

McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS D.P.C.

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## TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT:LANDS OF TILSON LOT LINE CHANGEPROJECT NO.:17-27PROJECT LOCATION:SECTION 42, BLOCK 1, LOT 2.22 & 3REVIEW DATE:26 FEBRUARY 2018MEETING DATE:01 MARCH 2018PROJECT REPRESENTATIVE:VINCENT DOCE ASSOCIATES ddoce12@hotmail.com

- 1. The Applicants have revised the map showing that Sheet 2 of 2 with notes identifying the parcels are to be conveyed to the County of Orange and added to Section 39, Block 1, Lot 4.
- 2. A representative of the County of Orange must sign the lot line change map prior to stamping final approval.
- 3. Standard lot line change resolution requirements should be part of the approval.

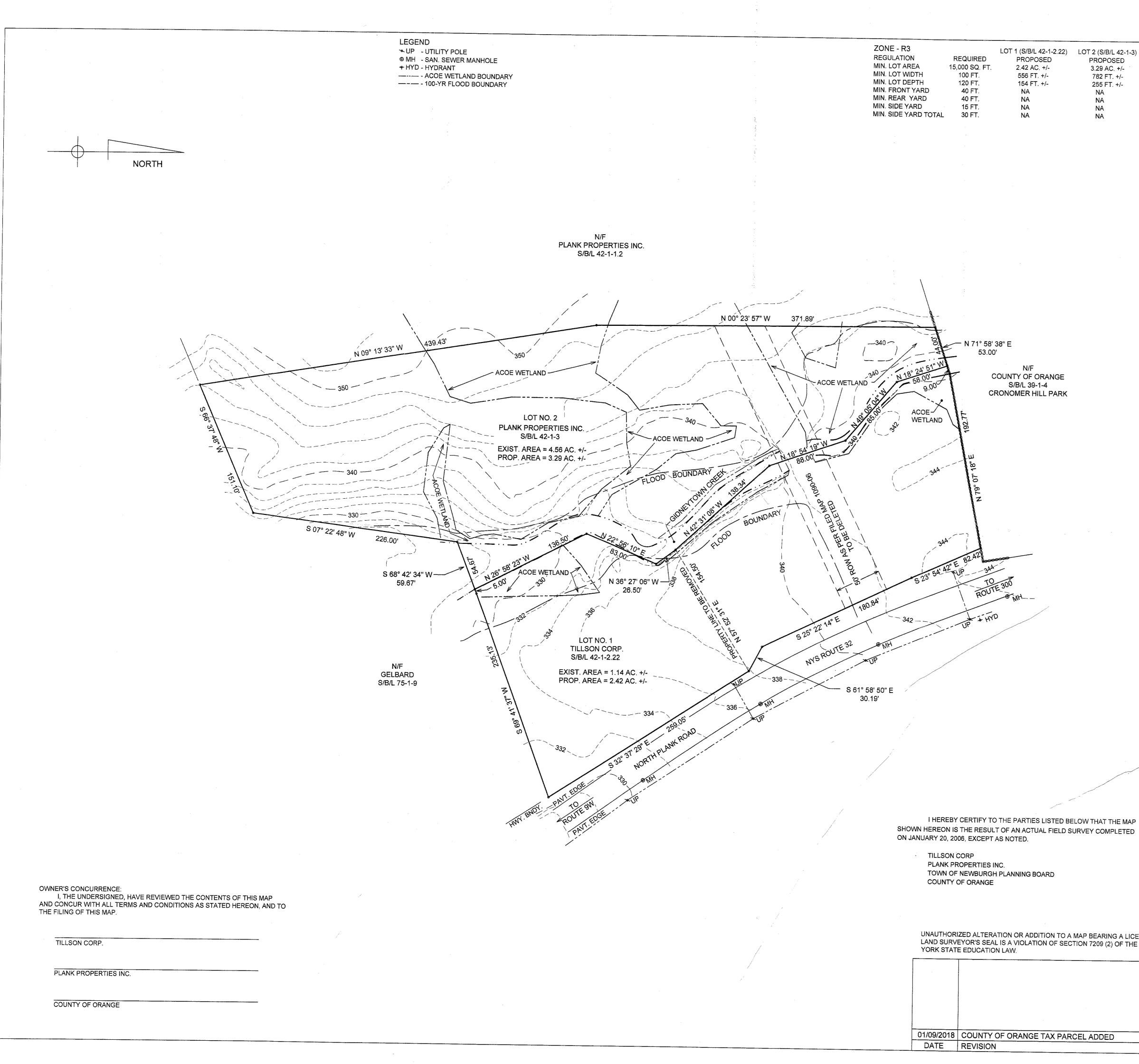
Respectfully submitted,

McGoey, Hauser and Edsall Consulting Engineers, D.P.C.

Patrick J. Hines Principal

PJH/kbw





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	SCALE: 1 IN. = 2000 FT.
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NOTES:

- 1. OWNERS/APPLICANTS:
- A. TILLSON CORP. 5020 ROUTE 9W
- NEWBURGH, NY 12550
- (SECTION 42 BLOCK 1 LOT 2.22)
- B. PLANK PROPERTIES INC.
- 5020 ROUTE 9W NEWBURGH, NY 12550
- (SECTION 42 BLOCK 1 LOTS 1.2 & 3)
- C. COUNTY OF ORANGE
- 255 MAIN STREET
- GOSHEN, NY 10924
- (SECTION 39 BLOCK 1 LOT 4)
- 2. TAX MAP DATA SECTION 42 BLOCK 1 LOTS 1.2, 2.22 AND 3 AND SECTION 39 BLOCK 1 LOT 4.
- 3. FROM THE BEST AVAILABLE KNOWLEDGE, THERE ARE NO BURIED UTILITIES WITHIN OR ADJACENT TO THE LOT LINE CHANGE THAT WILL CAUSE ENCROACHMENTS OR CREATE VIOLATIONS OF THE STATE SANITARY HEALTH CODE.
- 4. AFTER FILING THIS MAP WITH THE ORANGE COUNTY REAL PROPERTY TAX SERVICE AGENCY, DEEDS SHALL BE RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE. THE APPLICANT SHALL COPY THE PLANNING BOARD ON ITS LETTER TRANSMITTING THE DEEDS TO THE ORANGE COUNTY CLERK FOR RECORDING AND SHALL PROVIDE THE PLANNING BOARD WITH ANY RETURN CORRESPONDENCE REFLECTING ACCEPTANCE OR REJECTION OF SAID DEEDS.
- 5. REFERENCE MAP: "LOT LINE CHANGE PLAN LANDS OF LLOYD PARK, LLC AND PLANK PROPERTIES, INC.," DATED JANUARY 20, 2006, LAST REVISED SEPTEMBER 05, 2006 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE DECEMBER 15, 2006 AS MAP NO. 1090-06.
- 6. ACOE WETLAND BOUNDARY SHOWN AS PER FILED MAP NO. 1090-06.

7. THE 100 YEAR FLOOD BOUNDARY SHOWN IS AN APPROXIMATE LOCATION AS PER FEMA FLOOD INSURANCE RATE MAPS FOR THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK (MAP NO. 36071C0141E AND MAP NO. 36071C0143E).

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	SHEET 1 OF 2 IS INVALID UNLESS ACCOMPANIED BY SHEET 2 OF 2.
	LOT LINE CHANGE PLAN
	TILLSON CORP., PLANK PROPERTIES INC.
BEARING A LICENSED 209 (2) OF THE NEW	COUNTY OF ORANGE NORTH PLANK ROAD (NYS ROUTE 32) TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK DATE: JULY 23, 2017 SCALE: 1 IN. = 50 FT.
	PREPARED BY: VINCENT J. DOCE ASSOCIATES SURVEYORS - ENGINEERS - PLANNERS 242 SOUTH PLANK ROAD, NEWBURGH, NY 12550 TEL. 845 561-1170 FAX 845 561-7739
ADDED	SHEET 1 OF 2 DADA

