668.9595 FAX

D.J.D.

S S O C I A T E S I N C P C

AVIATION ROAD
BANY, NY 12205
.217.5010 - 908.668.9595 FAX
VW.CPASURVEY.COM

DATE

SCALE

FILE NO.

DWG. NO.

DWG. NO.

07-18-2023 1" = 20' 09-230222 1 OF 1

THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

REVIEWED: