



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: UNIFIRST- AMENDED SITE PLAN
PROJECT NO.: 18-01
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 38.32
REVIEW DATE: 24 JULY 2019
MEETING DATE: 1 AUGUST 2019
PROJECT REPRESENTATIVE: PITINGARO & DOETSCH CONSULTING ENGINEERS, PC

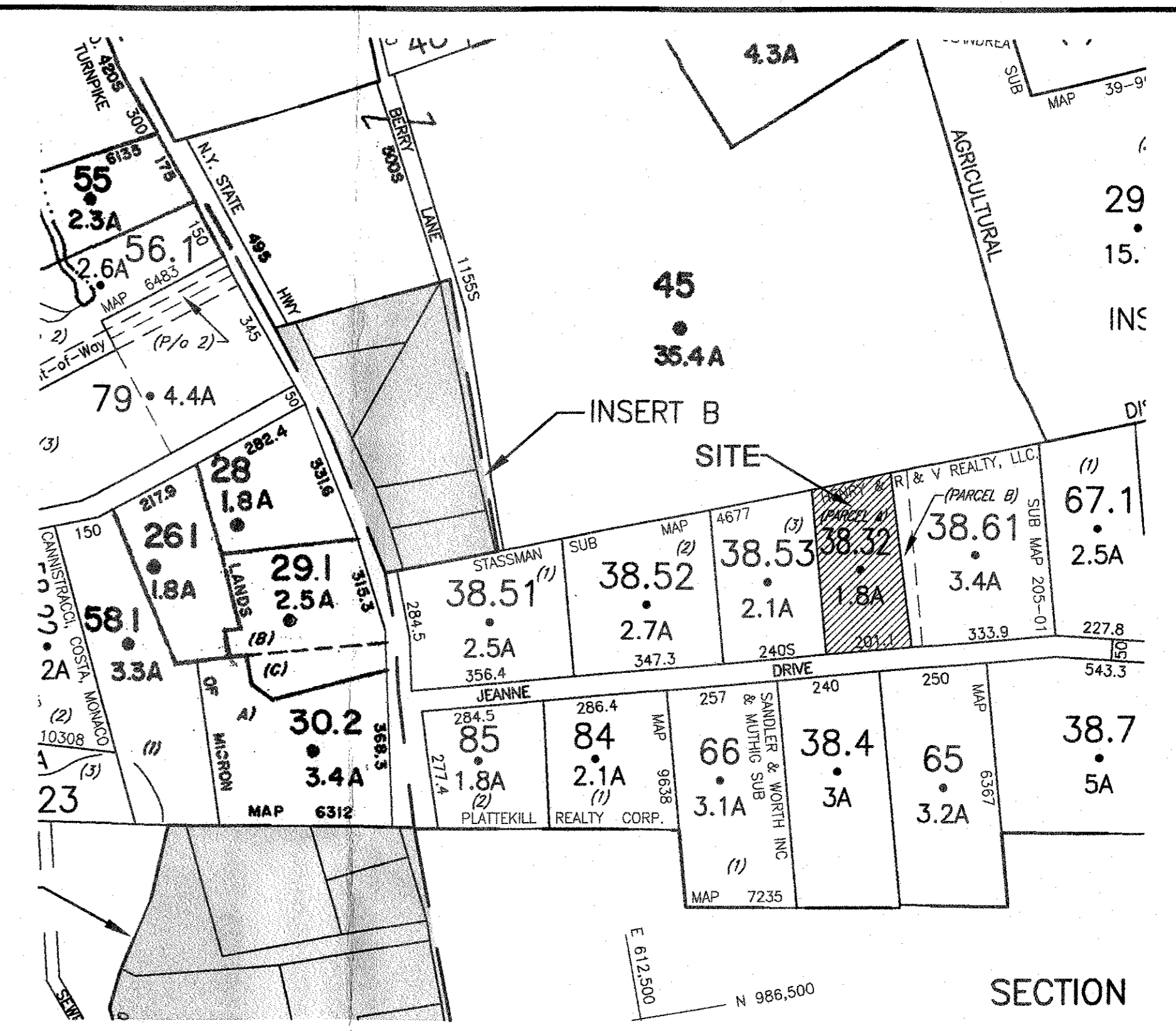
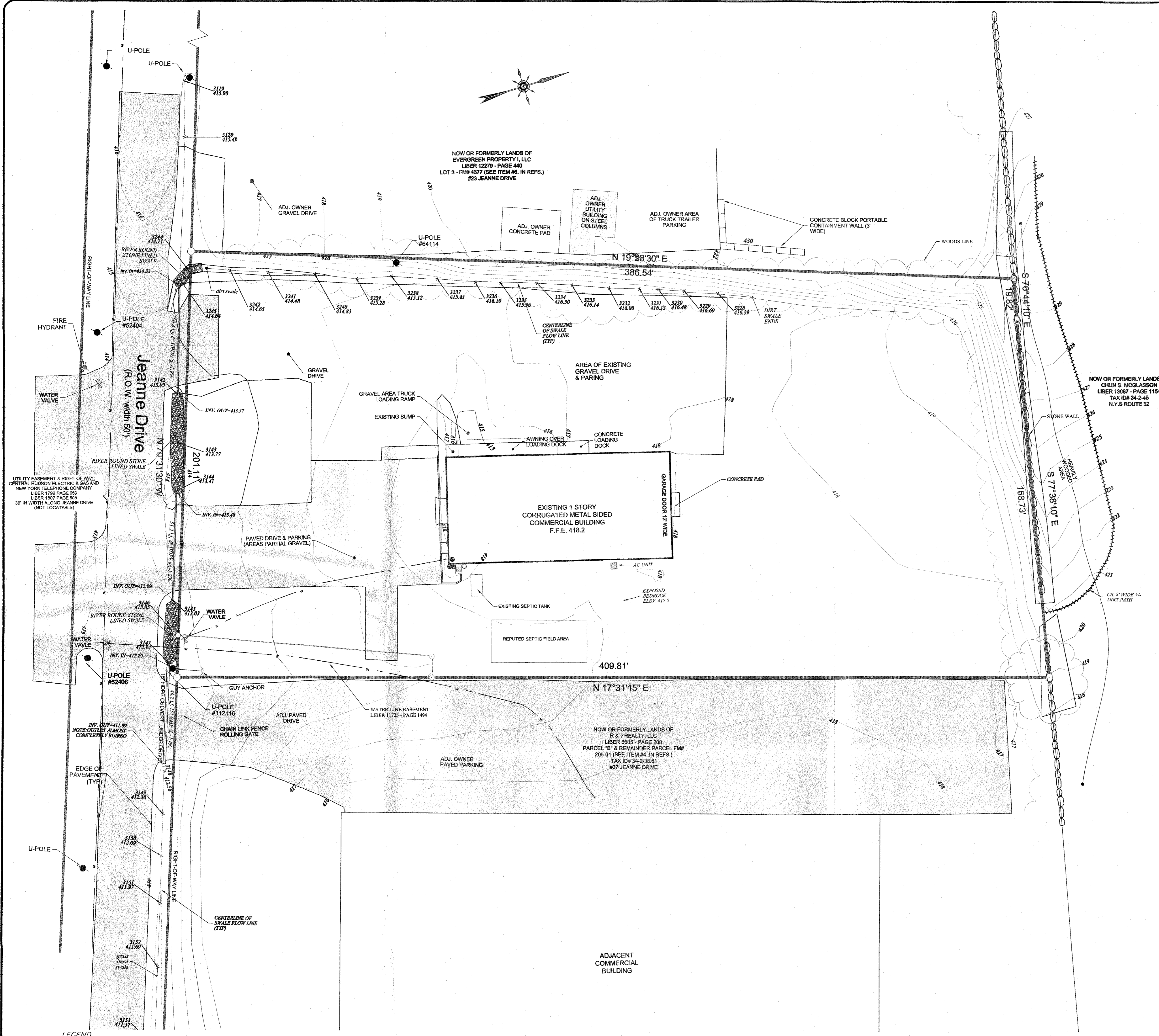
1. Revised plans have been submitted by a new consulting engineer to the project.
2. Ken Wersted's comments regarding access to the site via tractor-trailer should be addressed.
3. The Applicant's representative has designed a conventional Subsurface Sanitary Sewer Disposal System consisting of a shallow absorption trench system consistent with Health Department regulations. Septic details for the design must be added to the plans including proposed pump station septic tank, piping distribution and laterals. Design flow and lateral length vary on plan sheets and should be coordinated.
4. The number of employees in the warehouse should be further clarified. Numerous vehicles are depicted at loaded docks in excess of the 3 employees identified.
5. The fence does not appear to be contiguous along the western portion of the warehouse parking.
6. The Applicant's representative is requested to address fire sprinkler requirements in the building consistent with Town of Newburgh code. Valving for the water service should be such that when fire protection water is terminated potable water to the building is terminated. Standard Town of Newburgh water system connection notes and details must be added to the plans.

7. Grading for the loading dock should be identified, as a 417 contour exists in the vicinity of the truck while the loading dock is significantly lower. Additional spot elevations should be provided.
8. Retaining wall details should be added to the plans and depicted on the site plan where appropriate.
9. A report for the stormwater management pumping and treatment system should be provided detailing design of the pump station and soil testing depicting permeability of the soils in the vicinity of the underground thing.
10. The stormwater report should address the site as a stormwater hotspot for discharge from the trucking loading dock area.

Respectfully submitted,

McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.

Patrick J. Hines
Principal



ZONING SCHEDULE
ZONE 1-B

	REQUIRED	EXISTING
MINIMUM LOT AREA	40,000 (S.F.)	78,408 (S.F.)
MINIMUM YARDS (FT)		
FRONT	50 (FT.)	122.91 (FT.)
REAR	60 (FT.)	167.92 (FT.)
ONE SIDE	30 (FT.)	53.70 (FT.)
BOTH SIDES	80 (FT.)	140.49 (FT.)
MINIMUM LOT WIDTH (FT)	150 (FT.)	188.55 (FT.)
MINIMUM LOT DEPTH (FT)	150 (FT.)	386.54 (FT.)
LOT SURFACE COVERAGE (%)	80 (%)	36.9% ±
LOT BUILDING COVERAGE (%)	40 (%)	6.73% ±
MAXIMUM HEIGHT	40 (FT.)	40 (FT.)

APPLICANT

UNIFIRST CORPORATION
33 JEANNE DRIVE
NEWBURGH, NY, 12550
&
68 JONSPIN ROAD
WILMINGTON, MA, 01887

RECORD OWNER'S CONSENT NOTE

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE IF SO REQUIRED.

33 JEANNE DRIVE
NEWBURGH, NY, 12550
&
68 JONSPIN ROAD
WILMINGTON, MA, 01887

SIGNATURE _____

MAP REFERENCE

- ALL EXISTING FEATURES INCLUDING TOPOGRAPHY BUILDING, PROPERTY LINES, AND ROAD LINES HAVE BEEN OBTAINED PER A SURVEY ENTITLED "UNIFIRST CORPORATION" PERFORMED BY JONATHAN N. MILLEN L.L.S. LAST REVISED 10/23/15.

LEGEND

- PROPERTY LINE EXISTING
- PROPERTY LINE ADJOINING
- EXISTING CONTOURS (2')
- EXISTING CONTOURS (10')
- CONTOURS PROPOSED (1')
- CONTOURS PROPOSED (5')
- EASEMENT
- WATER SERVICE LINE EXISTING
- GAS LINE
- OVERHEAD WIRE
- SETBACKS
- STONEWALL
- WATER SERVICE LINE PROPOSED
- SILT FENCE

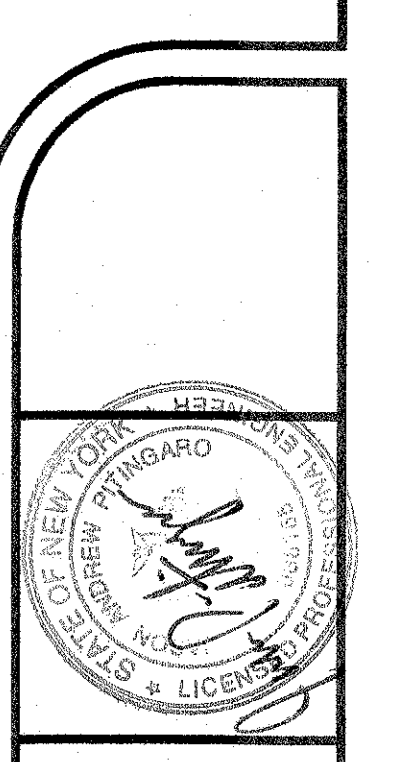
(IN FEET)
1 INCH = 20 FT.
GRAPHIC SCALE

Each sheet is incomplete or invalid unless accompanied by all the sheets in the set.

It is a violation of NYS Education Law Section 7205 for any person, unless they are acting under the direction of a licensed professional engineer, land surveyor, or architect to alter an item bearing the stamp or seal of a licensed professional in any way. If an item is altered, the altering engineer, land surveyor, or architect shall affix to the item their stamp or seal and the notation "altered by" followed by their signature, the date of such alteration, and a specific description of the alteration.

Consent Statement for Individual Property
The undersigned owners of the property hereon state that they are familiar with this plan, its contents and its legends and hereby consent to all said terms and conditions as stated hereon and to the filing of this plan in the office of the clerk of the county of Orange if so required.

ROBERT J. STEVENS ARCHITECTURE, PLLC
48 Ridgeway Drive
Westfield, MA 01085
Telephone 413 736-5857
Fax 413 736-2757



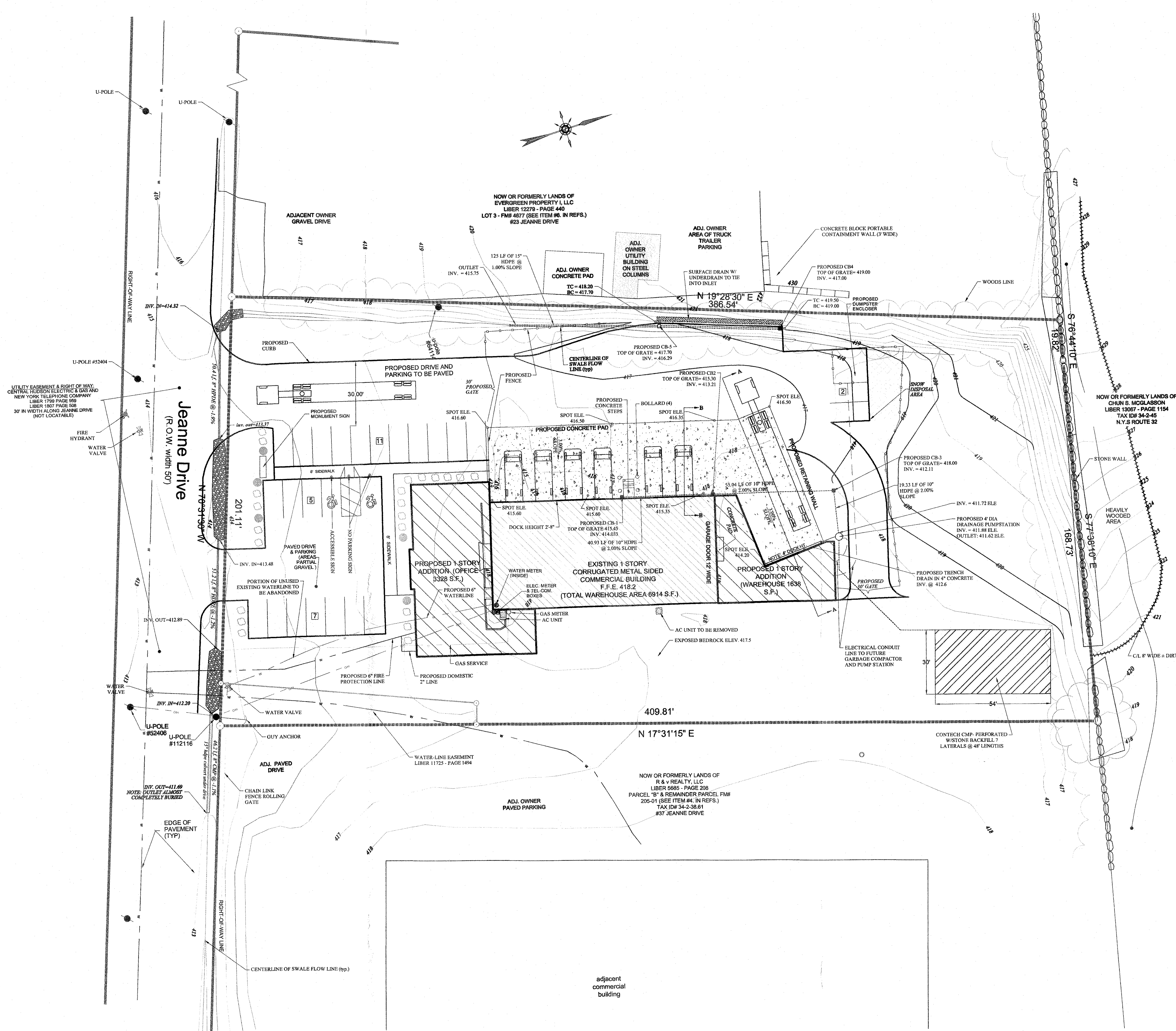
EXISTING CONDITIONS

ADDITIONS + ALTERATIONS
UNIFIRST CORPORATION
33 JEANNE DRIVE
NEWBURGH, NEW YORK

scale 1"=20'
date 6-3-2019
drawn KGW
proj. no. 190012
revised

Pitingaro & Doetsch
Consulting Engineers, P.C.
15 Industrial Drive, Suite 2, Middletown NY 10941
(845) 703-8140

1 OF 5



ZONING SCHEDULE
ZONE 1-B

	REQUIRED	PROPOSED
MINIMUM LOT AREA	40,000 (S.F.)	78,408 (S.F.)
MINIMUM YARDS (FT)		
FRONT	50 (FT.)	86.21 (FT.)
REAR	60 (FT.)	116.26 (FT.)
ONE SIDE	30 (FT.)	31.79 (FT.)
BOTH SIDES	80 (FT.)	118.53 (FT.)
MINIMUM LOT WIDTH (FT)	150 (FT.)	188.55 (FT.)
MINIMUM LOT DEPTH (FT)	150 (FT.)	386.54 (FT.)
LOT SURFACE COVERAGE (%)	80 (%)	61% ±
LOT BUILDING COVERAGE	40 (%)	13% ±
MAXIMUM HEIGHT	40 (FT.)	40 (FT.)

PARKING SCHEDULE
OFFICE 3,328S.F. AT 1 SPACE/200S.F. = 17 SPACES
WAREHOUSE 6,914S.F. - 3 EMPLOYEES = 2 SPACES
19 SPACES REQUIRED
25 SPACES PROPOSED
INCLUDING 23 @ 9' x 18'
INCLUDING 2 HANDICAPPED

- TRUCK DOCK NOTES**
- DOCK WILL ACCOMMODATE A 53' TRAILER MAX (WB-67)
 - TRACTOR SHALL BE A DAY CAB
 - TRACTOR SHALL BE DETACHED & NOT ON SITE WHEN PARKED

MAXIMUM PROPOSED DISTURBANCE = 0.71 ACRES

PROPOSED LANDSCAPING SCHEDULE

SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE
	5	VINCA MINOR	PERIWINKLE	10T
	22	JUNIPERUS SQUAMATA	BLUE STAR JUNIPER	-

LEGEND

- PROPERTY LINE EXISTING
- PROPERTY LINE ADJOINING
- EXISTING CONTOURS (2')
- EXISTING CONTOURS (10')
- CONTOURS PROPOSED (1')
- CONTOURS PROPOSED (5')
- EASEMENT
- WATER SERVICE LINE EXISTING
- GAS LINE
- OVERHEAD WIRE
- SETBACKS
- STONEWALL
- WATER SERVICE LINE PROPOSED
- SILT FENCE

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It is a violation of NYS Education Law Section 7209 for any person, unless they are acting under the direction of a licensed professional engineer, land surveyor, or architect to alter an item bearing the stamp or seal of a licensed professional in any way. If an item is altered, the altering engineer, land surveyor, or architect shall affix to the item their stamp or seal and the notation "altered by" followed by their signature, the date of such alteration, and a specific description of the alteration.

Ownership Statement for Intellectual Property
The enclosed information was prepared by the undersigned or under their direct supervision and control. The undersigned is a duly licensed professional engineer, land surveyor, or architect in the State of New York. The undersigned is not providing any services to the client under this contract. The undersigned is not providing any services to the client under this contract. The undersigned is not providing any services to the client under this contract.

ROBERT J. STEVENS ARCHITECTURE, PLLC
48 Ridgecrest Drive
Westport, NY 10988
Telephone: 413 736-8857
Fax: 413 736-2757

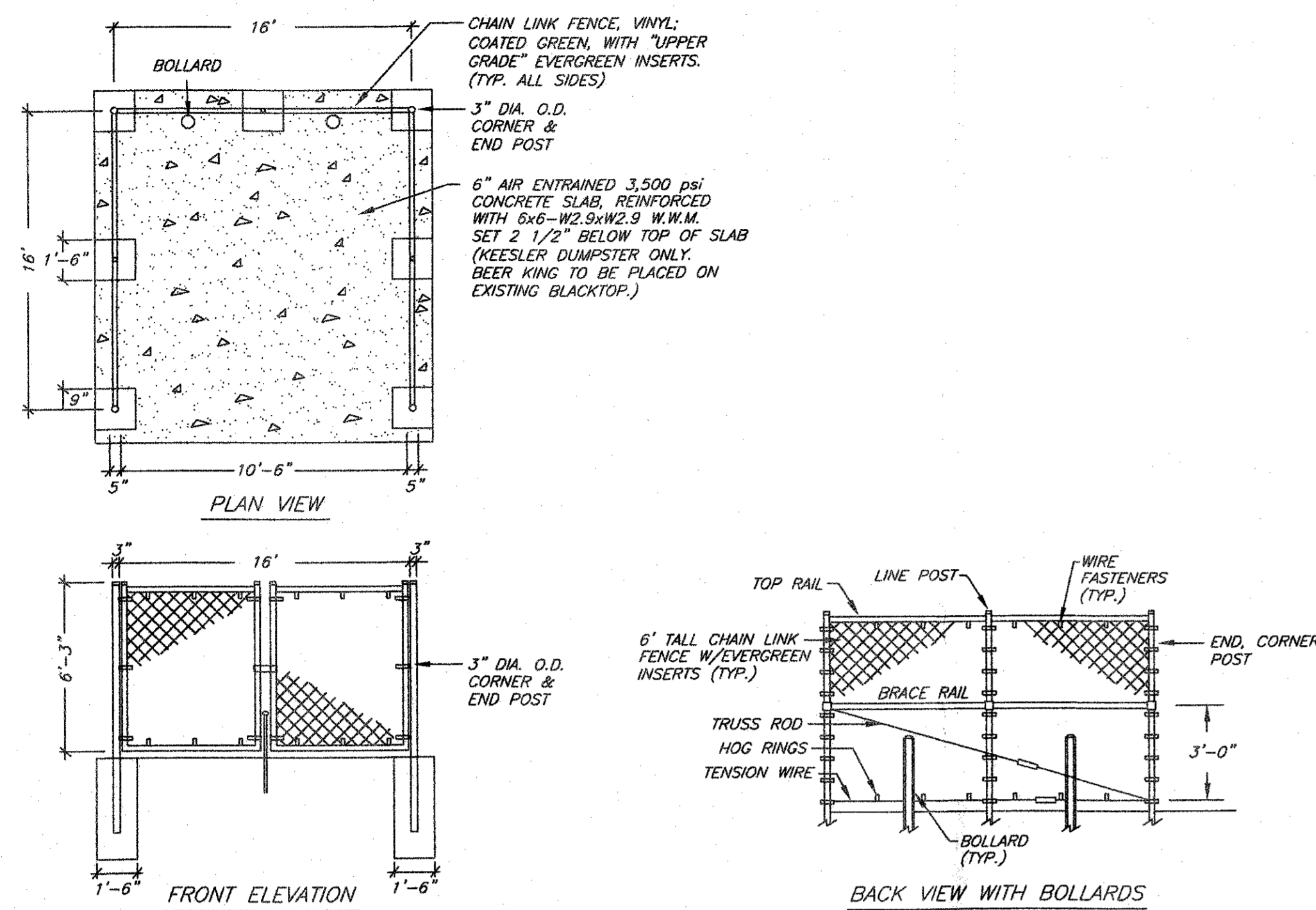
SITE PLAN

ADDITIONS + ALTERATIONS
UNIFIRST
33 JEANNE DRIVE
NEWBURGH, NEW YORK

scale 1"-20'
date 6-3-2019
drawn KGW
proj. no. 190012
revised

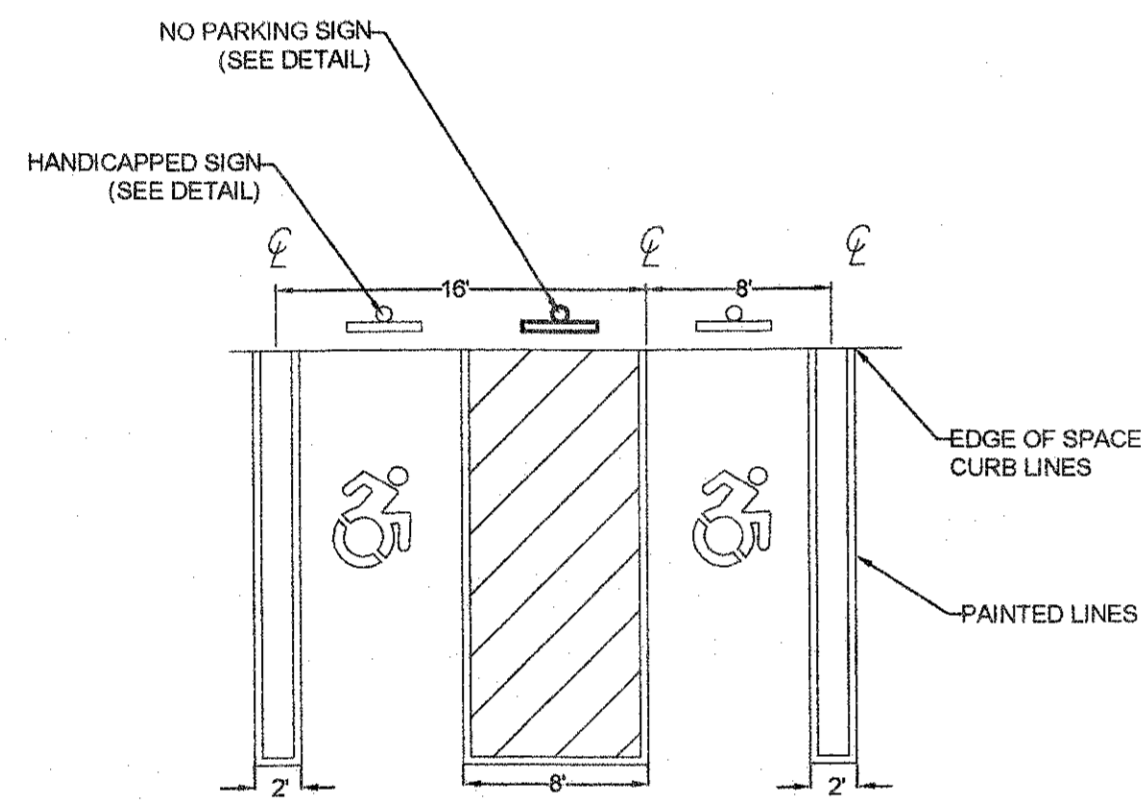
Pitingaro & Doetsch Consulting Engineers, P.C.
15 Industrial Drive, Suite 2, Middletown NY 10941
(845) 703-8140

2 OF 5



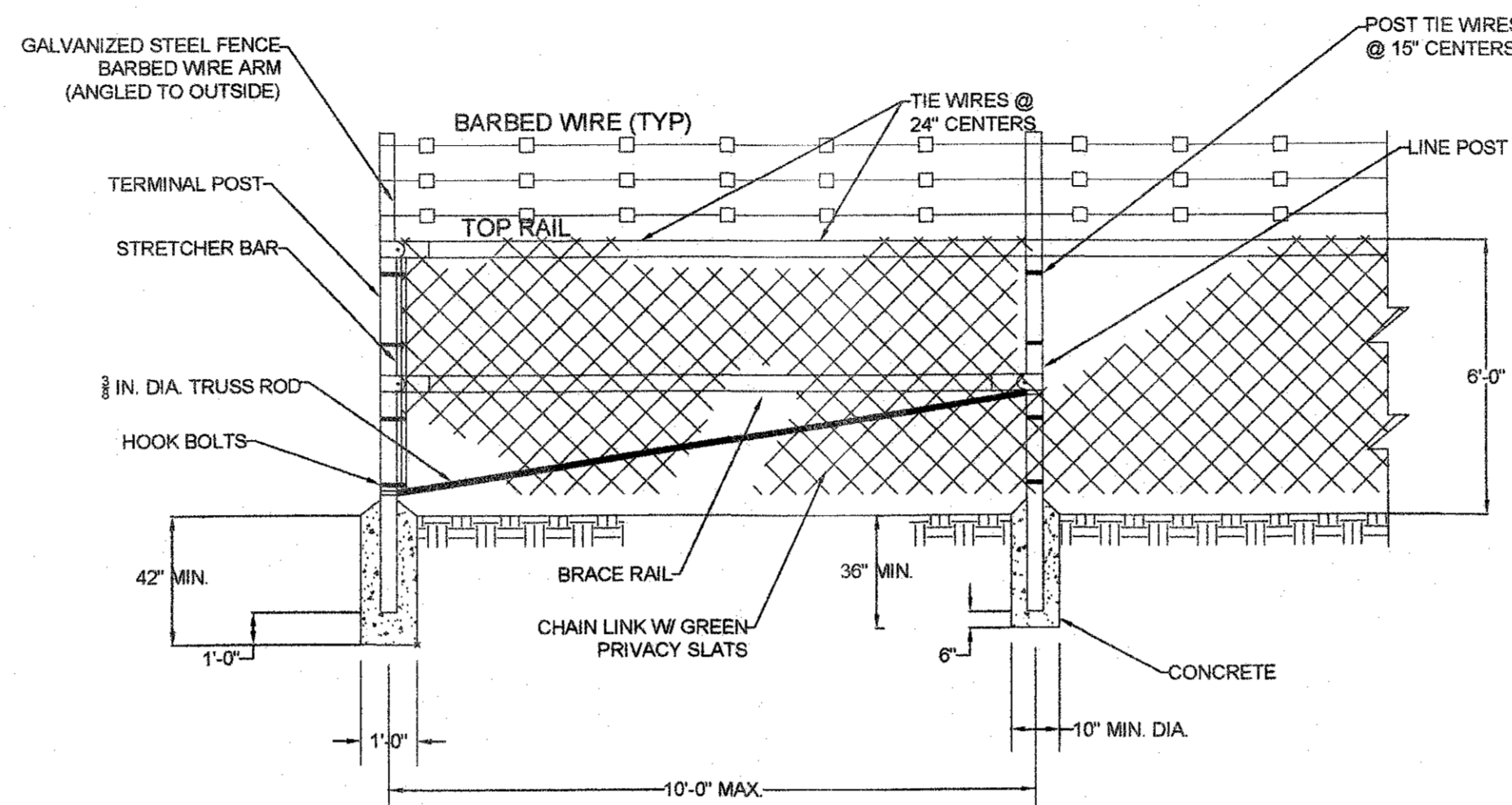
CHAIN LINK DUMPSTER ENCLOSURE

NOT TO SCALE



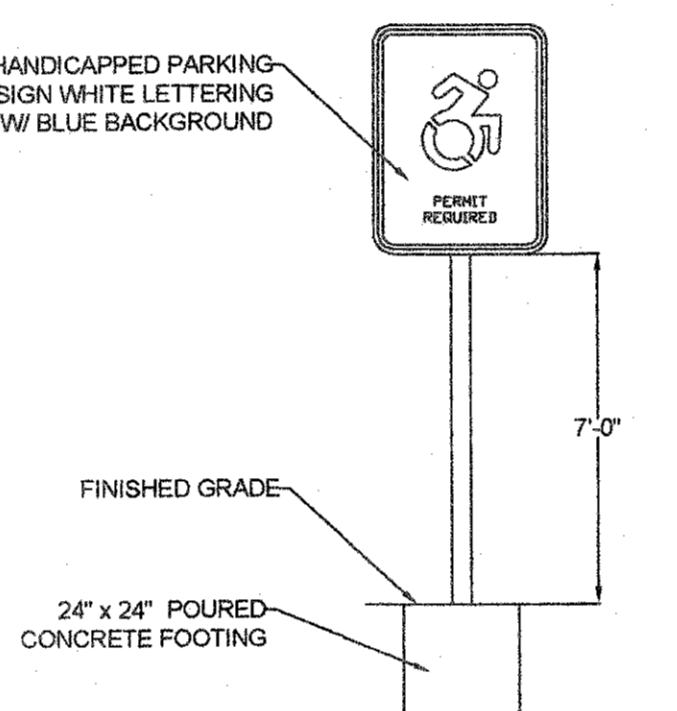
HANDICAPPED PARKING SPACE DETAIL

N.T.S.



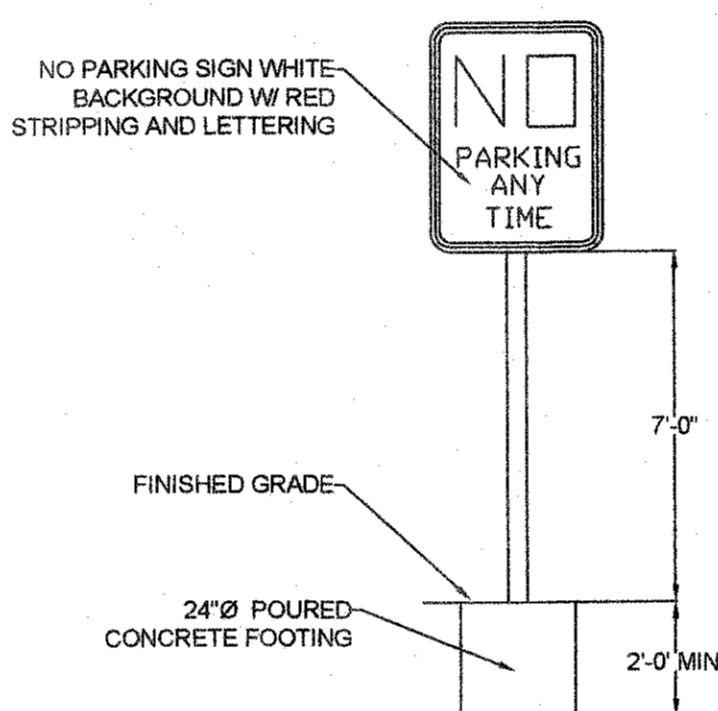
6' FENCE DETAILS

N.T.S.



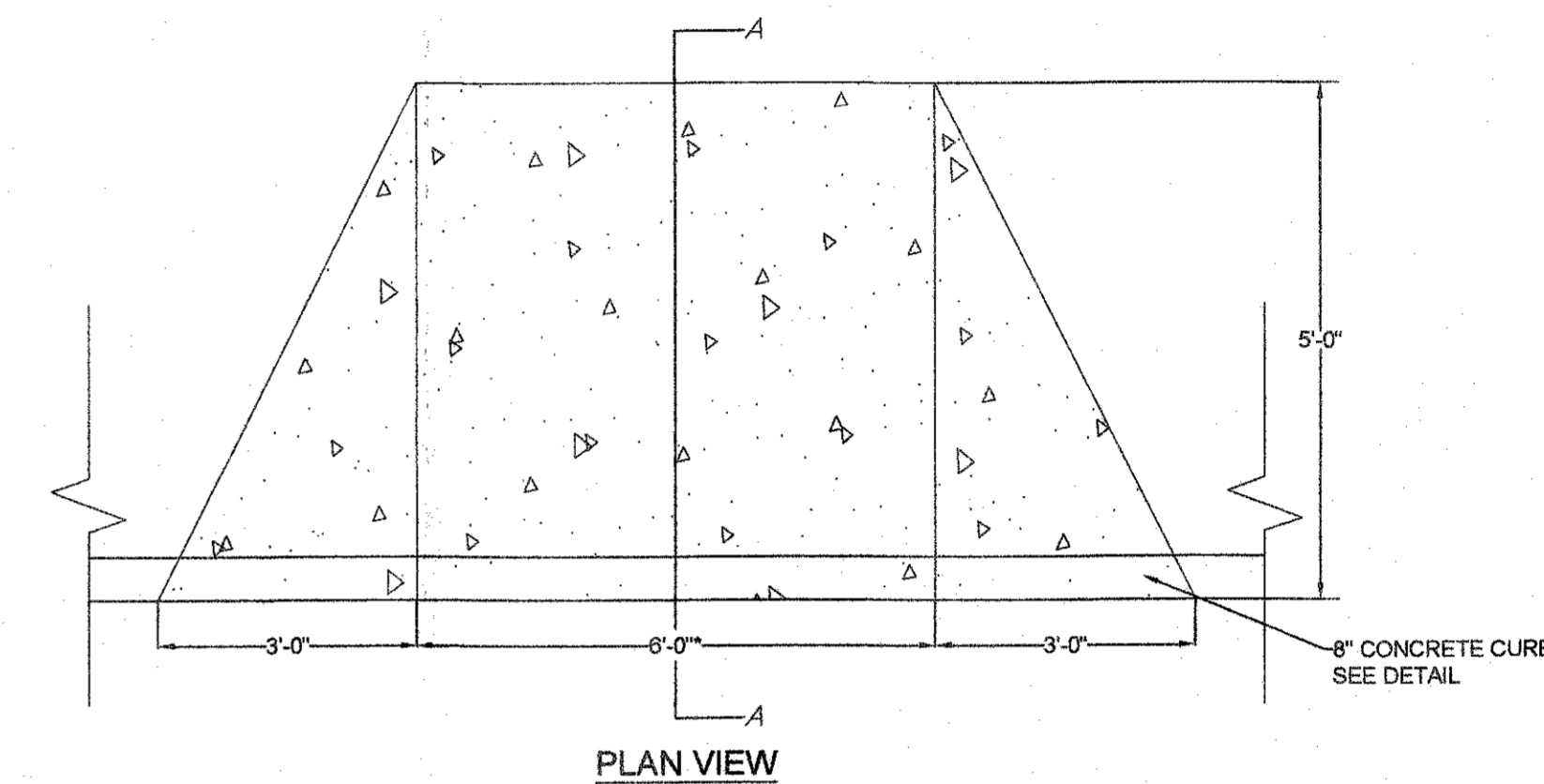
HANDICAP SIGN DETAIL

N.T.S.



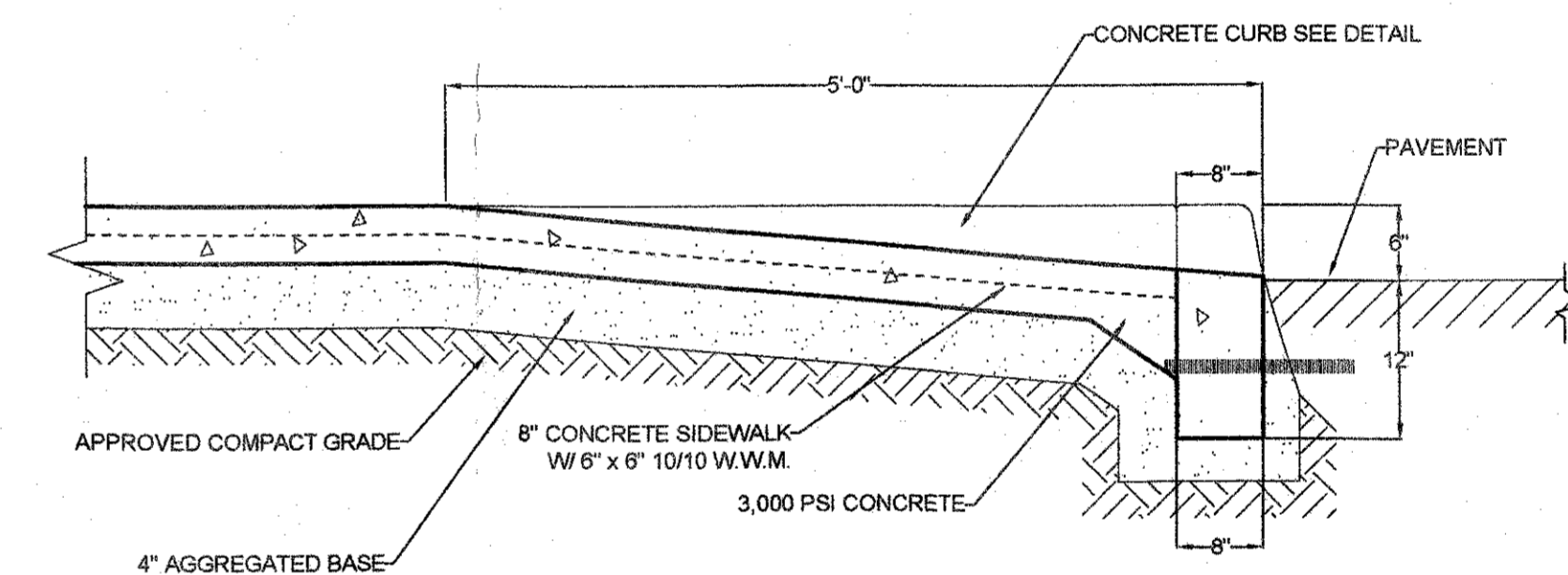
P-1 SIGN DETAIL

N.T.S.



PLAN VIEW

ELEVATION

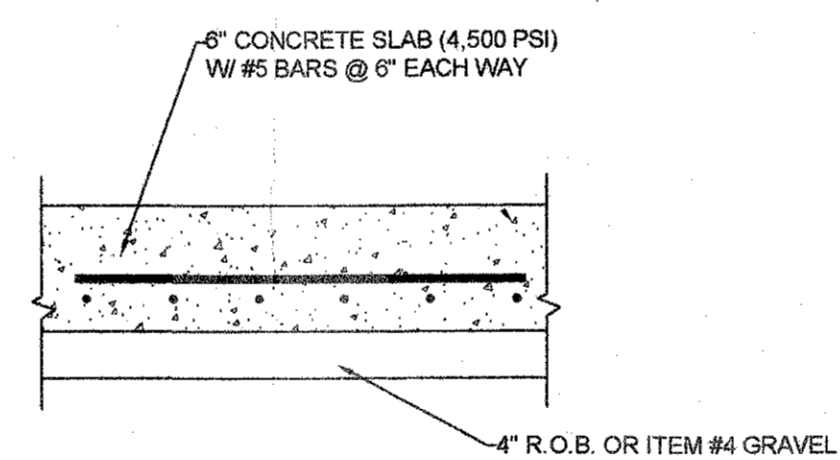


SECTION A-A

*OR MATCH EXISTING SIDE WALK WIDTH

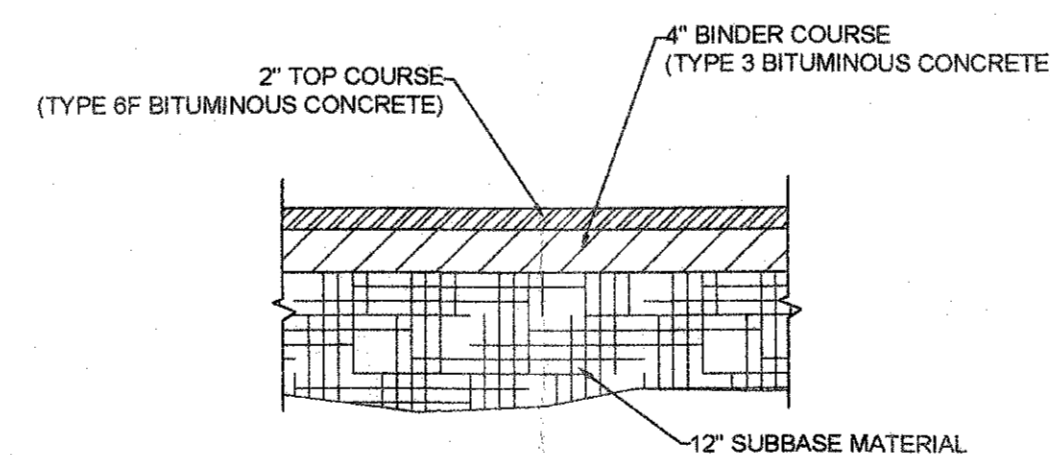
DROP CURB & HANDICAPPED RAMP DETAIL

N.T.S.



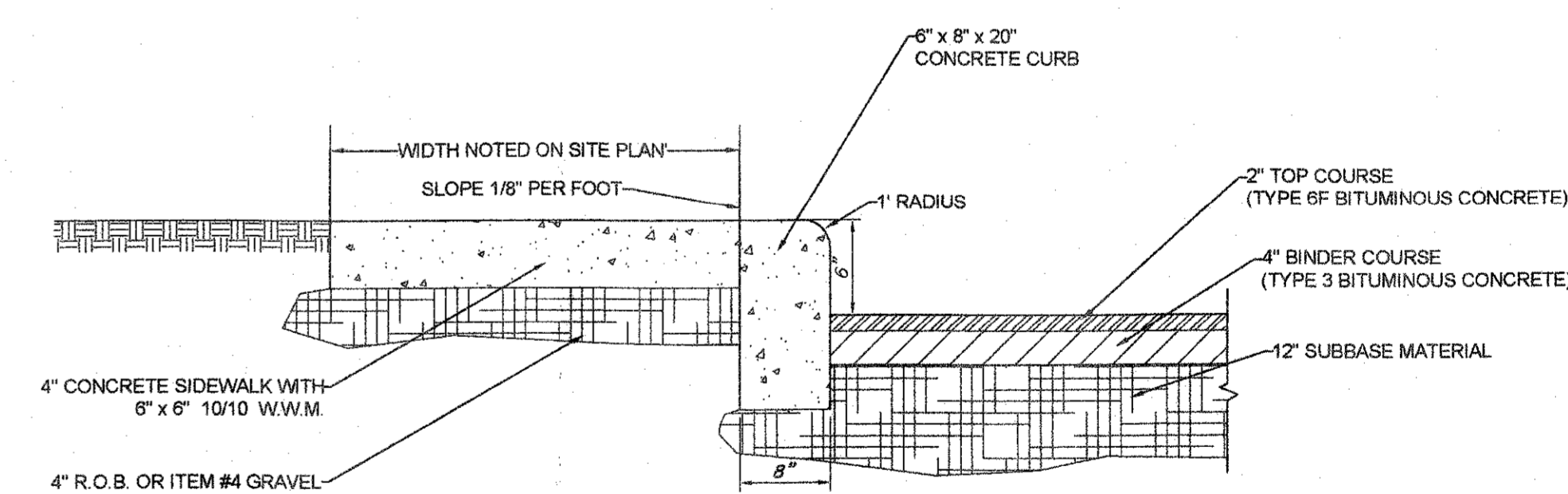
CONCRETE DETAIL

N.T.S.



PAVEMENT DETAIL

N.T.S.

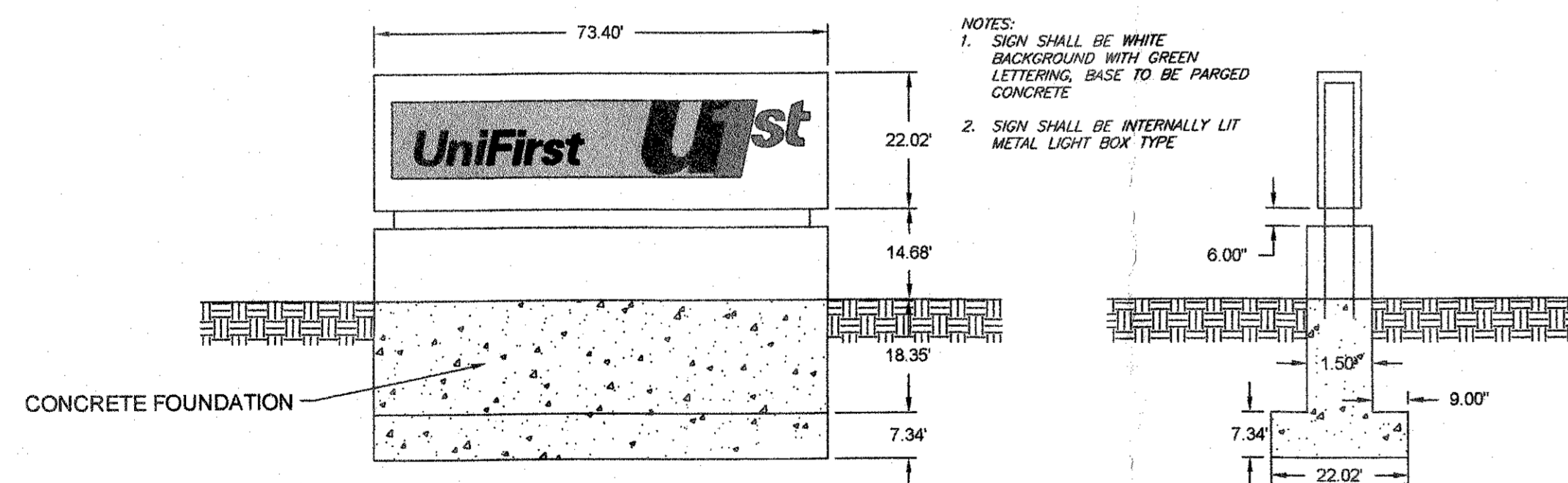


SIDEWALK, CURB, & PAVEMENT DETAIL

N.T.S.

SIDEWALK NOTE:

PROVIDE 3/4" PRE MOLDED EXPANSION JOINTS AT 20' INTERVALS, AND CONTRACTION JOINTS AT 5' INTERVALS



PROPOSED MONUMENT SIGN DETAIL

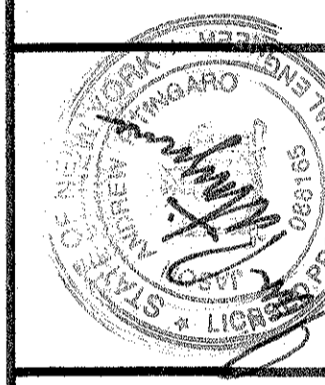
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Ownership Statement for Intellectual Property
The Architect, Engineer or Surveyor on this project has prepared and owns the copyright in the design and drawings for this project. The client retains ownership of the project files for their own use only. The Architect, Engineer or Surveyor shall not be held liable for any other work done under the direction of the client or any other party without the written consent of the Architect, Engineer or Surveyor.

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DETAILS

ADDITIONS + ALTERATIONS
UNIFIRST
33 JEANNE DRIVE
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STORMWATER MANAGEMENT IMPLEMENTATION SCHEDULE

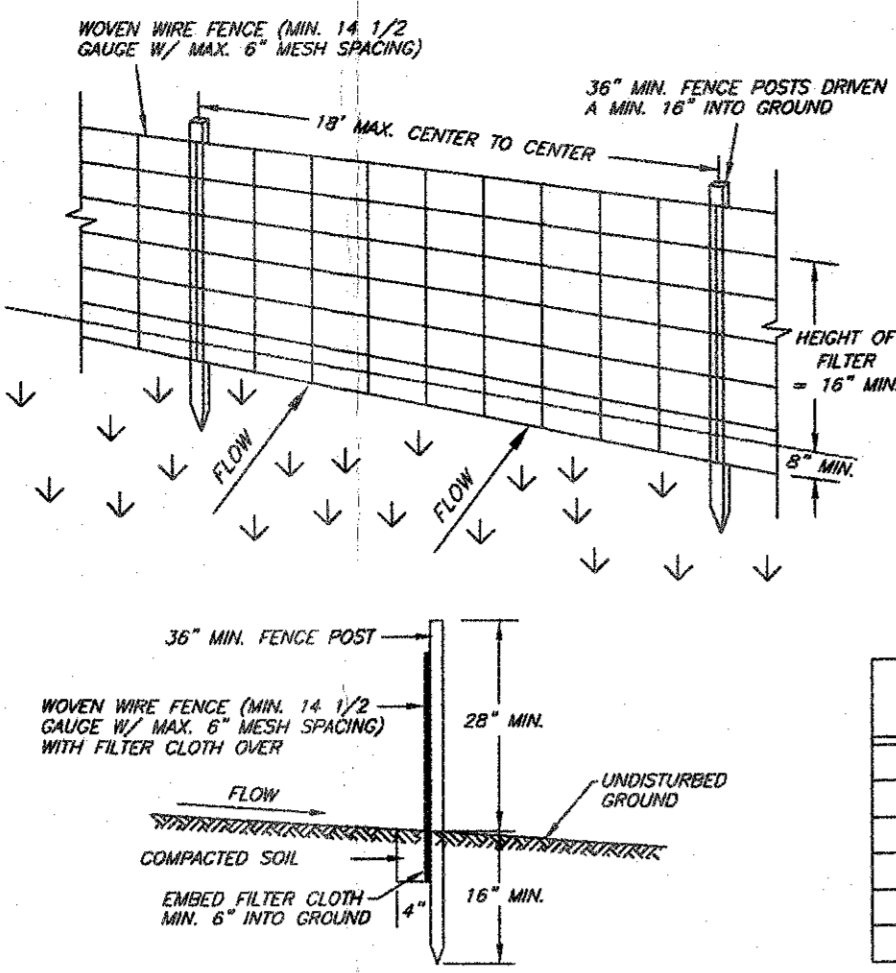
1. MARK THE LIMITS OF SITE DISTURBANCE.
2. BUILD THE INITIAL STABILIZED CONSTRUCTION ENTRANCE AT SITE ROAD AND DRIVEWAYS.
3. CONSTRUCT ANY BALE AND SILT FENCES AS NECESSARY TO PROTECT ON-SITE AND OFF-SITE AREAS AND PREVENT EROSION DURING SITE AND ON-SITE STORM WATER RUNOFF.
4. CONSTRUCT THE STORMWATER MANAGEMENT BASIN, WITH PERMANENT INLET OR OUTLET PIPES, TEMPORARY OUTLET RIVERS AND THE (IN-PAVED) OUTLETS.
5. CONSTRUCT SECTIONS OF THE MAIN STREET CUL-DE-SAC (IF APPLICABLE).
6. CONSTRUCT CATCH BASINS, UTILITY PIPING AND OTHER APPURTENANCES.
7. CONSTRUCT THE GOVERNOR STABILIZED CONSTRUCTION ENTRANCE FOR EACH LOT AS ENCOURAGED.
8. STABILIZE SOIL DISTURBANCE AREAS WITHIN 7 TO 14 DAYS OF SOIL EXPOSURE.
9. CONSTRUCT THE HOUSES, DRIVEWAYS, E.T.C.
10. FINAL GRASS LAMM AND OTHER AREAS: FINAL SEEDING AND STABILIZATION.
11. REMOVE ANY CONSTRUCTION AND REMAINING DEBRIS FROM THE SITE.
12. DRY SHELLES FOR EACH LOT SHALL BE CONSTRUCTED IMMEDIATELY MOST OF THE CONSTRUCTION AREA IS REVEALED/STABILIZED.

TEMPORARY STABILIZATION OF EXPOSED SOILS

1. APPLICATIONS - WITHIN 7-14 DAYS: ON GRADED OR CLEARED AREAS, NOT IN FINISHED CONDITION, WHICH ARE SUBJECT TO EROSION WHEN SEEDING MAY NOT BE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER, BUT WHICH CAN BE STABILIZED WITH A MULCH COVER.
2. SITE PREPARATION:
 - A. PRIOR TO MULCHING, INSTALL NEEDED EROSION CONTROL PRACTICES.
 - B. FINE GRADING IS NOT REQUIRED PRIOR TO MULCHING.
 - C. LOOSEN THE SOIL IN COMPACTED OR CRUSTED AREAS TO AT LEAST 2" BEFORE MULCHING.
3. MULCHING:
 - A. APPLY UNMATTED STRAW OR SALT HAY AT 2.0 TONS PER ACRE (900 LB. PER 1000 SQ.FT.) AND ANCHOR IN PLACE WITH AN ANCHORING SOIL OR MULCH 10'-COAST METRIC MULCH MATTERIALS SHALL BE RELATIVELY FREE OF WEED SEEDS, SPREAD STRAW OR HAY EVENLY.

SEEDING PERMANENT VEGETATIVE COVER

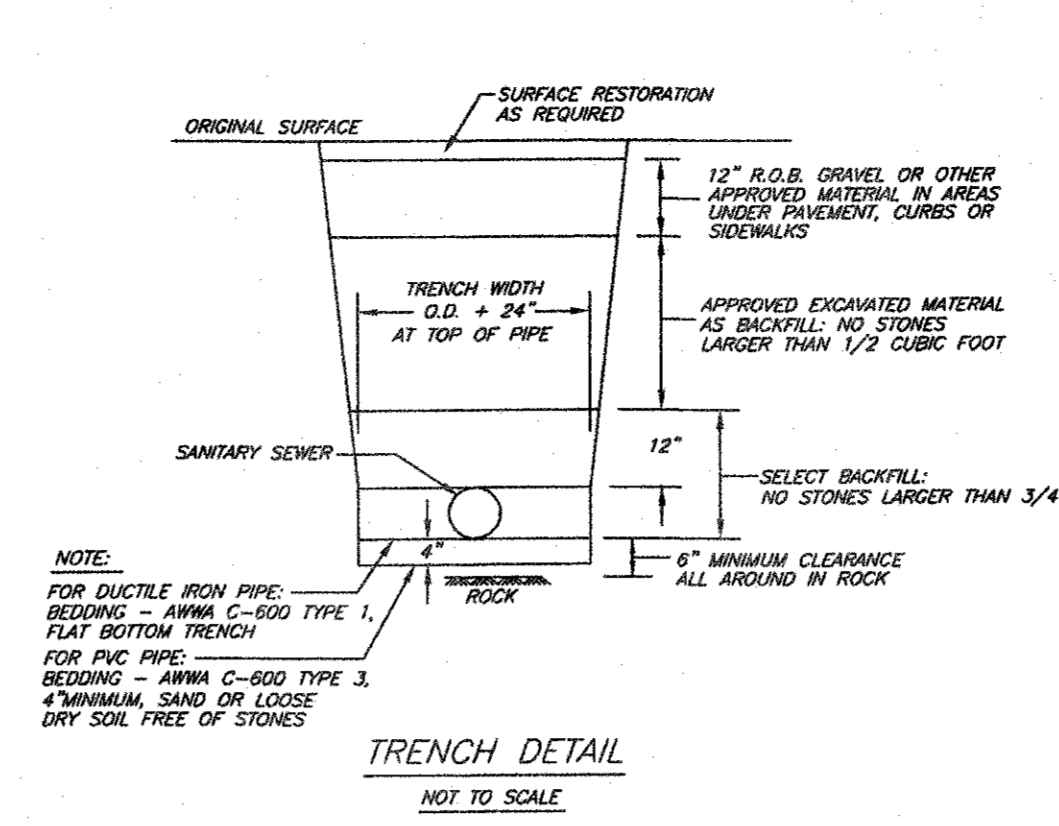
1. APPLICATIONS - WITHIN 7-14 DAYS: ON GRADED OR CLEARED AREAS WHICH ARE SUBJECT TO EROSION WHEN SEEDING WILL HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER.
2. METHODS AND MATERIALS:
 - A. SITE PREPARATION:
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION, SEEDING, MULCH APPLICATION, ANCHORING AND MAINTENANCE.
 - SCAFFRY ALL COMPACTED SOIL AREAS BEFORE APPLYING TOPSOIL.
 - B. SEEDING PREPARATION:
 1. LIME TOPSOIL TO PH 6.5 UNLESS THE NATURAL SOIL IS ABOVE PH 6.0.
 2. APPLY FERTILIZER UNIFORMLY OVER THE AREA AS FOLLOWS:
 - FOR CROSSLAND AREAS (LOW MAINTENANCE) APPLY 400 LB. PER ACRE OF 10-20-20 OR EQUAL.
 - FOR PERMANENT AREAS (HIGH MAINTENANCE) APPLY 800 LB. PER ACRE OF 10-20-20 OR EQUAL.
 3. MOW THE LIME AND FERTILIZER WITH THE TOP 3" OF SOIL PLANTING SITES SHALL BE REASONABLY SMOOTH THE SOIL MUST NOT BE TOO HARD AND THE FINE SURFACE FREE OF CONCRETE, GLASS LUMBS, TRUNK, CORNER PLANT PARTS AND STONES OVER 1 1/2" IN DIAMETER.
 - C. SEEDING:
 1. DO NOT USE NET SEED OR SEED WHICH IS MOIST OR OTHERWISE DAMAGED BY TRAFFIC OR STORAGE.
 2. SOW SEED USING A SPREADER OR SEEDING MACHINE DO NOT SEED WHEN WIND VELOCITY EXCEEDS 5 MPH. DISTRIBUTE SEED IDEALLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITY IN TWO DIRECTIONS AT 90 DEGREE ANGLES TO EACH OTHER. KEEP AT A RATE OF 50 POUNDS PER ACRE.
 3. RAKE SEED LIGHTLY INTO TOP 1/2" OF SOIL. ROLL LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY.
 4. PROTECT SEEDING AREAS AGAINST EROSION BY SPREADING STRAW MULCH AFTER COMPLETION OF SEEDING OPERATIONS.
 - D. GRASS MATERIALS:
 1. GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NEWYORK STATE.
 2. SEEDING MATURE SHALL CONTAIN NOT LESS THAN:
 - ANNULAR RYE GRASS (10%)
 - PERENNIAL RYE GRASS (10%)
 - ADVANTAGE RYE GRASS (20%)
 - ALFA FESCUE (10%)



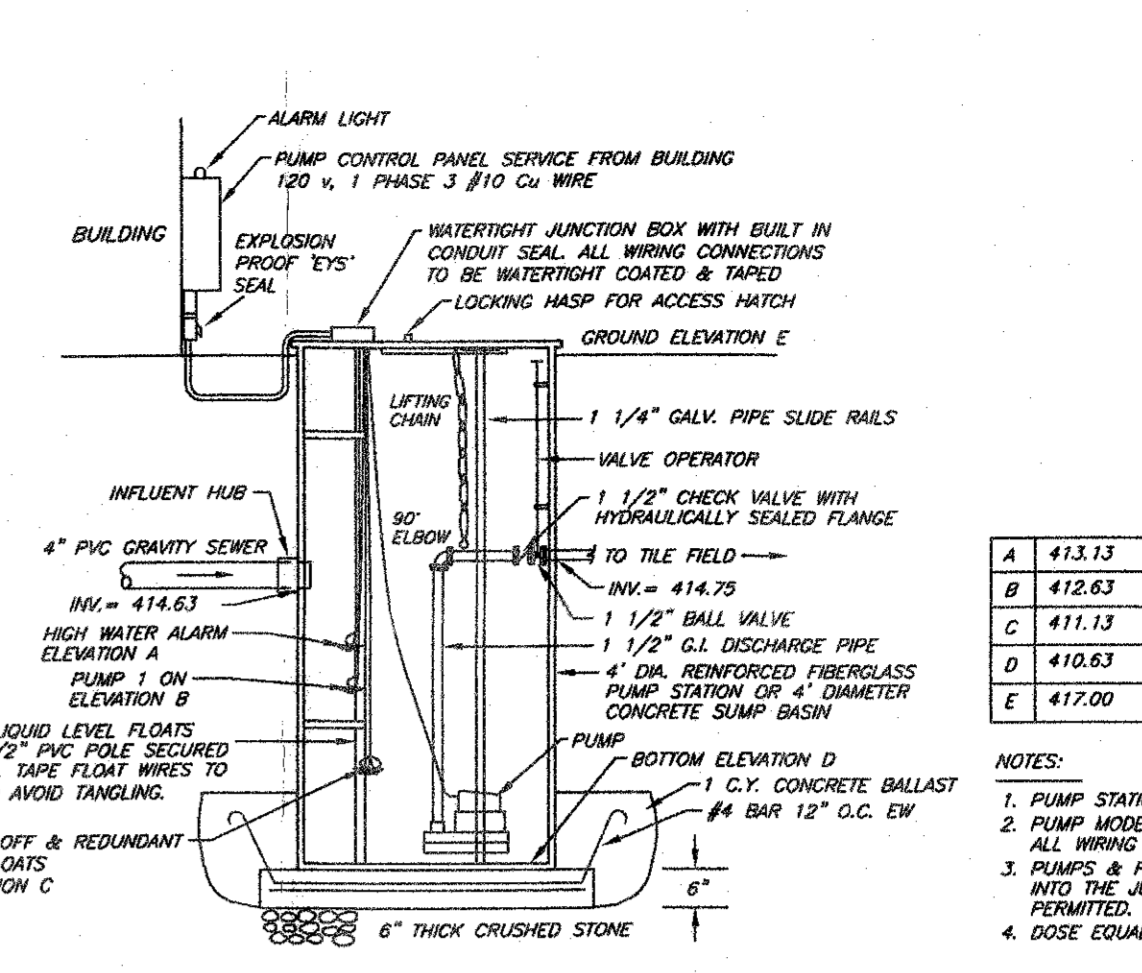
NOTES:
 1. MOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH IS TO BE FASTENED SECURELY TO MOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND SIDES.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 4" AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SANITARY, INCLUDING MINOR SUGGEST DEVELOP IN THE SILT FENCE.
 5. THE SILT FENCE MAY BE PLACED ADJACENT TO THE DRIVEWAYS. THE MOUND FENCE SHOULD BE LOCATED ON THE DOWNSTREAM SIDE OF THE FENCE.
 (POSTS: STEEL EITHER 1" OR 1 1/2" TYPE OR 2" HARDWOOD)
 (FILTER CLOTH: FILTER CLOTH (MINIMUM 180% STRENGTH TYPICAL OR APPROVED EQUAL)
 (PREFABRICATED UNIT: GEOTEK, DIMENSIONS OR APPROVED EQUAL)

CONSTRUCTION SPECIFICATIONS

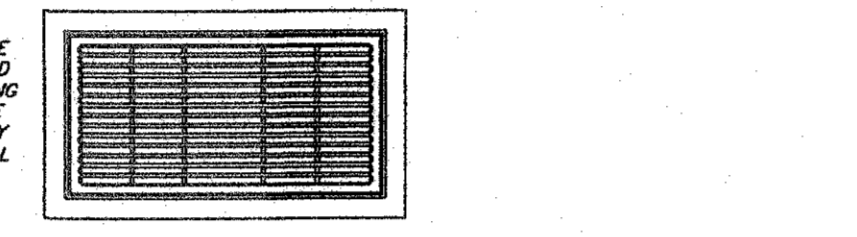
FABRIC PROPERTIES	MINIMUM ACCEPTABLE VALUE	TEST METHOD
TENSILE STRENGTH (LBS)	80	ASTM D1882
ELONGATION AT FAILURE (%)	50	ASTM D1882
PUNCTURE STRENGTH (PSI)	40	ASTM D751 (MODIFIED)
SLEIGHT FLOW RATE (GAL/MIN/SQ)	0.3	WISCONSIN (DOT VTM-57)
EQUALITY OF DRAINAGE	40-60	ISO 5703 SEVERE
ULTRAVIOLET RADIATION STABILITY %	90	ASTM G-26



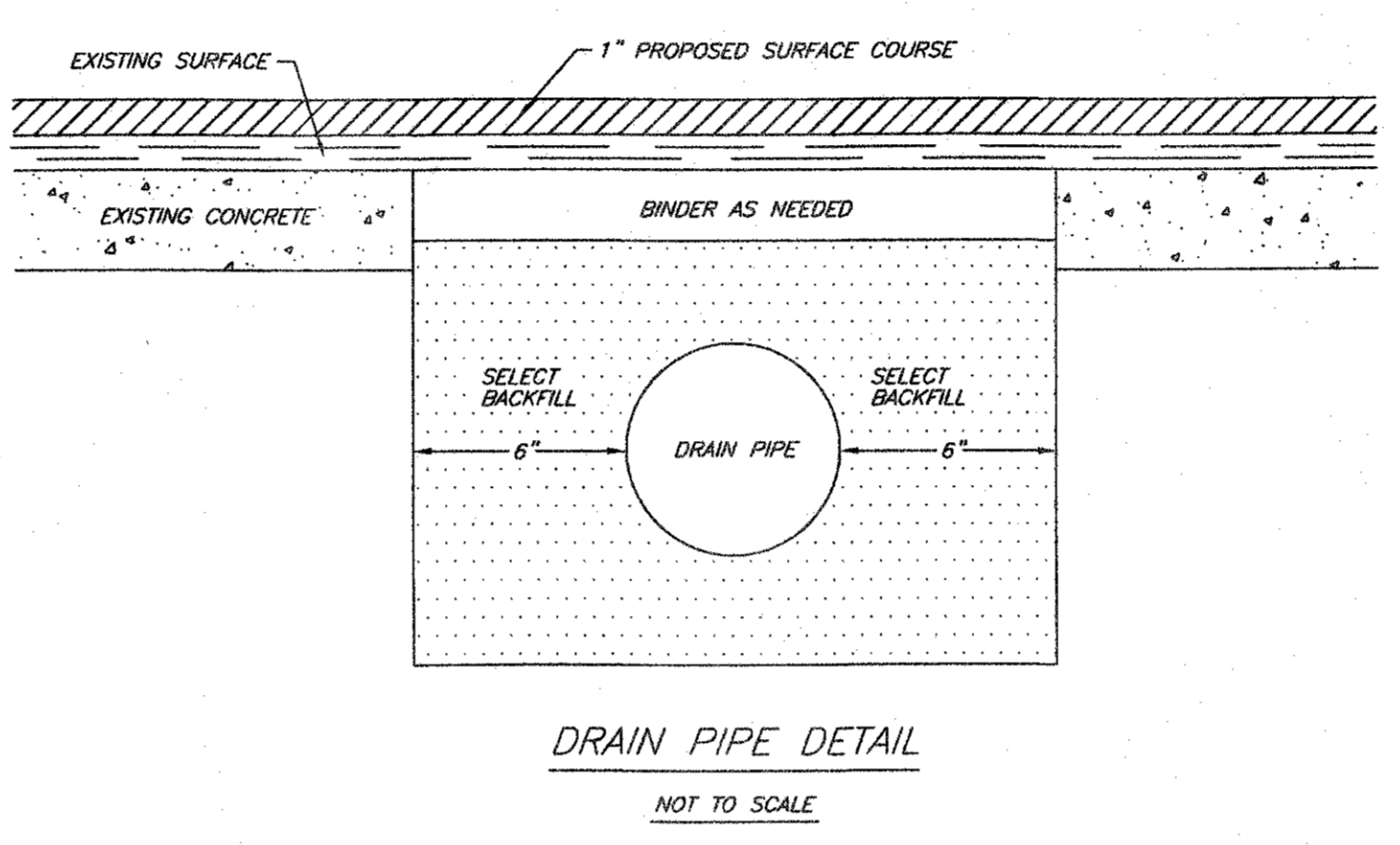
TRENCH DETAIL
NOT TO SCALE



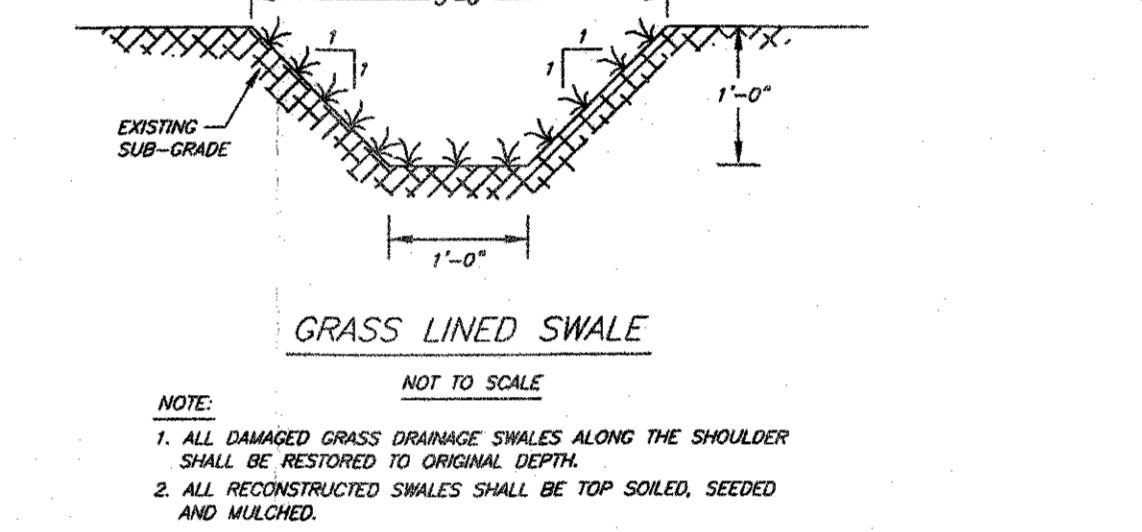
EFFLUENT PUMP STATION
NOT TO SCALE



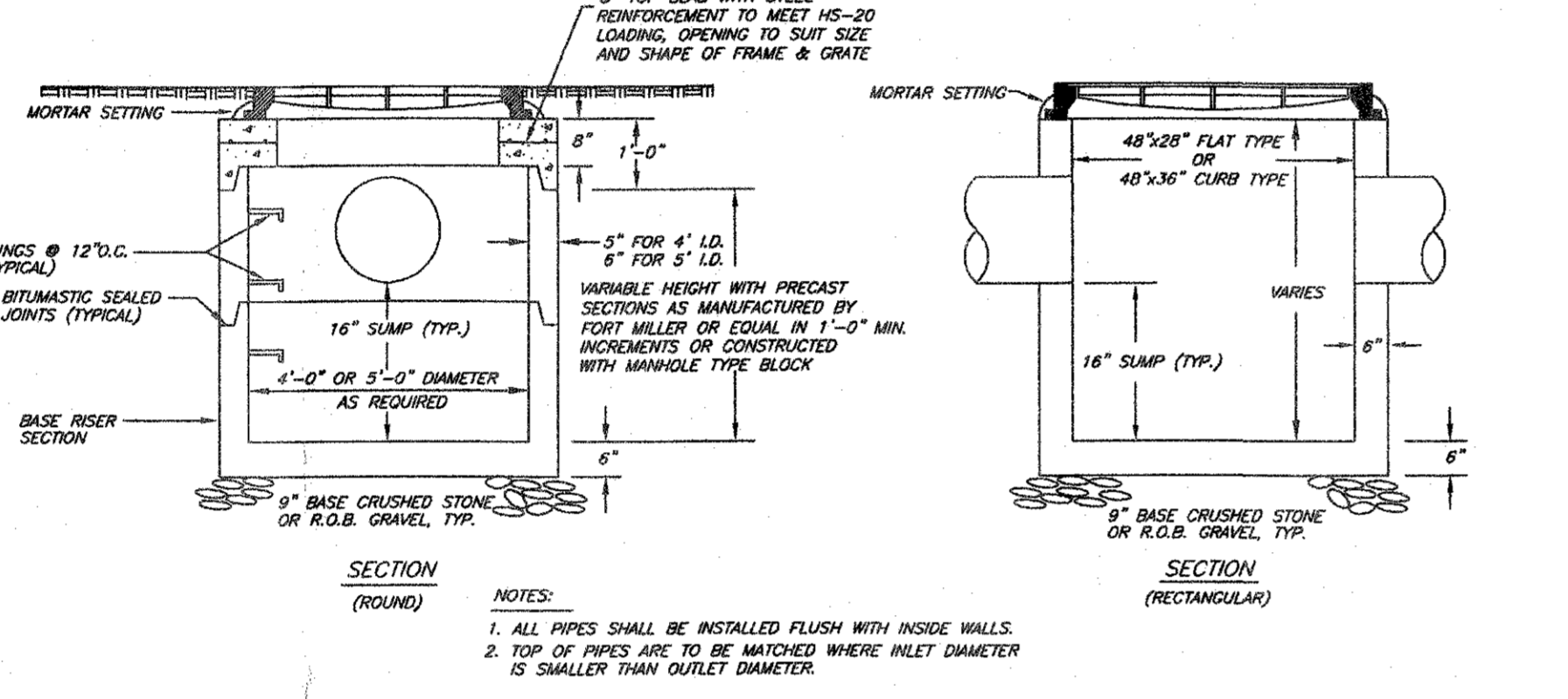
TYPICAL FRAMES & GRATES
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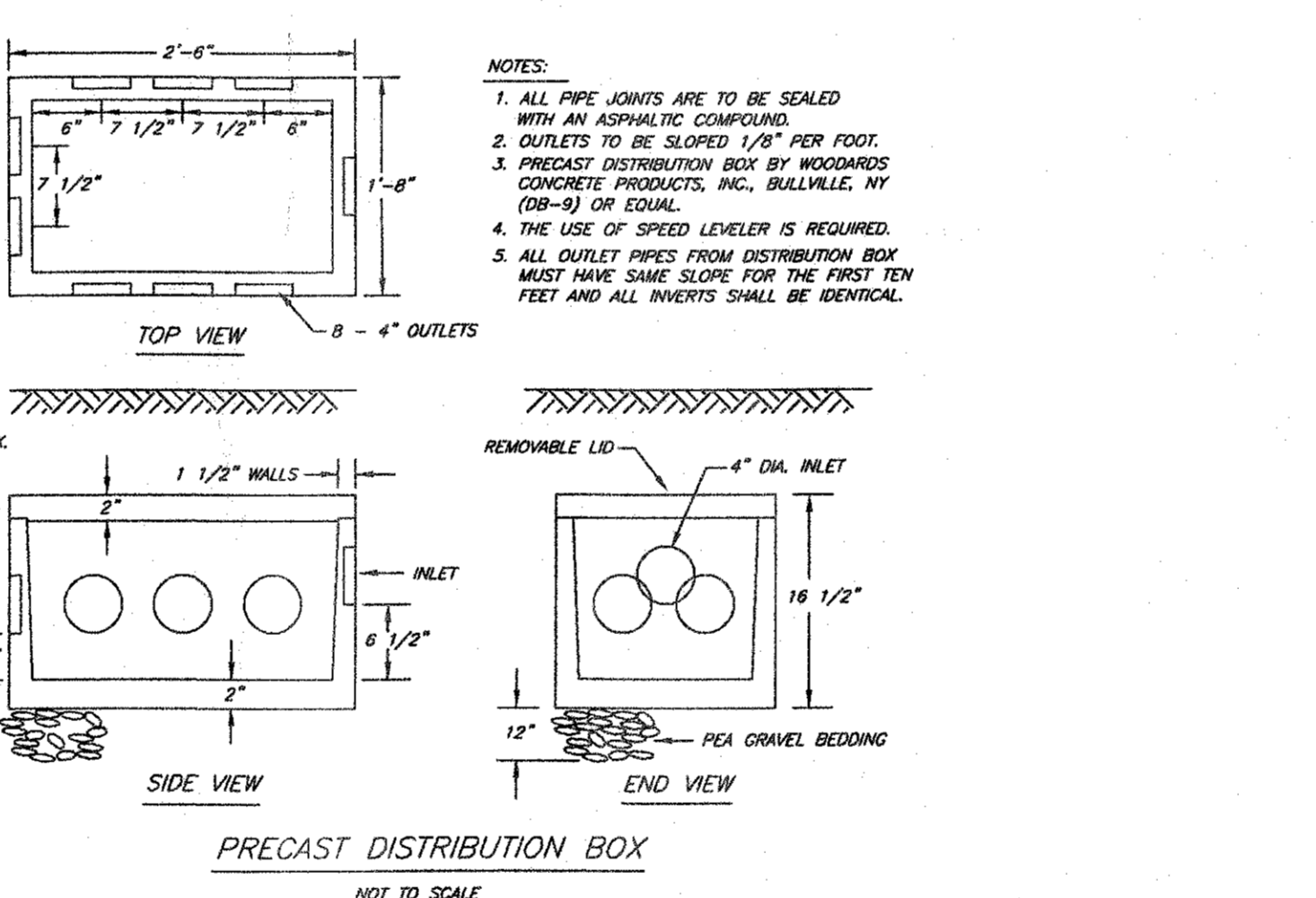
DRAIN PIPE DETAIL
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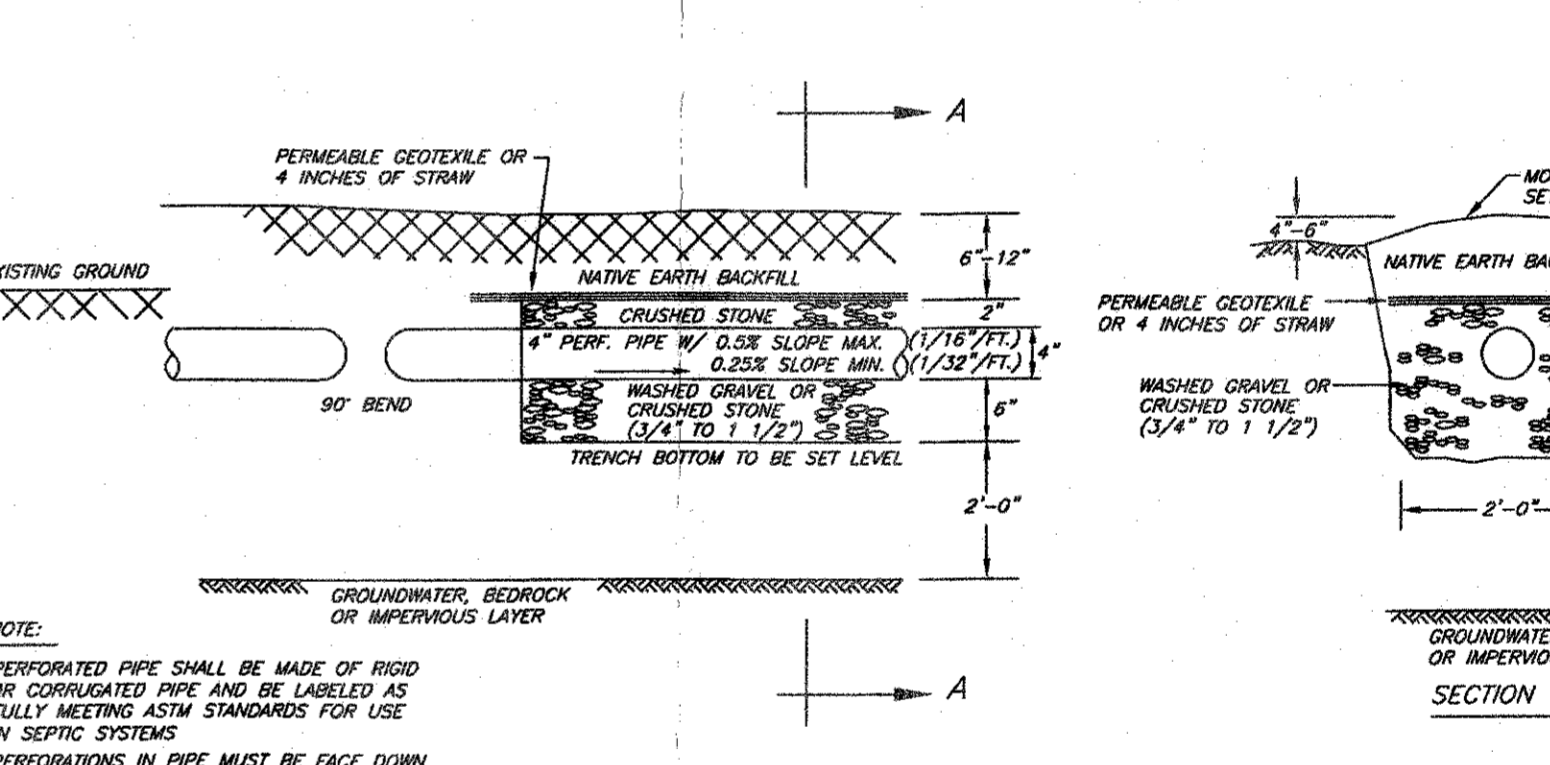
GRASS LINED SWALE
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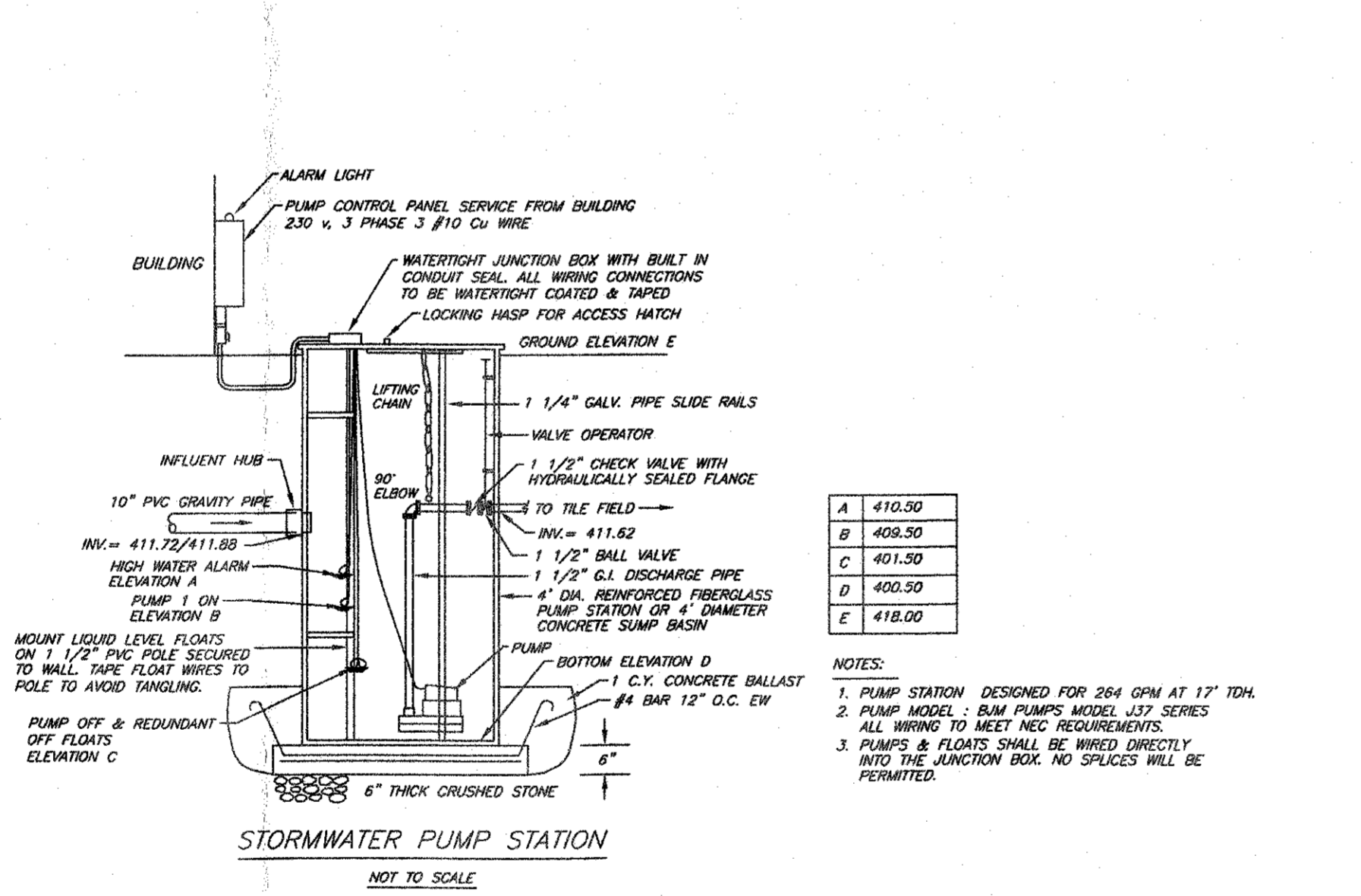
CATCH BASIN DETAIL
NOT TO SCALE



PRECAST DISTRIBUTION BOX
NOT TO SCALE

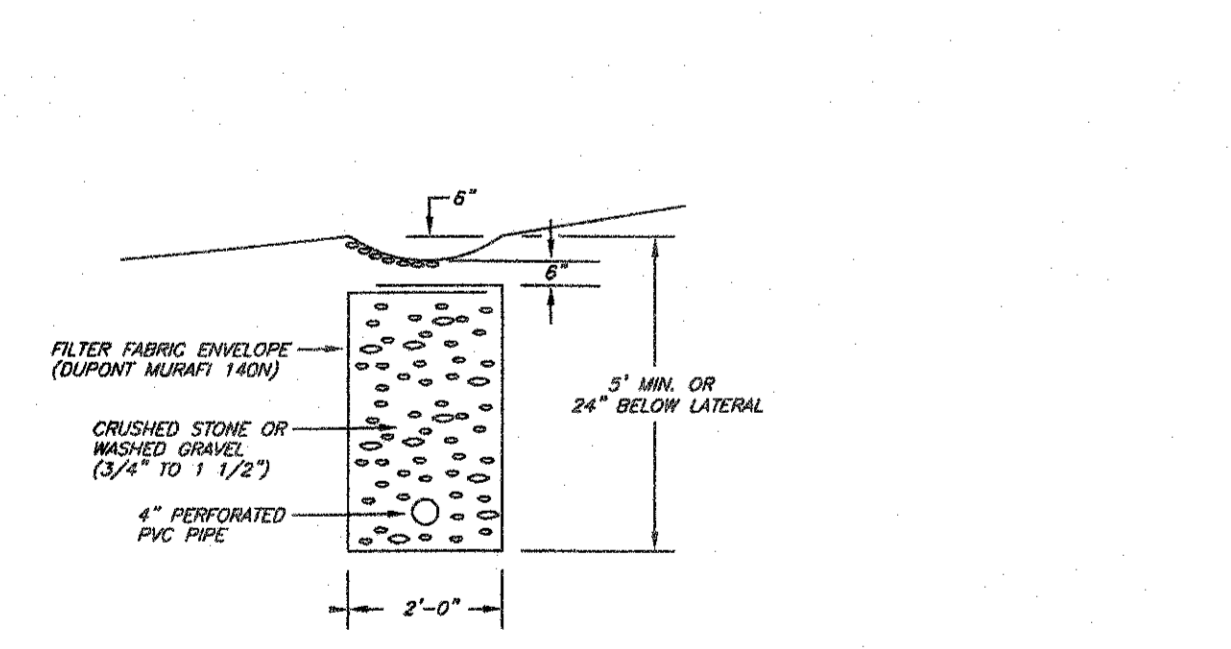


SHALLOW TRENCH DETAIL
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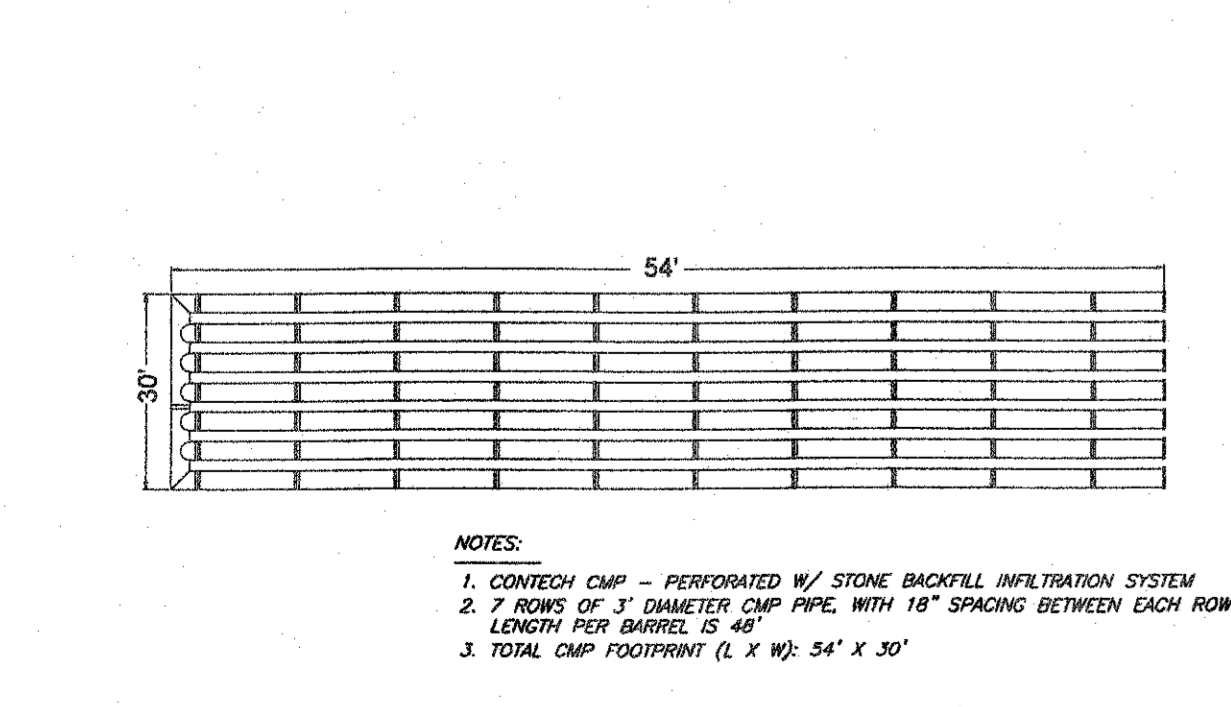


STORMWATER PUMP STATION
NOT TO SCALE

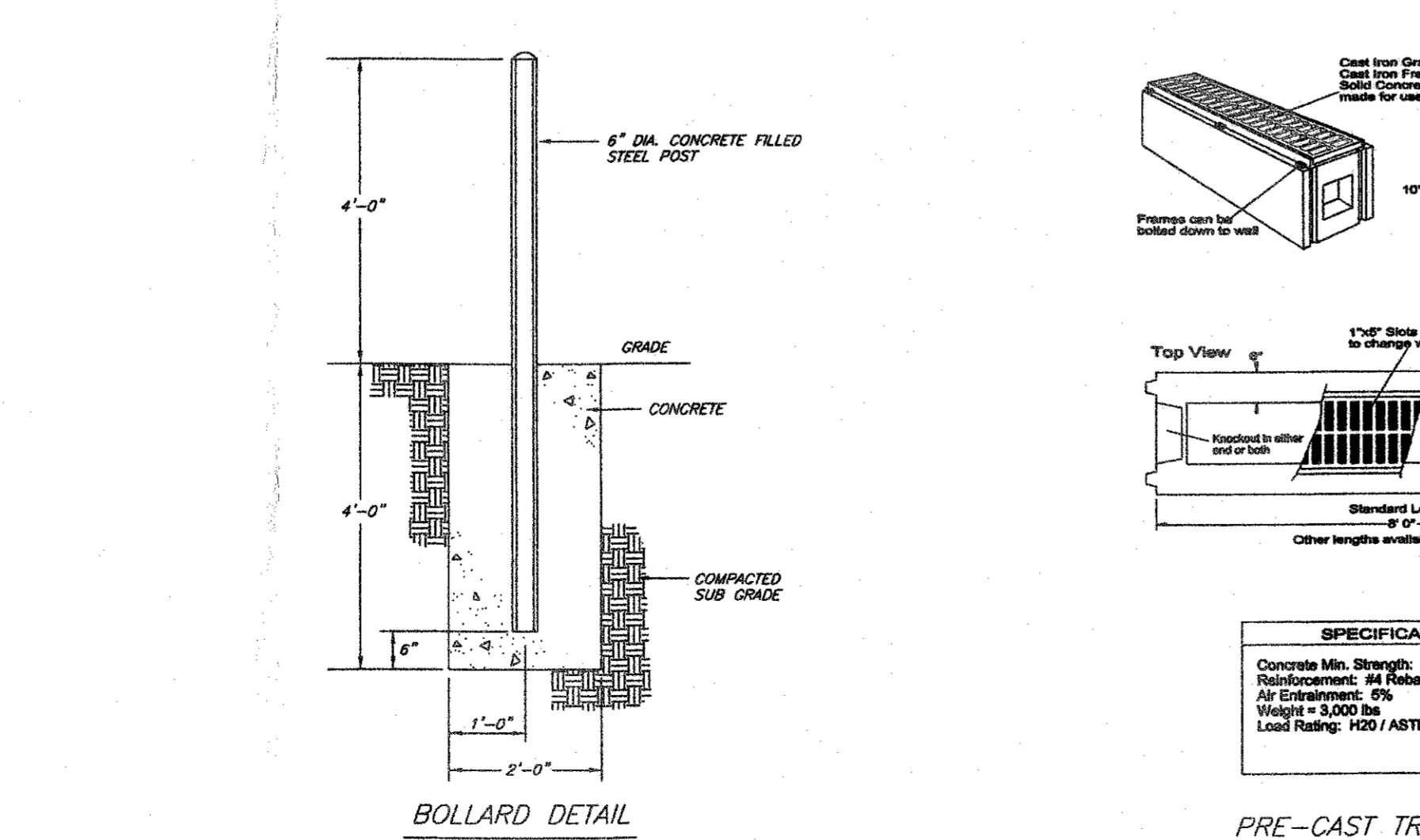
- STABILIZATION OF TOPSOIL STOCKPILE**
- ALL TOPSOIL STOCKPILES WILL BE COVERED WITH A POLYPROPYLENE FILM REINFORCED WITH OLD TIRES OR APPROVED EQUAL.
- A WINDLASS BARRIER SHALL BE CONSTRUCTED AROUND THE TOPSOIL STOCKPILE.
1. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY, ANY WATER TREATMENT AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION PRIOR TO OCCUPANCY OF THE HOUSE. THE ENGINEER SHALL NOTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICE THAT THE FACILITIES ARE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS ARE SEALED AND TESTED FOR WATER TIGHTNESS.
 2. THE PURCHASER OF THIS LOT MUST BE SUPPLIED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE RECORD PLAN OF ANY EXISTING SANITARY FACILITY.
 3. SEWAGE DISPOSAL SYSTEMS SHALL BE STAKED OUT BY A LICENSED PROFESSIONAL PRIOR TO CONSTRUCTION.
 4. ABSORPTION TRENCHES SHALL NOT BE INSTALLED IN WET SOIL, THE SIDES AND BOTTOM OF TRENCHES MUST BE RAISED, THE ENDS OF THE LATERALS MUST BE COPPED.
 5. A MINIMUM OF 4" OF UNDISTURBED SOIL MUST BE AVAILABLE BETWEEN TRENCHES.
 6. ALL UNLINED OUTLETS WILL BE PLUGGED AND SEALED WITH NON-SHINK GROUT OR EQUIVALENT.
 7. THERE WILL BE NO REGRADING OR COMPACTING IN THE AREA OF THE PROPOSED TILE FIELDS.
 8. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE INITIAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING OR AFTER CONSTRUCTION.
 9. NO STRAWING, POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
 10. SEPTIC FIELDS ARE NOT TO BE RELOCATED FROM THE APPROVED LOCATIONS.
 11. NO SOLID AND FOOTING DRAINS SHALL NOT BE DISCHARGED INTO THE SEPTIC SYSTEM OR IN THE VICINITY OF THE TILE FIELDS.
 12. NO DISCHARGE SHALL BE PLACED OVER ANY PORTION OF THE TILE FIELD.
 13. ANY CHANGE IN DIRECTION OF SOIL SENSE PIPE WILL REQUIRE A MANHOLE OR CLEANOUT. CLEANOUTS SHALL BE PLACED NO FURTHER APART THAN 75 FEET.
 14. PLUMBING FIXTURES LOCATED IN THE BASEMENT MAY REQUIRE SPECIAL DESIGN AND APPROVAL.
 15. THE SEWAGE DISPOSAL SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARAGE CARS, JET SKIS OR OTHER ITEMS OVER 700 GALLONS OF WATER CAPACITY. SUCH ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOMMODATE THEM AND RE-APPROVED BY THIS OFFICE.
 16. THE REMAINING LOTS OR LOTS ARE NOT TO BE FURTHER SUBDIVIDED WITHOUT APPROVAL FROM THE COUNTY HEALTH DEPARTMENT AND PLANNING BOARD.
 17. THIS SHEET IS INCOMPLETE AND SHALL BE ACCOMPANIED BY EACH OTHER SHEET OF THIS SET.
 18. PLANS ARE INCOMPLETE/SHALL WITHOUT THE ENGINEER'S SEAL AND SIGNATURE.



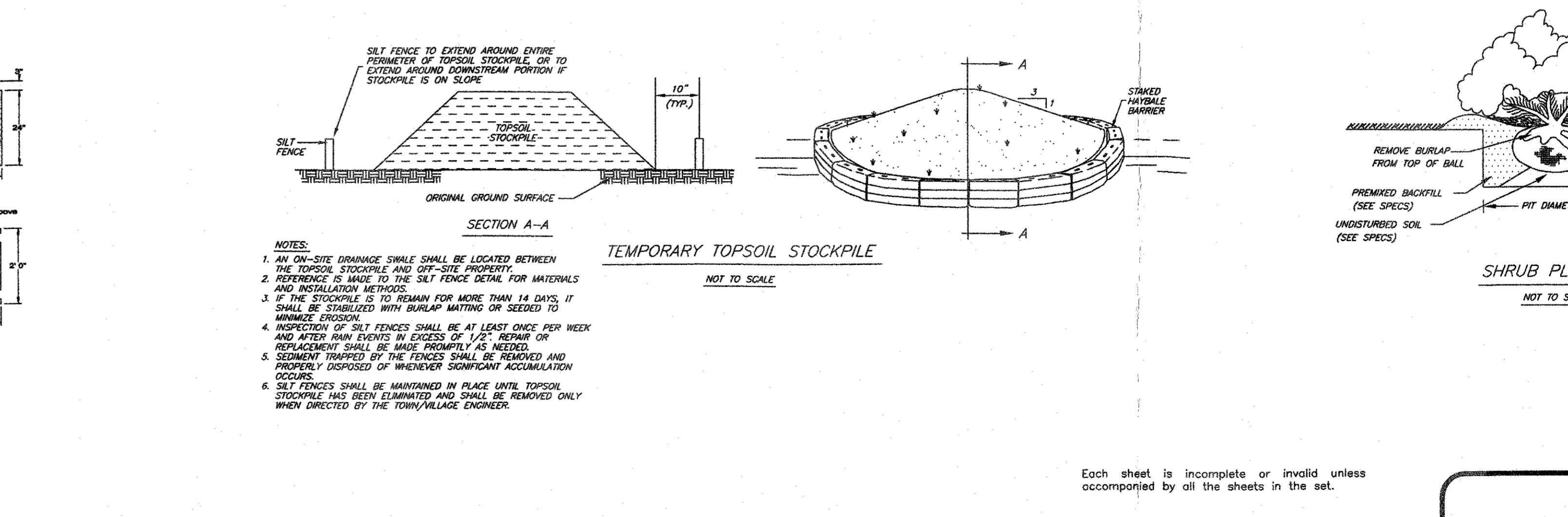
UNDERDRAIN DETAIL
NOT TO SCALE



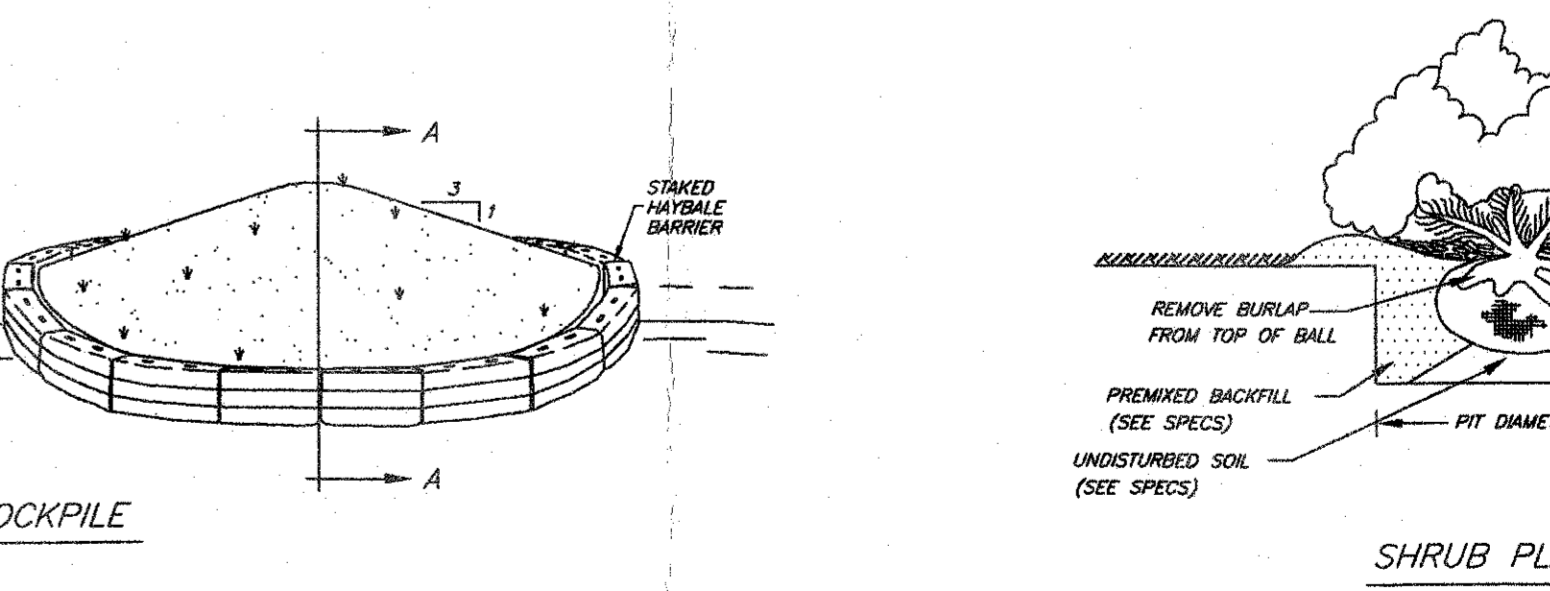
CONTECH INFILTRATION SYSTEM
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



TEMPORARY TOPSOIL STOCKPILE
NOT TO SCALE

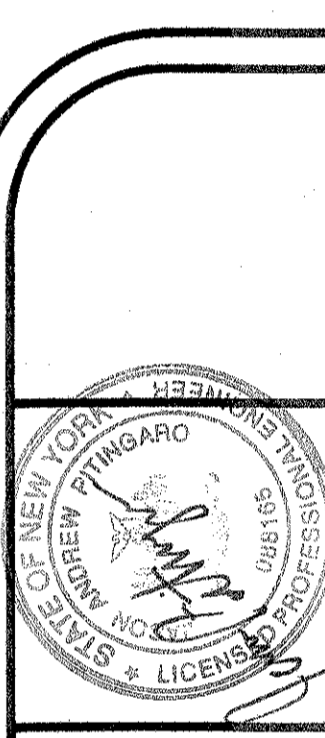


SHRUB PLANTING
NOT TO SCALE

- NOTES:**
1. CONTECH CMP - PERFORMED BY STONE BACKFILL INFILTRATION SYSTEM
 2. 75% MINIMUM 4" DIA. CONCRETE CMP PIPE, WITH 18" SPACING BETWEEN EACH ROW, LENGTH PER BARRIS, 2' MIN
 3. TOTAL CMP FOOTPRINT (L X W) 54' X 30'

Ownership Statement for Intellectual Property
 The intellectual property of the contractor shall remain the property of the contractor and shall not be transferred to the client or any other party without the written consent of the contractor.

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SITE DETAILS

ADDITIONS + ALTERATIONS
UNIFIRST
 33 JEANNE DRIVE
 NEWMBURGH, NEW YORK

scale: NOTED
 date: 6-3-2019
 drawn: KGW
 proj. no.: 190012
 revised:

Pitingaro & Doetsch
Consulting Engineers, P.C.
 15 Industrial Drive, Suite 2, Middletown NY 10941
 (845) 703-8140